

### **WHEN IS A BUILDING PERMIT REQUIRED?**

- A building permit is required for any new construction, alteration to a *structure* or *building*, addition to an existing *building* or *structure* and any material alterations to an existing *building* or *structure* which affects any of the following; the structural, mechanical and, or plumbing design of the *building/structure*.
- **If you are unsure if your project requires a permit please contact our office for clarification.**

**NOTE:** Although a building permit may not be required, Compliance with The City of Windsor Zoning By-law and Ontario Building Code requirements are still enforceable.

- Any work to be done on the City of Windsor Right of Way may require approval and separate permits. Contact the Public Works Department for more information.

### **ZONING REGULATIONS FOR RESIDENTIAL ACCESSORY BUILDINGS (NOT CONTAINING AN ADDITIONAL DWELLING UNIT)**

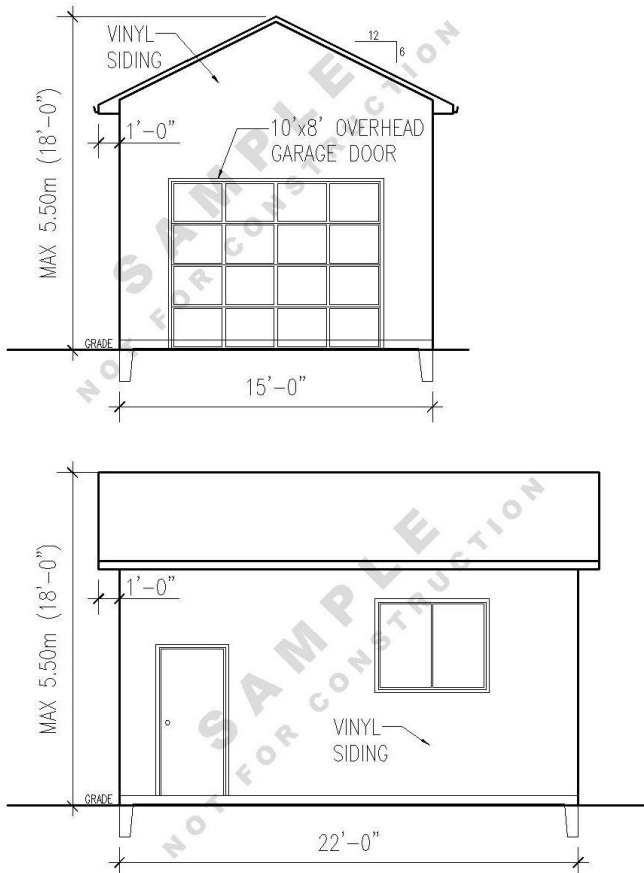
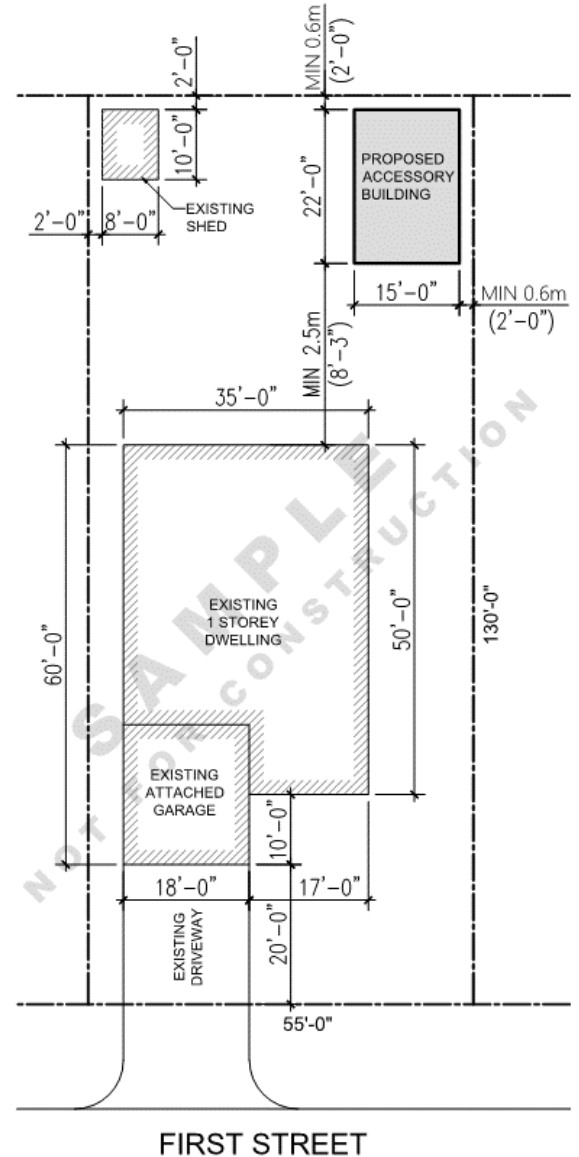
- An *accessory building* shall be permitted in a *rear yard* or a *side yard*
- The minimum separation between the closest wall of an *accessory building* and the closest wall of a *dwelling* located on the same lot shall be **2.50 metres (8.2ft)**.
- Shall have a minimum separation of **0.60 metres (2.0ft) from a rear lot line and a side lot line**. Any eaves or gutters on the *accessory building* shall have a minimum separation of 0.30 metres (1.0ft) from a *rear lot line* and a *side lot line*.
- The *maximum building height* of an *accessory building* with a flat roof, a roof having a slope of less than 20.0 degrees, or a roof with at least two contiguous slopes where the lowest slope is greater than the uppermost slope shall be **3.0 metres (9.8ft) from grade**.
- The *maximum building height* of an *accessory building* with a roof other than described in Section 5.10.9.1 shall be **5.50 metres (18.0ft) from grade**.
- The maximum *lot coverage* for all *accessory buildings* shall be **10% of the lot area**. *Maximum lot coverage* and permitted *use* for a *lot* is determined by the zoning of individual properties
- On a *through lot*, an *accessory building* shall have a *minimum setback* from the *rear lot line* equal to the *minimum front yard depth* required for a *main building* on the *lot*.
- Where vehicular entry to a *carport* or *garage* faces an *exterior lot line*, the *garage* shall be setback a minimum of 6.0 metres (19.685ft) from such *exterior lot line*.
- **Additional zoning regulations may apply**. For the full list of regulations please refer to the City of Windsor Zoning By-law 8600 and the City of Windsor website ([www.citywindsor.ca](http://www.citywindsor.ca)). Please contact the building department for additional information and clarification.

**NOTE:** A building shall not be located beneath existing above ground electrical conductors. Where a building is to be constructed in proximity to above ground electrical conductors, horizontal clearances between buildings and conductors shall comply with Subsection 3.1.19 of the Ontario Building Code

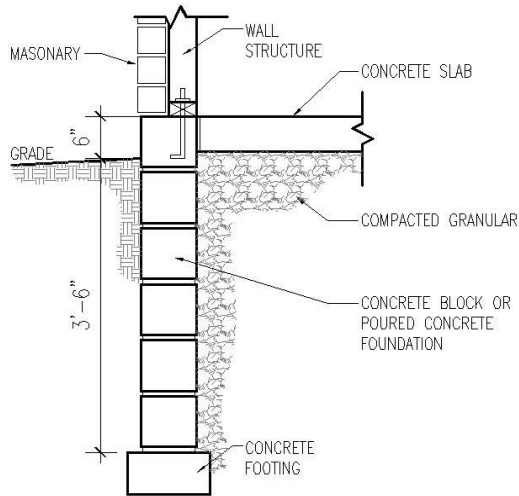
- **If the intention is to create an Additional Dwelling Unit, Section 5.99.80 of the City of Windsor Zoning By-law 8600 applies and separate approvals and permits are required.**

**WHAT DO I NEED TO SUBMIT FOR A BUILDING PERMIT FOR A DETACHED ACCESSORY STRUCTURE?**

- A completed Schedule 'A' **Application to Construct**
- **Site Plan** - A site plan identifies *buildings* and other features in relation to property boundaries. It should identify the location of your existing house, other existing structures (ie. garages, sheds, decks) and the proposed construction
  - The following information should be shown on a site plan:
    - property lines with dimensions
    - all new and existing structures with distances to property lines and the distances to other structures
    - overall dimensions/area of new and existing structures (to determine lot coverage)
    - right-of-ways and easements
    - location of all utility lines above or underground
- **Front Elevation and a Side Elevation**- Elevations show the exterior view of a building.
  - The following information must be shown on an elevation:
    - overall height of building
    - slope/pitch of roofs
    - exterior finishes and materials
    - foundation details/type
- **Clearance confirmation from Enwin**
  - [tsd@enwin.com](mailto:tsd@enwin.com) or 519-251-7300
- Additional drawings are required for pole barns

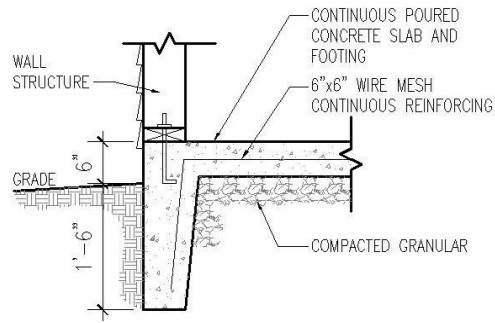


- Along with the documents/drawings listed above, other approvals may be required for your particular project. The following are some approvals that may be required upon submitting your application prior to issuance of a building permit.
  - City of Windsor Engineering Department
  - ERCA (519-776-5209 ext 346)
  - Septic Sewage System Approval
  - Ministry of Transportation
  - Additional plans, permits or approvals



**FULL FOUNDATION**

\*\*THIS TYPE OF FOUNDATION IS FOR STRUCTURES GREATER THAN 55m<sup>2</sup> (APPROX. 592 sq ft) AND/OR SUPPORTING MASONRY



**RAT WALL FOUNDATION**

\*\*MAXIMUM SIZE OF STRUCTURE FOR THIS TYPE OF FOUNDATION IS 55m<sup>2</sup> (APPROX. 592 sq ft)  
 \*\*NO MASONRY CAN BE SUPPORTED WITH THIS TYPE OF FOUNDATION

**WHAT IS THE COST OF A BUILDING PERMIT**

- The following is the standard fees that apply for a residential detached accessory structure.
- Additional fees may apply.

Service Fee <i>(Non-refundable)</i>	\$40.00
Zoning Certificate Fee	\$50.00
Accessory Building Permit Fee	\$0.75 per square foot; minimum \$240
Indemnity Deposit* <i>(Refundable)</i>	\$50.00 per metre of frontage

*\*a sum of money paid to the City of Windsor to meet the cost of repairing any damage to the sidewalk, curbing or paved boulevard or to any water service box or to any other service therein caused by vehicles delivering material, or removing material from a lot on which a building is being constructed or demolished. Upon the completion of the construction or demolition of the building, the deposit, less any costs the Corporation incurs for any repairs or removal of building materials, waste or soil from the public streets, shall be refunded by the Corporation.*

Some fees may vary. For a complete fee schedule please go to the web site at [www.citywindsor.ca](http://www.citywindsor.ca)

**Please note:** Fees as of July 1, 2020 and are **subject to change** upon Council approval

**CALL OR CLICK BEFORE YOU DIG**  
**Locate pipes & utility lines**  
 Ontario One Call 1-800-400-2255  
[www.on1call.com](http://www.on1call.com)

**Electrical Inspections**  
 If electrical work is taking place, please contact the Electrical Safety Authority at 1-877-372-7233 to determine if a permit and/or inspection is required through them.