

WHEN IS A BUILDING PERMIT REQUIRED?

- A building permit is required for any new construction or alteration to a building greater than 10m² (108 sq ft), any addition to an existing building and any material alterations to an existing building which affects: the structural design of the building; mechanical; plumbing services (no limit on size of building). If you are unsure if your project requires a permit please contact our office for clarification.
- * **Please note:** Although a building permit may not be required, you must still comply with the City of Windsor Zoning By-law and Ontario Building Code requirements.

ZONING REGULATIONS FOR RESIDENTIAL DETACHED ACCESSORY BUILDINGS

- An accessory building shall be permitted in a rear yard or a side yard
- The minimum separation between the closest wall of an accessory building and the closest wall of a dwelling located on the same lot shall be **2.50 metres (8.202ft)**.
- Shall have a minimum separation of **0.60 metres (2.0ft) from a rear lot line or side lot line**. Any eaves or gutters on the accessory building shall have a minimum separation of 0.30 metres (1.0ft) from a rear lot line or side lot line.
- The maximum building height of an accessory building with a flat roof, mansard roof or a roof having a slope of less than 20.0 degrees shall be **3.0 metres from grade**.
- The maximum building height of an accessory building with a roof other than described in Section 5.10.9.1 shall be **5.50 metres from grade**.
- The maximum lot coverage for all accessory buildings shall be **10% of the lot area**. Maximum lot coverage and permitted use for a lot is determined by the zoning of individual properties
- On a through lot, an accessory building shall have a minimum setback from the rear lot line equal to the minimum front yard depth required for a main building on the lot.
- Where vehicular entry to a carport or garage faces an exterior lot line, the garage shall be setback a minimum of 6.0 metres (19.685ft) from such exterior lot line.
- **Additional zoning regulations may apply.** For the full list of regulations please refer to Section 5 of the City of Windsor Zoning By-law 8600. Please contact the building department for additional information and clarification.

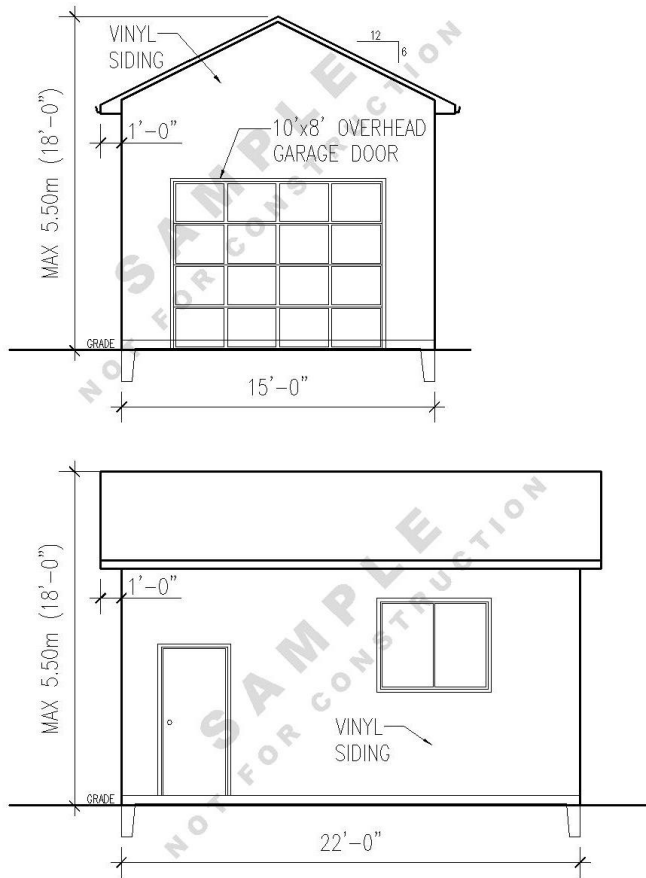
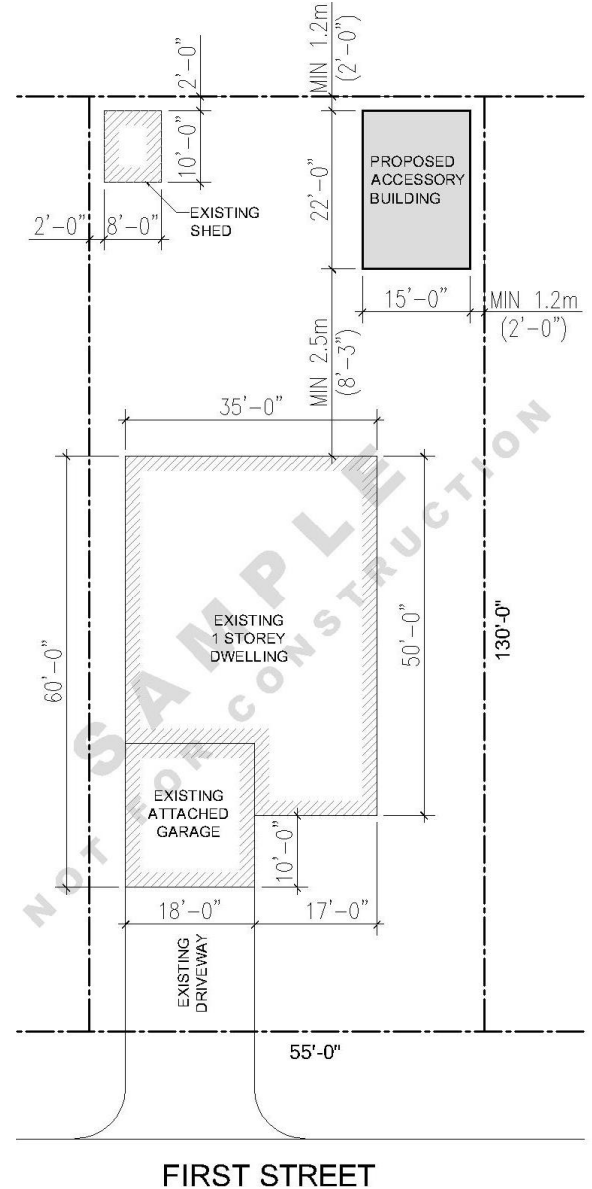
AS PER ZONING DESIGNATION FOR: _____
(ADDRESS)

ZONING: _____ MAX LOT COVERAGE: _____

- **NOTE:** A building shall not be located beneath existing above ground electrical conductors. Where a building is to be constructed in proximity to above ground electrical conductors, horizontal clearances between buildings and conductors shall comply with Subsection 3.1.19 of the Ontario Building Code

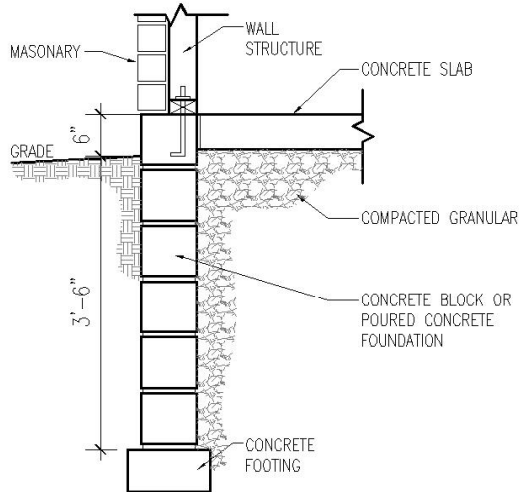
WHAT DO I NEED TO SUBMIT FOR A BUILDING PERMIT FOR A DETACHED ACCESSORY STRUCTURE?

- A completed Schedule 'A' **Application to Construct**
- Two copies of a **Site Plan** - A site plan identifies buildings and other features in relation to property boundaries. It should identify the location of your existing house, other existing structures (ie. garages, sheds, decks) and the proposed construction
 - The following information should be shown on a site plan:
 - property lines with dimensions
 - all new and existing structures with distances to property lines and the distances to other structures
 - overall dimensions/area of new and existing structures (to determine lot coverage)
 - right-of-ways and easements



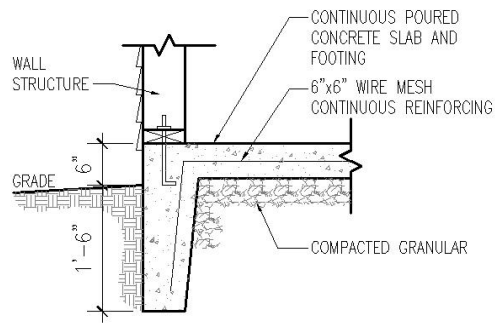
- **Front Elevation and a Side Elevation-** Elevations show the exterior view of a building.
 - The following information must be shown on an elevation:
 - overall height of building
 - slope/pitch of roofs
 - exterior finishes and materials

- Additional drawings are required for pole barns
- Along with the documents/drawings listed above, other approvals may be required for your particular project. The following are some approvals that may be required upon submitting your application prior to issuance of a building permit.
 - ERCA(519-776-5209 ext 346)
 - Septic Sewage System Approval
 - Ministry of Transportation and/or Additional permits or approvals



FULL FOUNDATION

**THIS TYPE OF FOUNDATION IS FOR STRUCTURES GREATER THAN 55m² (APPROX. 592 sq ft) AND/OR SUPPORTING MASONRY



RAT WALL FOUNDATION

**MAXIMUM SIZE OF STRUCTURE FOR THIS TYPE OF FOUNDATION IS 55m² (APPROX. 592 sq ft)
 **NO MASONRY CAN BE SUPPORTED WITH THIS TYPE OF FOUNDATION

WHAT IS THE COST OF A BUILDING PERMIT

- The following is the standard fees that apply for a detached accessory structure.

Construction Permit Fee	\$210 minimum; \$14.00 per \$1,000 of the estimated cost of the work
Service Fee	\$3
Indemnity Deposit*	\$500 for buildings 55m ² and under \$50/m of frontage for buildings over 55m ² and/or buildings with full foundations

**a sum of money paid to the City of Windsor to meet the cost of repairing any damage to the sidewalk, curbing or paved boulevard or to any water service box or to any other service therein caused by vehicles delivering material, or removing material from a lot on which a building is being constructed or demolished. Upon the completion of the construction or demolition of the building, the deposit, less any costs the Corporation incurs for any repairs or removal of building materials, waste or soil from the public streets, shall be refunded by the Corporation.*

Some fees may vary. For a complete fee schedule please go to the web site at www.citywindsor.ca

Please note: Fees as of June 1 2019 and are **subject to change** upon Council approval

WHAT INSPECTIONS ARE REQUIRED AND HOW ARE THEY SCHEDULED?

- You may call (519) 255-6453 anytime, 24 hours a day, 7 days a week, to schedule a construction-related inspection.
- Between the hours of 8:30 a.m. and 4:30 p.m., a dispatcher will take your call, or, if the dispatcher is busy taking another call, you can leave a message. Between the hours of 4:30 p.m. and 8:30 a.m. the next day, the recording device will take your call.
- Call **24 hours prior** to the desired date and time (a.m. or p.m.) of the inspection.
The Building Department does not call you back to confirm the time of your inspection.
- You may assume that your inspection is scheduled as close as possible to your requested time. We will only call you back if there is a substantial problem with the time that you have requested for your inspection. While the staff will make all reasonable attempts to maintain scheduled inspection times during the a.m. or p.m., **we cannot guarantee specific appointments at all times.**

Inspection Schedule

Requesting inspections is the responsibility of the homeowner or the contractor of the project to request inspections and confirm that all work has been approved. Permits and permit drawings must be on site at the time of inspection.

The following schedule outlines the required inspections for accessory building projects.

1. Footing (before concrete is poured)
2. Underground plumbing (*if applicable*)
3. In floor heating (*if applicable*)
4. Rough plumbing (*if applicable*)
5. Water Line (*if applicable*)
6. Rough Framing
7. Heating (*if applicable*)
8. Insulation & Air/Vapour Barrier (*if applicable*)
9. Final Building, Plumbing & Heating

Electrical Inspections

If electrical work is taking place, please contact the Electrical Safety Authority at 1-877-372-7233 to determine if a permit and/or inspection is required through them.

CALL OR CLICK BEFORE YOU DIG

Locate pipes & utility lines

Ontario One Call 1-800-400-2255

www.on1call.com