

Notice of Public Hearing - Committee of Adjustment Application

File # A-095/25 - 4461 WYANDOTTE ST E Date Mailed: December 24, 2025

Electronic hearing:

By videoconference on January 8, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment's Agenda Record in the Windsor Star on December 24, 2025. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City's website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 1492; LOT 27;

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Mixed Use	Residential District 2.2 (RD2.2)-S.20(1)513

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: ROCK DOIRE		4461 WYANDOTTE ST E
Applicant Name: Pillon Abbs Inc.		

PURPOSE OF APPLICATION

Minor Variance - Request for relief from the maximum gross floor area requirement for a semi-detached dwelling

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-law 8600		Maximum Gross Floor Area- Main Building	851.6 m ²	912.0 m²



Type of Consent Application Transaction: N/A

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

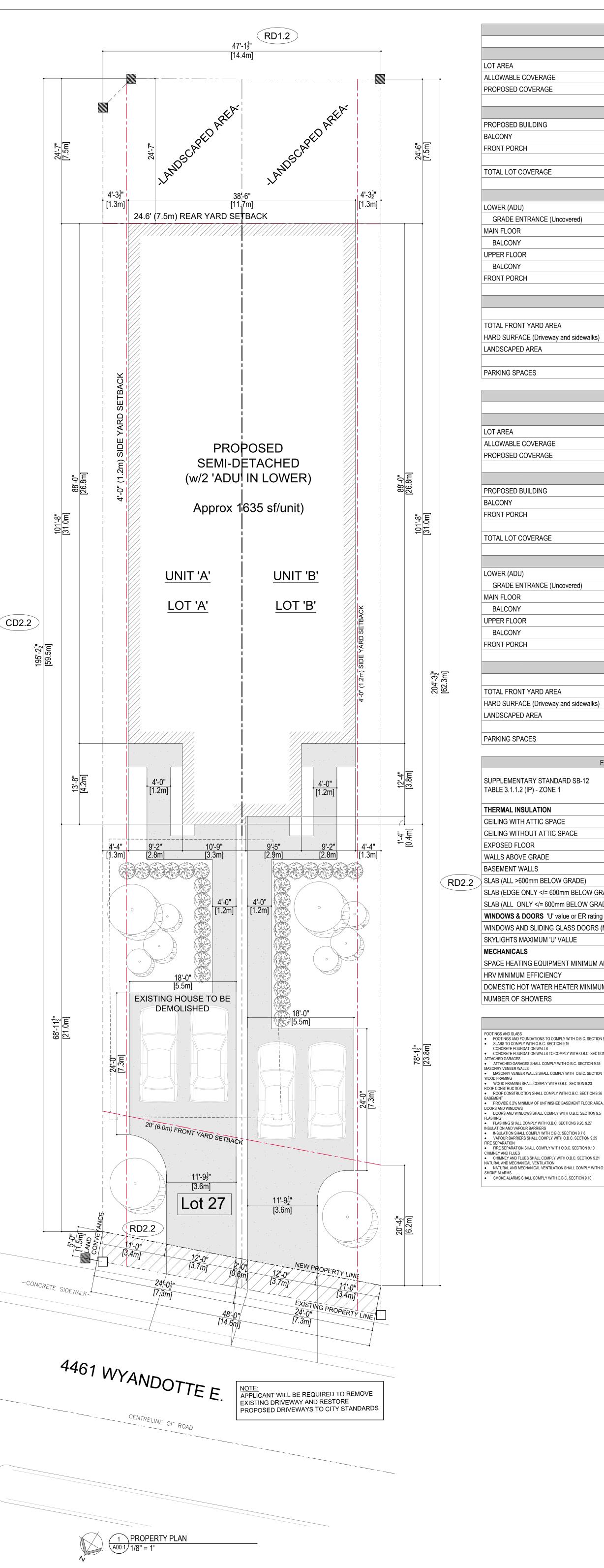
Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:
Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436

COAdjustment@citywindsor.ca



UNIT '	A' / LOT 'A'	
SIT	E INFO	
LOT AREA	4643 SF	431.35 m²
ALLOWABLE COVERAGE	2089 SF (45%)	194.07 m²
PROPOSED COVERAGE	1754 SF (37.8%)	162.96 m²
LOT C	OVERAGE	
PROPOSED BUILDING	1635 SF	151.90 m²
BALCONY	50 SF	4.65 m²
FRONT PORCH	69 SF	6.41 m²
TOTAL LOT COVERAGE	1754 SF	162.96 m²
BUILDI	NG AREAS	
LOWER (ADU)	1635 SF	151.90 m²
GRADE ENTRANCE (Uncovered)	78 SF	7.25 m ²
MAIN FLOOR	1634 SF	151.90 m²
BALCONY	50 SF	4.65 m²
UPPER FLOOR	1635 SF	151.90 m²
BALCONY	50 SF	4.65 m ²
FRONT PORCH	69 SF	6.41 m ²
FROI	NT YARD	
TOTAL FRONT YARD AREA	1865 SF	173.26 m ²
HARD SURFACE (Driveway and sidewalks)	923 SF	85.75 m ²
		1

942 SF (50.5%) 87.51 m²

UNIT 'B' / LOT '	B'	
SITE INFO		_
LOT AREA	4760 SF	442.22 m²
ALLOWABLE COVERAGE	2142 SF (45%)	189.99 m²
PROPOSED COVERAGE	1761 SF (37.0%)	442.22 m²
LOT COVERAG	SE	
PROPOSED BUILDING	1635 SF	151.90 m²
BALCONY	69 SF	6.41 m²
FRONT PORCH	57 SF	5.30 m²
TOTAL LOT COVERAGE	1761 SF	163.61 m²
BUILDING AREA	AS	
LOWER (ADU)	1635 SF	151.90 m²
GRADE ENTRANCE (Uncovered)	60 SF	5.57 m ²
MAIN FLOOR	1635 SF	151.90 m²
BALCONY	69 SF	6.41 m²
UPPER FLOOR	1635 SF	151.90 m²
BALCONY	69 SF	4.65 m²

2

TOTAL FRONT YARD AREA	1984 SF	184.32 m²
HARD SURFACE (Driveway and sidewalks)	911 SF	84.63 m ²
LANDSCAPED AREA	1070 SF (53.9%)	99.69 m²
PARKING SPACES	2	

ENERGY EFFICIENCY

FRONT YARD

57 SF

5.30 m²

LINEIXOT ETTTOILINOT		
SUPPLEMENTARY STANDARD SB-12 TABLE 3.1.1.2 (IP) - ZONE 1	COMPLIANCE PACKAGE A1	
THERMAL INSULATION		
CEILING WITH ATTIC SPACE	R60	
CEILING WITHOUT ATTIC SPACE	R31	
EXPOSED FLOOR	R31	
WALLS ABOVE GRADE	R22	
BASEMENT WALLS	R10ci + R12	
SLAB (ALL >600mm BELOW GRADE)	R10	
SLAB (EDGE ONLY = 600mm BELOW GRADE)</td <td colspan="2">R10</td>	R10	
SLAB (ALL ONLY = 600mm BELOW GRADE OR HEATED)</td <td colspan="2">R10</td>	R10	
WINDOWS & DOORS 'U' value or ER rating		
WINDOWS AND SLIDING GLASS DOORS (Maximum 'U' Value)	.28	
SKYLIGHTS MAXIMUM 'U' VALUE	.49	
MECHANICALS		
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%	
HRV MINIMUM EFFICIENCY	75%	
DOMESTIC HOT WATER HEATER MINIMUM EF	.08	
NUMBER OF SHOWERS	12	

	GENERAL NOTES
ATIONS TO COMPLY WITH O.B.C. SECTION	9.15

- FOOTINGS AND SLABS

 FOOTINGS AND FOUNDA SLABS TO COMPLY WITH O.B.C. SECTION 9.16 CONCRETE FOUNDATION WALLS CONCRETE FOUNDATION WALLS TO COMPLY WITH O.B.C. SECTION 9.15
 ATTACHED GARAGES
- ATTACHED GARAGES SHALL COMPLY WITH O.B.C. SECTION 9.35
 MASONRY VENEER WALLS MASONRY VENEER WALLS SHALL COMPLY WITH O.B.C. SECTION 9.20 WOOD FRAMING
- WOOD FRAMING SHALL COMPLY WITH O.B.C. SECTION 9.23 ROOF CONSTRUCTION
- BASEMENT PROVIDE 0.2% MINIMUM OF UNFINISHED BASEMENT FLOOR AREA, UNOBSTRUCTED VENTILATION AREA TO THE OUTDOORS DOORS AND WINDOWS DOORS AND WINDOWS SHALL COMPLY WITH O.B.C. SECTION 9.5
- FLASHING SHALL COMPLY WITH O.B.C. SECTIONS 9.26, 9.27
- INSULATION AND VAPOUR BARRIERS
 INSULATION SHALL COMPLY WITH O.B.C. SECTION 9.7.6 VAPOUR BARRIERS SHALL COMPLY WITH O.B.C. SECTION 9.25
- FIRE SEPARATION SHALL COMPLY WITH O.B.C. SECTION 9.10 CHIMNEY AND FLUES
- CHIMNEY AND FLUES SHALL COMPLY WITH O.B.C. SECTION 9.21
 NATURAL AND MECHANICAL VENTILATION NATURAL AND MECHANICAL VENTILATION SHALL COMPLY WITH O.B.C. SECTION 9.32 SMOKE ALARMS SMOKE ALARMS SHALL COMPLY WITH O.B.C. SECTION 9.10

INDEX OF DRAWINGS SITE PLAN & NOTES A00.2 WALL SECTIONS AND DETAILS B LOWER LEVEL PLAN MAIN FLOOR PLAN A01.3 UPPER LEVEL & ROOF PLANS A02.1 ELEVATIONS A02.2 ELEVATIONS

	SITE INFO)	
ADDRESS	LOT NUMBER	LOT AREA	
4461 WYANDOTTE E WINDSOR, ON	PART 27	9403 SF	873.57 m ²
	ZONING	ALLOWABLE COVERAGE	
	RD2.2	4231 SF (45%)	393.07 m² (45%)
		PROPOSED COVERA	,GE
		3513 SF (37.3%)	292.92 m² (37.3%)
			•

	LOT COVERAGE	
PROPOSED BUILDING	3269 SF	303.70 m ²
BALCONIES	119 SF	11.06 m²
FRONT PORCH	125 SF	11.61 m²
TOTAL LOT COVERAGE	3513 SF	326.37 m²

GFA		
SECOND FLOOR	2849 SF	264.7 m ²
MAIN FLOOR (Includes hallways and stairs)	3269 SF	303.7 m ²
CELLAR	3048 SF	283.2 m ²
	·	

TOTAL GFA 9166 SF 851.6 m² SITE PLAN NOTES

THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, APPROVALS AND DEVELOPMENTAL

THIS PLAN IS NOT A LEGAL SURVEY. ALL DIMENSIONS SHOULD BE VERIFIED BY AN O.L.S. THIS SITE PLAN IS PROVIDED AS

SITE PLAN LEGEND SETBACKS Proposed Build Hard Surfaces

SITE PLAN NOTES SITE PLAN TAKEN FROM SURVEY PROVIDED BY OWNER

GENERAL NOTES ALL CONSTRUCTION TO COMPLY WITH THE GENERAL

SITE CONDITIONS, AND LOT RESTRICTIONS.

A GUIDE TO LOCATE THE BUILDING

- NOTES AND/OR THE CURRENT ONTARIO BUILDING CODE, FIRE CODE, PLUMBING CODE, ELECTRICAL CODE AND/OR LOCAL BY-LAWS. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- WINDOW AND DOOR SIZES ARE SHOWN FOR REFERENCE ONLY. GENERAL CONTRACTOR SHALL CONSULT MANUFACTURER SPECIFICATIONS FOR ALL EXACT ROUGH OPENING SIZES AND GLAZING DIMENSIONS PRIOR TO CONSTRUCTION. LOCATION, HEAD HEIGHTS AND SILL HEIGHTS TO BE CONFIRMED ON SITE BY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
- WOOD WALL AND FLOOR FRAMING SHALL COMPLY WITH OBC PART 9 EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED ON DRAWINGS
- WOOD ROOF FRAMING SHALL COMPLY WITH OBC SECTION 9.23.13 EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED ON DRAWINGS
- MINIMUM FOOTING DEPTH SHALL BE 4'-0" BELOW FINISHED GRADE. UNDER-FLOOR SPACE SHALL COMPLY WITH OBC 9.18.
- PERMIT APPLICANT TO SUBMIT EITHER A TRUSS DESIGN DATA SHEET OR THE COMPLETE TRUSS DESIGN DRAWINGS FOR ANY PRE-ENGINEERED ROOF TRUSSES
- ALL ATTICS ARE DESIGNED AS NON-STORAGE UNLESS OTHERWISE NOTED
- PROVIDE INSULATION TO MEET OBC 9.25.2. AND SB-12, ALL EXTERIOR WALLS TO BE MINIMUM R24.

PROVIDE RIGID INSULATION AT ALL PERIMETER SLAB ON

- 10. DAMPPROOFING AND WATERPROOFING SHALL COMPLY WITH OBC SECTION 9.13.
- ALL BRICK OR MASONRY LEDGES SHALL BE A MINIMUM OF 6" ABOVE FINISHED GRADE.
- GRADING SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING AT EVERY POINT WHERE THE BUILDING
- 13. VENTILATION OF CONCEALED ROOF SPACES SHALL BE
- 14. ELECTRICAL SYSTEM DESIGN IS BY OTHERS. 15. MECH & HVAC SYSTEM DESIGN IS BY OTHERS
- 16. PLUMBING DESIGN IS BY OTHERS

MEETS FINISHED GRADE.

GRADE CONDITIONS

- 17. DO NOT SCALE DRAWINGS.
- 18. GC TO CONFIRM REQUIREMENTS FOR ZONING, SETBACK, AND ENVIRONMENTAL RESTRICTIONS PRIOR TO CONSTRUCTION. THESE DWG'S ARE FOR MIN. BUILDING PERMIT ONLY AND
- DO NOT GIVE ALL DETAILS FOR COMPLETE BUILDING PROCESS. G.C. IS RESPONSIBLE FOR ALL OTHER DETAILS ,INFO , ENG. STAMPS FOR CONC. REINF PORCHES OR POINT LOADING DIAGRAMS, LINTEL DESIGNS, BEAM REINFORCEMENT NEEDED FOR BUILDING PERMIT PROCESS IF REQUESTED BY LOCAL MUNICIPAL AUTHORITIES
- THIS CONSULTANT IS UNAWARE OF ANY SOIL BEARING CAPACITY PROBLEMS. THIS CONSULTANT HAS ADVISED OWNER TO INVOLVE A GEOTECHNICAL CONSULTANT THROUGHOUT CONSTRUCTION TO ADVISE CONSULTANT OF ALL SUBSURFACE CAPACITIES. IF ANY SOIL PROBLEMS EXIST. THE OWNER MUST HIRE A ENG. TO SOLVE THESE PROBLEMS AND PAY FOR ALL FEES AND EXTRA MATERIALS DURING THIS TIME.
- G.C. MUST HIRE ONT. LAND SURVEYOR TO PLACE HOME ON SITE AND SET ELEVATIONS FOR EXCAVATIONS AND PRODUCE A COMPLETE GRADING PLANS FOR OWNERS AND LOCAL AUTHORITIES APPROVAL
- 22. DESIGNER IS NOT HIRED NOR RESPONSIBLE FOR CONSTRUCTION REVIEW DURING CONSTRUCTION, ANY INTERIOR OR EXTERIOR MODIFICATIONS MADE BY G.C. DURING CONSTRUCTION MUST BE REPORTED TO THIS CONSULT . IF NOT THE DESIGNER WILL NOT TAKE ANY RESPONSIBILITY FOR ERRORS MADE DURING CONSTRUCTION INCURRING COST TO THE DESIGNER.
- 23. G.C. MUST CHECK ALL DIMENSION OF PLANS AND FIELD DIM. PRIOR TO ORDERING PRE. ENG TRUSSES AND REPORT AND DIFFERENCES TO THIS DESIGNER IN WRITING IMMEDIATELY PRIOR TO ERECTION AND FABRICATION OF TRUSSES
- 24. ALL DIMENSIONS ON PLANS ARE SHOWN IN NOMINAL DIMENSIONS FOR EASE OF CONSTRUCTION AND ADDING OF FRACTIONS
- 25. G.C. IS RESPONSIBLE FOR DEVELOPER APPROVAL OF ALL DESIGNS . PRIOR TO WORKING DWG'S STARTED.
- 26. G.C. IS RESPONSIBLE TO ALSO REVIEW TRUSS SHOP DWG'S AND APPROVE AND UNDERSTAND ALL CONSTRUCTION METHODS AND DETAILS OF PRELIM. ROOF SHOP DWG'S AND APPROVE PRIOR TO SUBMITTING PERMIT DWG'S BY THIS DESIGNER.
- G.C. IS RESPONSIBLE TO KEEP ALL DESIGN COMPONENTS AND LAYOUT THE SAME AS PER THESE DWG'S .FAILURE TO DO SO VOIDS THESE DWG'S AND FIELD MEASUREMENTS AND MUST BE DONE TO SIT ON SITE CONDITIONS . THIS CONTRACTOR MUST PAY FOR THESE REVISIONS.
- 28. EXTERIOR FINISHES AND FINISHING SYSTEMS ARE FOR DEMONSTRATION. G.C. MAY USE APPROVED FINISHES AND FINISHING SYSTEMS THAT MEET MINIMUM CODE. DESIGNER MUST BE INFORMED AND APPROVE CHANGES FROM DEMONSTRATED FINISHES AND FINISHING
- 29. EXTERIOR FINISHES, WINDOWS, DOORS SIZES AND STYLES, KITCHEN LAYOUTS, BATH LAYOUTS, AND BASEMENT DESIGNS ARE THIS DESIGNERS RENDERING OF WHAT THE HOUSE CAN INCLUDE. GENERAL CONTRACTORS CONTACT SHALL SUPERCEDE IN ALL ABOVE MENTIONED CATEGORIES AS LONG AS THEY MEET O.B.C. G.C. TO INFORM DESIGNER OF ANY DIFFERENCES TO THIS PLAN.

GENERAL NOTES

- THESE GENERAL NOTES REFER TO ALL ARCHITECTURAL THE ONTARIO BUILDING CODE LATEST EDITION SHALL BE
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL

THE BASIS FOR THE DESIGN AND CONSTRUCTION FOR THIS

HAVE PRECEDENCE OVER SCALED DIMENSIONS. GENERAL CONTRACTOR TO VERIFY ALL SITE

CONDITIONS PRIOR TO HOME CONSTRUCTION.

ON THE DRAWINGS.

AGENCIES.

- CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE CONSULTANTS MUST BE NOTIFIED IN WRITING OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN
- CONTRACTOR SHALL PROMPTLY NOTIFY THE CONSULTANT IN WRITING OF THE EXISTENCE OF ANY VARIANCES BETWEEN THE DOCUMENTS AND APPLICABLE CODES OR ORDINANCES OR REGULATORY
- CONSULTANT WILL NOT BE HELD RESPONSIBLE FOR ANY OMISSIONS TO, ERRORS PERTAINING TO, OR DEVIATIONS FROM THIS SET OF DRAWINGS DURING THE CONSTRUCTION PROCESS.
- SPECIFIC NOTES AND SPECIFIC DETAILS SHALL TAKE
- PRECEDENCE OVER GENERAL NOTE AND TYPICAL DETAILS. THE CONTRACTOR SHALL OBTAIN ANY ALL NECESSARY PERMITS AND ARRANGE FOR ALL REQUIRED INSPECTIONS AS

REQUIRED BY GOVERNING LAWS.

- ALL COLOURS FOR MATERIAL SPECIFIED WITHIN THESE DRAWINGS SHALL BE CHOSEN BY CLIENT FROM SAMPLES PROVIDED BY CONTRACTOR.
- THESE PRINTS ARE THE PROPERTY AND DESIGN THIS DESIGNER. THE DESIGNER RESERVES THE RIGHT TO REPRODUCE THE SAME HOUSE AT NO BENEFIT TO THE PURCHASER OF THIS HOME.

CONSTRUCTION NOTES

DOWNSPOUTS MAY CONNECT AT HARD SURFACES ONLY

- EXHAUST FANS AND DUCTS SHALL BE SIZED ACCORDING TO O.B.C. PART 6 OR 9.32. ALL FANS SHALL EXHAUST DIRECTLY OUTDOORS. KITCHEN EXHAUST FAN SHALL BE NON-COMBUSTIBLE PIPE
- PROVIDE AN ATTIC ACCESS HATCH THAT IS MIN 3.4 FT² WITH NO DIMENSION LESS THAN 21.5" OR 20" x 28" MIN
- ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO 9.8, O.B.C. GARAGE ENTRY DOOR SHALL BE TIGHT-FITTING,

WEATHER STRIPPED AND SELF CLOSING TO PROVIDE A GAS

- ANY CHANGES TO THE BACKFILL HEIGHT DURING
- CONSTRUCTION MUST BE APPROVED BY THE CBO. SMOKE DETECTORS REQUIRED IN EACH SLEEPING
- ROOM & HALLWAY AS PER 9.10.19.3. of O.B.C. ALL HVAC, PLUMBING AND ELECTRICAL DEPICTED AND
- OR LOCATED ON THIS DRAWING ARE THIS DESIGNERS INTERPRETATION AND ARE SUBJECT TO CHANGE. G.C. TO CONFIRM ALL LOCATIONS

THE OWNER IS RESPONSIBLE FOR THE DESIGN AND

- CONSTRUCTION OF CONC. STAIRS, CONC. PORCH, HANDRAILS, GRADING ASSOCIATED WITH REAR COVERED PORCH. THE CONTRACTOR IS NOT RESPONSIBLE UNLESS EXPLICITLY IN THE BUILDING CONTRACT
- THIS DESIGNER HAS STAMPED AND REVIEWED THESE DRAWINGS, BUT IS NOT RESPONSIBLE FOR UNFORESEEN SITE CONDITIONS. THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, DEVELOPMENT CONDITIONS, AND LOT RESTRICTIONS.

THE GENERAL CONTRACTOR MAY / CAN CHANGE ANY

- DOORS, WINDOWS, MATERIALS, OR EXTERIOR DETAILS TO CONTRACT BETWEEN THE G.C. AND HIS/HER CLIENT. THE G.C. IS TO NOTIFY THIS DESIGNER OF ANY CHANGES THAT ARE MADE TO THESE DRAWINGS. G.C. TO CONFIRM WALL SYSTEM TO INCLUDE NO LOW
- PERMEANCE MATERIALS as per 9.25.5.1. of O.B.C. OTHERWISE MUST ENSURE WALL ASSEMBLY MEETS 9.25.5.2 OF O.B.C.

VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.

FOUNDATION PLAN NOTES

ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO

ALL OPENINGS TO HAVE (2) 2x8 LINTEL UNLESS

FLOOR PLAN NOTES

VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND

ELECTRICAL WORK. ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL

CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.

ALL INTERIOR WALL TYPES TO BE 'P1' UNLESS OTHERWISE NOTED

VERIFY ALL MEP WORK ON SITE

EXTERIOR ELEVATION NOTES

ALL EXTERIOR FINISHES AS PER EXTERIOR MATERIAL FINISHES SCHEDULE OR EQUAL APPROVED.

2. ALL EXTERIOR FINISHES INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS



PROPERTY PLAN 25009 - 4461 Wyandotte 4461 Wyandotte E, Windsor ON Lot 27

12 FEB 2025

ISSUED FOR BUILDING PERMIT

AUG 28, 2023

A00.1

FINAL DRAWING - USE FOR CONSTRUCTION.

3. ALL EXTERIOR TRIMS, SILLS AND FLASHING TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.

MARK	FLOOR / ROOF LEGEND	DESCRIPTION
FL1		FLOOR FINISH T.B.D. \$\%\" T&G PLYWOOD SUB FLOOR 11-7/8" I-JOISTS (SEE ENG. REPORT) 6" THICK ABSORPTIVE MATERIAL \$\frac{1}{2}\" RESILIENT CHANNEL @24\" o.c. (2) LAYERS \$\frac{5}{8}\" TYPE 'X' GYPSUM BRD.
FL2		FINISH FLOOR T.B.D. 4" POURED CONCRETE FLOOR (REINFORCED WITH W.W.M) 6mil POLY VAPOUR BARRIER MIN R10 RIGID INSULATION (R30 (3" RIGID) PREFERRED) GRAVEL BASE TO MATCH FOOTING THICKNESS
R1		SHINGLES - SELF SEALING ½" PLYWOOD SHEATING c/w "H" CLIPS PRE-ENG. ROOF TRUSSES @24" O.C. R-60 BLOWN IN INSULATION (R-32 ATTIC) OR SPRAY FOAM INSUL 6mil POLY (WHERE BATT INSULATION) ½" GYPSUM BOARD

ALL WALL TYPE DESCRIPTIONS COMMENCES FROM THE EXTERIOR FACE TO THE INTERIOR FACE OF THE WALL CAVITY.

ALL MASONRY VENEERS TO HAVE CODE COMPLIANT WEEPHOLES (9.20.13.18), FLASHING (9.20.13.1) AND WALL TIES (9.20.9.5)

ALL WET AREAS WHERE GYPSUM BOARD IS PRESENT SHALL BE EQUIPPED w/MOISTURE RESISTANT GYPSUM BOARD.

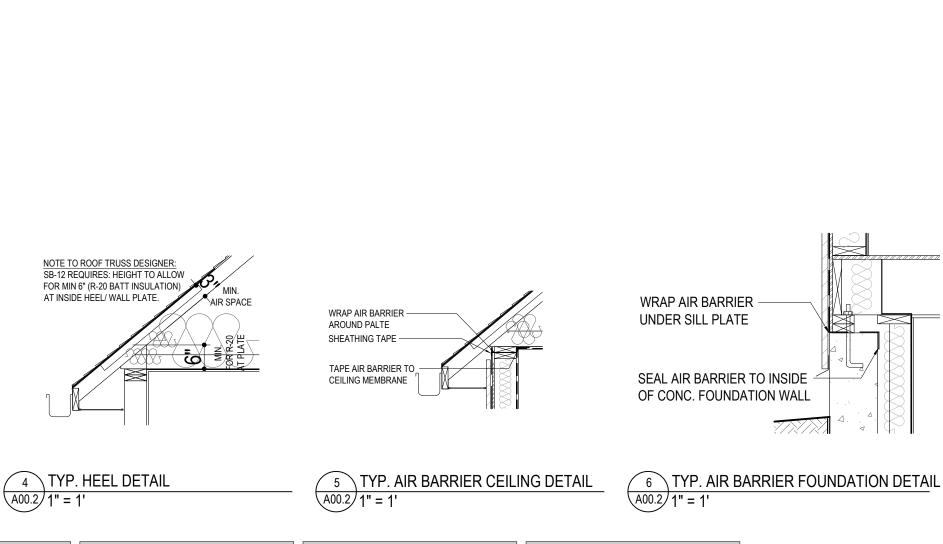
PROVIDE AND INSTALL ALL EXTERIOR FINISHES, TRIMS & FLASHING AS PER MANUF. RECOMMENDATIONS.

PROVIDE FOUNDATION WATERPROOFING AT ALL WALLS ABUTTING BASEMENT AREAS.

LINTEL SCHEDULE (EXTERIOR) LINTEL SCHEDULE (INTERIOR)

NOTE THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS OR ELEVATIONS

NOTE THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS OR ELEVATIONS

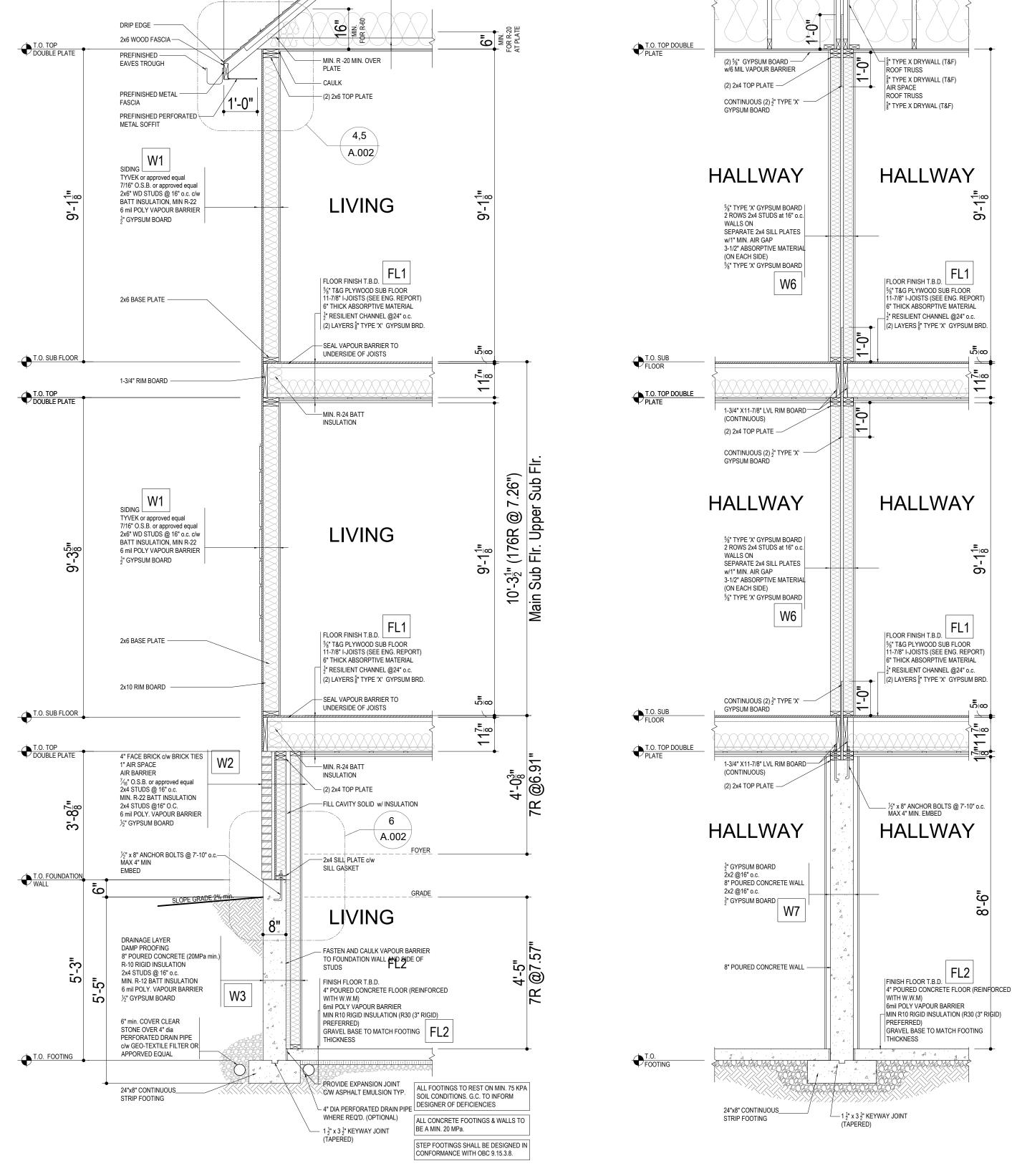


EXTERIOR WALL STUDS w/BRICK EXTERIOR WALL STUDS w/SIDING LEGEND TH SUPPORTING 9.84' OF ROOF 19.85' OF ROOF 2x6" at 16" 2x6" at 12" 2x6" at 12" 2-2x6" at 16" 2-2x6" at 12" 2-2x6" SUPPORTING 9.84' OF ROOF 19.68' OF ROOF 266" at 16" 2x6" at 12" 2x6" at 12" 2-2x6" at 16" 2-2x6" at 12" 2-2x6" at LINTEL SIZE

3 ½" x 3½" x 5/6"

4" x 3½" x 5/6" OR (4) 2x4 2-2x6" at 12" 2-2x6" at 12" EXHAUST FAN w/ NOTE THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS OR ELEVATIONS ASSUMES 0.5 kPa HOURLY WIND PRESSURE AND 1.0 kPa SNOW LOAD,
ASSUMES 0.5 kPa HOURLY WIND PRESSURE AND 1.0 kPa SNOW LOAD,
BASED ON A-30 & A-31 O.B.C.

S.P. ST'L $3\frac{1}{2}$ " x $3\frac{1}{2}$ " HSS STEEL POST SUPPORT REQUIRED (3) 2x6 GRAB BAR SUPPORT REQ'D NON-COMBUSTABLE DUCTWORK



REFER TO ELEVATIONS FOR

ADDITIONAL INFORMATION

SHINGLES - SELF SEALING

OR SPRAY FOAM INSUL.

VENTILATION BAFFLE EVERY -

5/8" GYPSUM BOARD

TRUSS

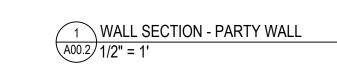
1" PLYWOOD SHEATING c/w "H" CLIPS

6mil POLY (WHERE BATT INSULATION)

2 TYPICAL WALL SECTION

R-60 BLOWN IN INSULATION (R-32 ATTIC)

PRE-ENG. ROOF TRUSSES @24" O.C.



SHINGLES - SELF SEALING -

OR SPRAY FOAM INSUL.

1/2" PLYWOOD SHEATING c/w "H" CLIPS

PRE-ENG. ROOF TRUSSES @24" O.C.

R-60 BLOWN IN INSULATION (R-32 ATTIC)

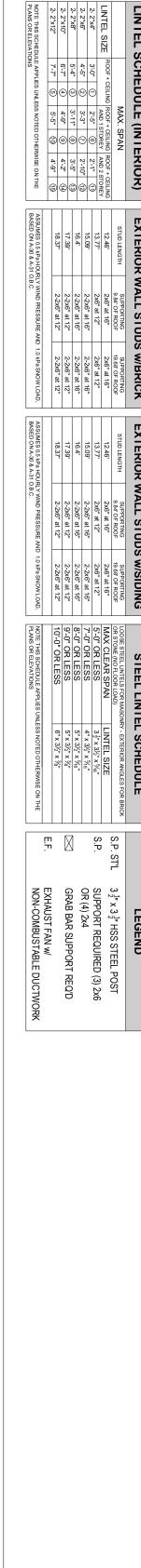
6mil POLY (WHERE BATT INSULATION)

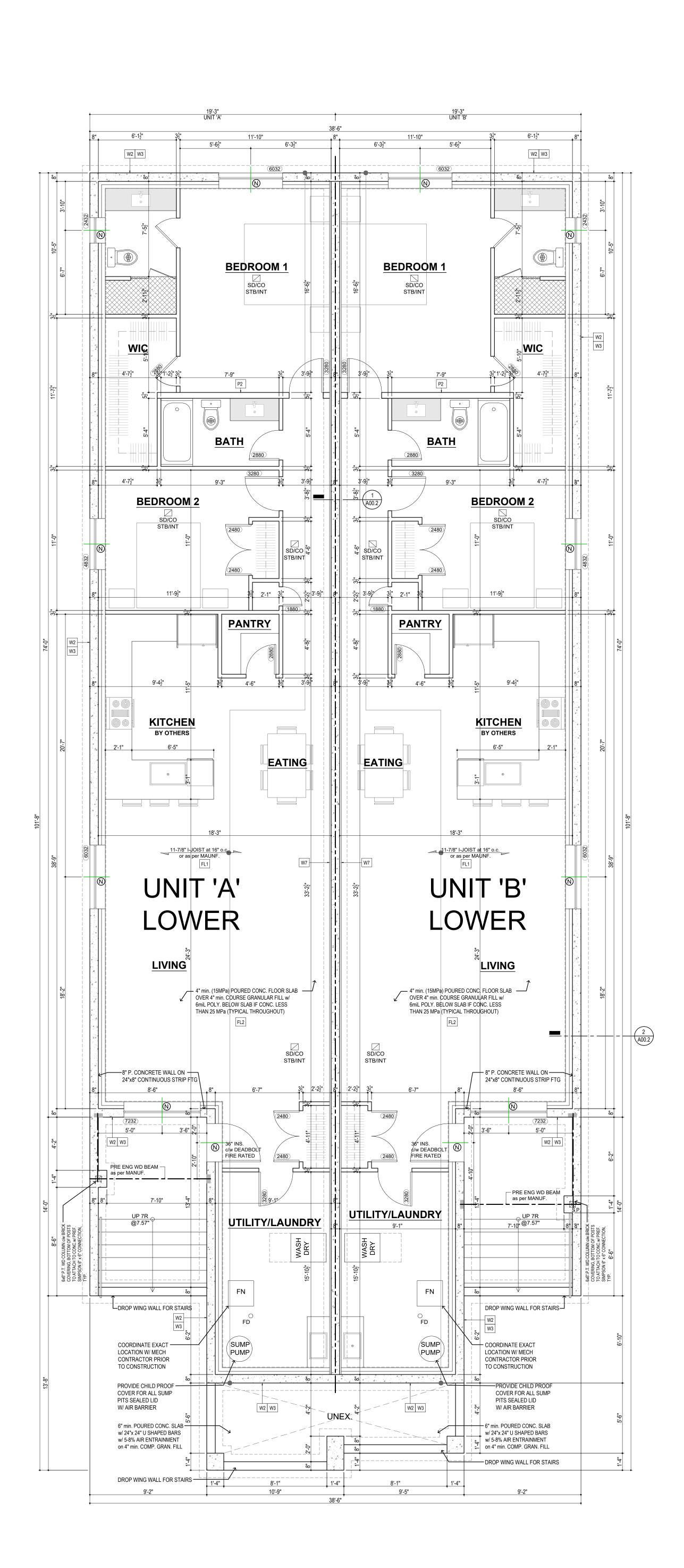
(2) 5/8" TYPE 'X' GYPSUM BOARD

FINAL DRAWING - USE FOR CONSTRUCTION

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MARK	WALL / PARTITION LEGEND	DESCRIPTION
W1	\$\tag{\tag{\tag{\tag{\tag{\tag{\tag{	TYVEK or approved equal 7/16" O.S.B. or approved equal 2x6" WD STUDS @ 16" o.c. c/w BATT INSULATION, MIN R-22 6 mil POLY VAPOUR BARRIER ½" GYPSUM BOARD
W2		4" FACE BRICK c/w BRICK TIES 1" AIR SPACE AIR BARRIER 7/6" O.S.B. or approved equal 2x4 STUDS @ 16" o.c. MIN. R-22 BATT INSULATION 2x4 STUDS @16" O.C. 6 mil POLY. VAPOUR BARRIER 7/2" GYPSUM BOARD
W3	50 4 4 4 4 4 4 4 5 5 5 5 5 5 5 5 5 5 5 5	DRAINAGE LAYER DAMP PROOFING 8" POURED CONCRETE (20MPa min.) R-10 RIGID INSULATION 2x4 STUDS @ 16" o.c. MIN. R-12 BATT INSULATION 6 mil POLY. VAPOUR BARRIER ½" GYPSUM BOARD (OPTIONAL)
W4	12 Tab	BRICK/STONE VENEER 1" AIRSPACE AIR BARRIER ½" PLYWOOD 2x6 STUD WALL @16" O.C. w/R22 BATT INSULATION 6mil POLY VAPOUR BARRIER 1/2" GYPSUM BOARD
W5		(2) %" TYPE 'X' GYPSUM BOARD 2x6 STUDS at 16" o.c. 5-1/4" ABSORPTIVE MATERIAL 1/2" RESILIENT CHANNELS 24" o.c. (2) 5%" TYPE 'X' GYPSUM BOARD
W6		5/8" TYPE 'X' GYPSUM BOARD RESILIANT CHANNEL ON 2x4" STUDS at 16" o.c. W/ BATT R-22 INSUL. 1" AIR SPACE 2x4" STUDS at 16" o.c. W/ BATT INSULATION RESILIANT CHANNEL ON 5/8" TYPE 'X' GYPSUM BOARD
W7	to	5/8" TYPE 'X' GYPSUM BOARD 2 ROWS 2x4 STUDS at 16" o.c. WALLS ON SEPARATE 2x4 SILL PLATES w/1" MIN. AIR GAP 3-1/2" ABSORPTIVE MATERIAL (ON EACH SIDE) 5/8" TYPE 'X' GYPSUM BOARD
P1	NON-LOAD BEARING LOAD BEARING	1/2" GYPSUM BOARD 2x4 STUD WALL @16" O.C. 1/2" GYPSUM BOARD **DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING
P2	NON-LOAD BEARING LOAD BEARING	1/2" GYPSUM BOARD 2x6 STUD WALL @16" O.C. 1/2" GYPSUM BOARD DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING
1. ALL WALI 2. ALL WET 3. PROVIDE 4. PROVIDE 5. ALL MAS	AREAS WHERE GYPSUM BOARD IS PRESENT S AND INSTALL ALL EXTERIOR FINISHES, TRIMS FOUNDATION WATERPROOFING AT ALL WALLS	EEPHOLES (9.20.13.18), FLASHING (9.20.13.1) AND WALL TIES (9.20.9.5)
MARK	FLOOR / ROOF LEGEND	DESCRIPTION
FL1		FLOOR FINISH T.B.D. 5/6" T&G PLYWOOD SUB FLOOR 11-7/8" I-JOISTS (SEE ENG. REPORT) 6" THICK ABSORPTIVE MATERIAL 1/2" RESILIENT CHANNEL @24" o.c. (2) LAYERS 5/8" TYPE 'X' GYPSUM BRD.
FL2		FINISH FLOOR T.B.D. 4" POURED CONCRETE FLOOR (REINFORCED WITH W.W.M) 6mil POLY VAPOUR BARRIER MIN R10 RIGID INSULATION (R30 (3" RIGID) PREFERRED) GRAVEL BASE TO MATCH FOOTING THICKNESS
R1		SHINGLES - SELF SEALING ½" PLYWOOD SHEATING c/w "H" CLIPS PRE-ENG. ROOF TRUSSES @24" O.C. R-60 BLOWN IN INSULATION (R-32 ATTIC) OR SPRAY FOAM INSUL. 6mil POLY (WHERE BATT INSULATION) 5%" GYPSUM BOARD

FLOOR / ROOF LEGEND GENERAL NOTES

1. ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED

1 MAIN FLOOR PLAN
A01.2 1/4" = 1'

EKEEN
DESIGN STUDIO 1500 Alma, Amherstburg, ON 226-221-8895

FINAL DRAWING -

USE

FOR CONSTRUCTION..

LOWER LEVEL FLOOR PLAN

25009 - 4461 Wyandotte

4461 Wyandotte E, Windsor ON
Let 27

AUG 28, 2023

12 FEB 2025 ISSUED FOR BUILDING PERMIT

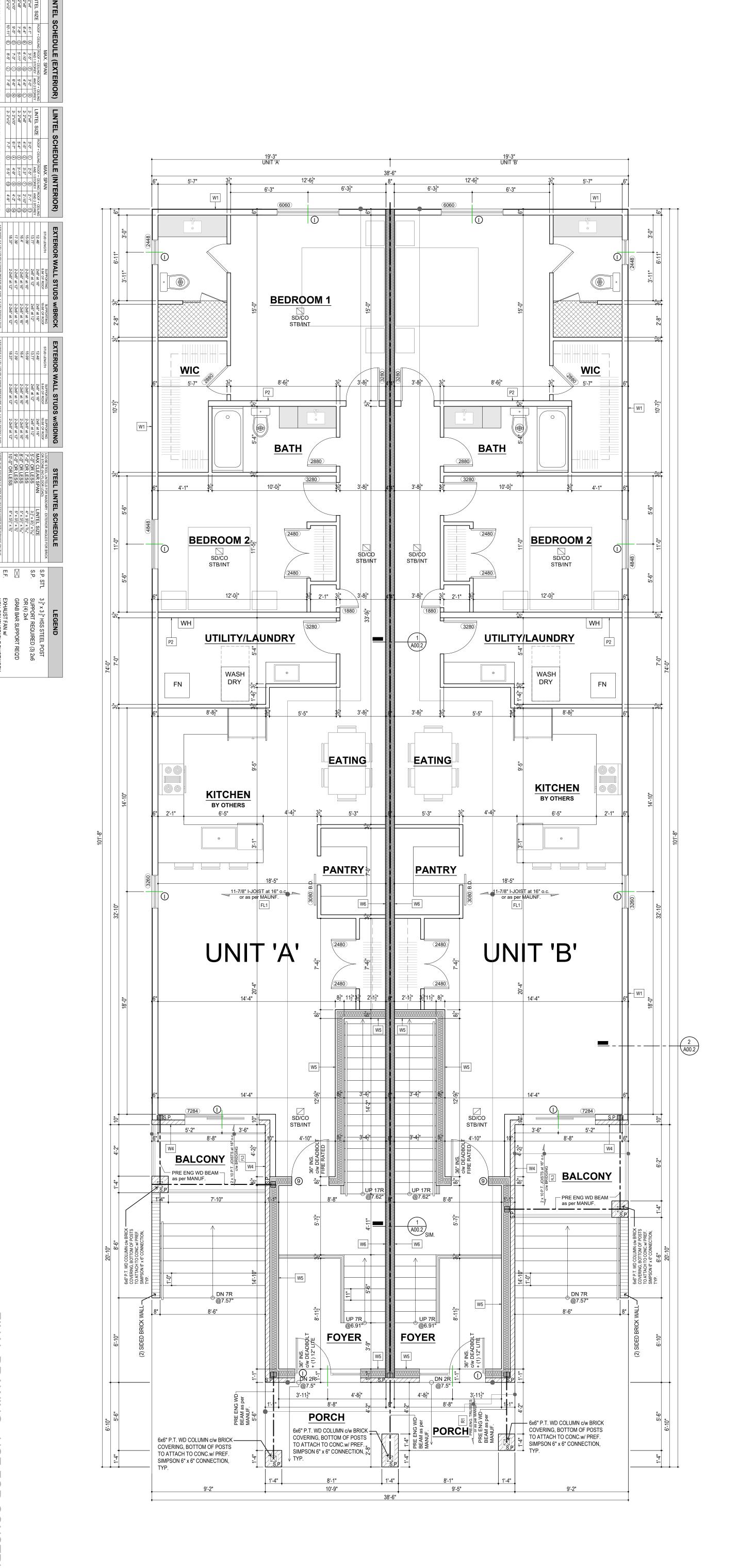


2- 2"x4"
2- 2"x6"
2- 2"x8"
2- 2"x8"
2- 2"x10"

SUPPORTING 9,84 OF ROOF 2x6" at 12" 2x6" at 16" 2-2x6" at 16" 2-2x6" at 12" 2-2x6" at 12" 2-2x6" at 12"

SUPPORTING
19.68 OF ROOF
2x6" at 16"
2x6" at 12"
2-2x6" at 16"
2-2x6" at 16"
2-2x6" at 12"
2-2x6" at 12"

SUPPORTING 9,84 OF ROOF 2x6" at 12"
2x6" at 16"
2-2x6" at 16"
2-2x6" at 16"
2-2x6" at 12"
2-2x6" at 12"

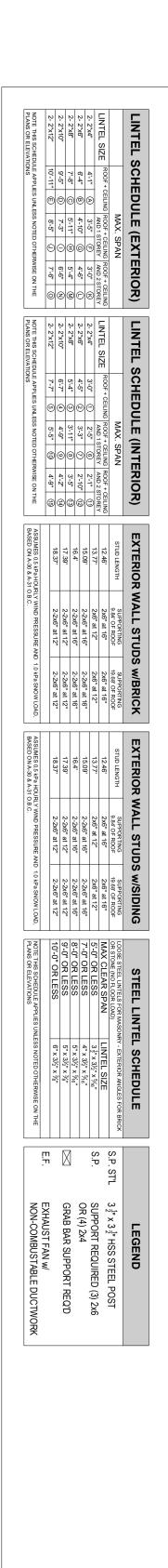


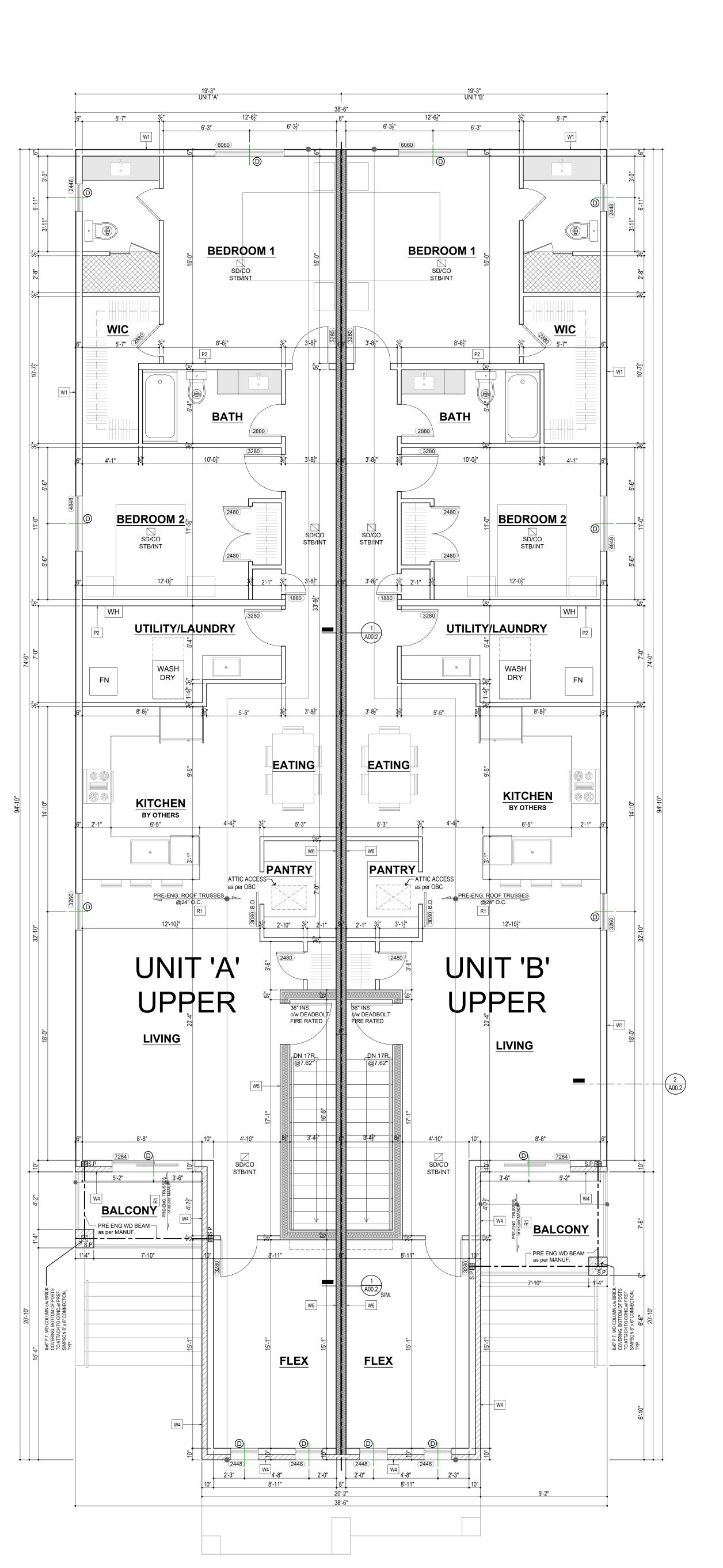
MARK	WALL / PARTITION LEGEND	DESCRIPTION			
W1	120 Tan 120 Ta	SIDING TYVEK or approved equal 7/16" O.S.B. or approved equal 2x6" WD STUDS @ 16" o.c. c/w BATT INSULATION, MIN R-22 6 mil POLY VAPOUR BARRIER ½" GYPSUM BOARD			
W2		4" FACE BRICK c/w BRICK TIES 1" AIR SPACE AIR BARRIER 7/6" O.S.B. or approved equal 2x4 STUDS @ 16" o.c. MIN. R-22 BATT INSULATION 2x4 STUDS @16" O.C. 6 mil POLY. VAPOUR BARRIER ½" GYPSUM BOARD			
W3	\$6	DRAINAGE LAYER DAMP PROOFING 8" POURED CONCRETE (20MPa min.) R-10 RIGID INSULATION 2x4 STUDS @ 16" o.c. MIN. R-12 BATT INSULATION 6 mil POLY. VAPOUR BARRIER ½" GYPSUM BOARD (OPTIONAL)			
W4	12 To 10 To	BRICK/STONE VENEER 1" AIRSPACE AIR BARRIER ½" PLYWOOD 2x6 STUD WALL @16" O.C. w/R22 BATT INSULATION 6mil POLY VAPOUR BARRIER 1/2" GYPSUM BOARD			
W5		(2) ⁵ / ₈ " TYPE 'X' GYPSUM BOARD 2x6 STUDS at 16" o.c. 5-1/4" ABSORPTIVE MATERIAL ¹ / ₂ " RESILIENT CHANNELS 24" o.c. (2) ¹ / ₈ " TYPE 'X' GYPSUM BOARD			
W6		5/8" TYPE 'X' GYPSUM BOARD RESILIANT CHANNEL ON 2x4" STUDS at 16" o.c. w/ BATT R-22 INSUL. 1" AIR SPACE 2x4" STUDS at 16" o.c. w/ BATT INSULATION RESILIANT CHANNEL ON 5/8" TYPE 'X' GYPSUM BOARD			
W7	60 A A A A A A A A A A A A A A A A A A A	%" TYPE 'X' GYPSUM BOARD 2 ROWS 2x4 STUDS at 16" o.c. WALLS ON SEPARATE 2x4 SILL PLATES w/1" MIN. AIR GAP 3-1/2" ABSORPTIVE MATERIAL (ON EACH SIDE) %" TYPE 'X' GYPSUM BOARD			
P1	NON-LOAD BEARING LOAD BEARING	1/2" GYPSUM BOARD 2x4 STUD WALL @16" O.C. 1/2" GYPSUM BOARD DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING			
P2	NON-LOAD BEARING LOAD BEARING	1/2" GYPSUM BOARD 2x6 STUD WALL @16" O.C. 1/2" GYPSUM BOARD ** DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING			
1. ALL WALI 2. ALL WET 3. PROVIDE 4. PROVIDE 5. ALL MASO	AREAS WHERE GYPSUM BOARD IS PRESENT S AND INSTALL ALL EXTERIOR FINISHES, TRIMS FOUNDATION WATERPROOFING AT ALL WALLS	EEPHOLES (9.20.13.18), FLASHING (9.20.13.1) AND WALL TIES (9.20.9.5)			
MARK	FLOOR / ROOF LEGEND	DESCRIPTION			
FL1	TEOCKY NOOF ELGEND	FLOOR FINISH T.B.D. 5/8" T&G PLYWOOD SUB FLOOR 11-7/8" I-JOISTS (SEE ENG. REPORT) 6" THICK ABSORPTIVE MATERIAL 1/2" RESILIENT CHANNEL @24" o.c. (2) LAYERS §" TYPE 'X' GYPSUM BRD.			

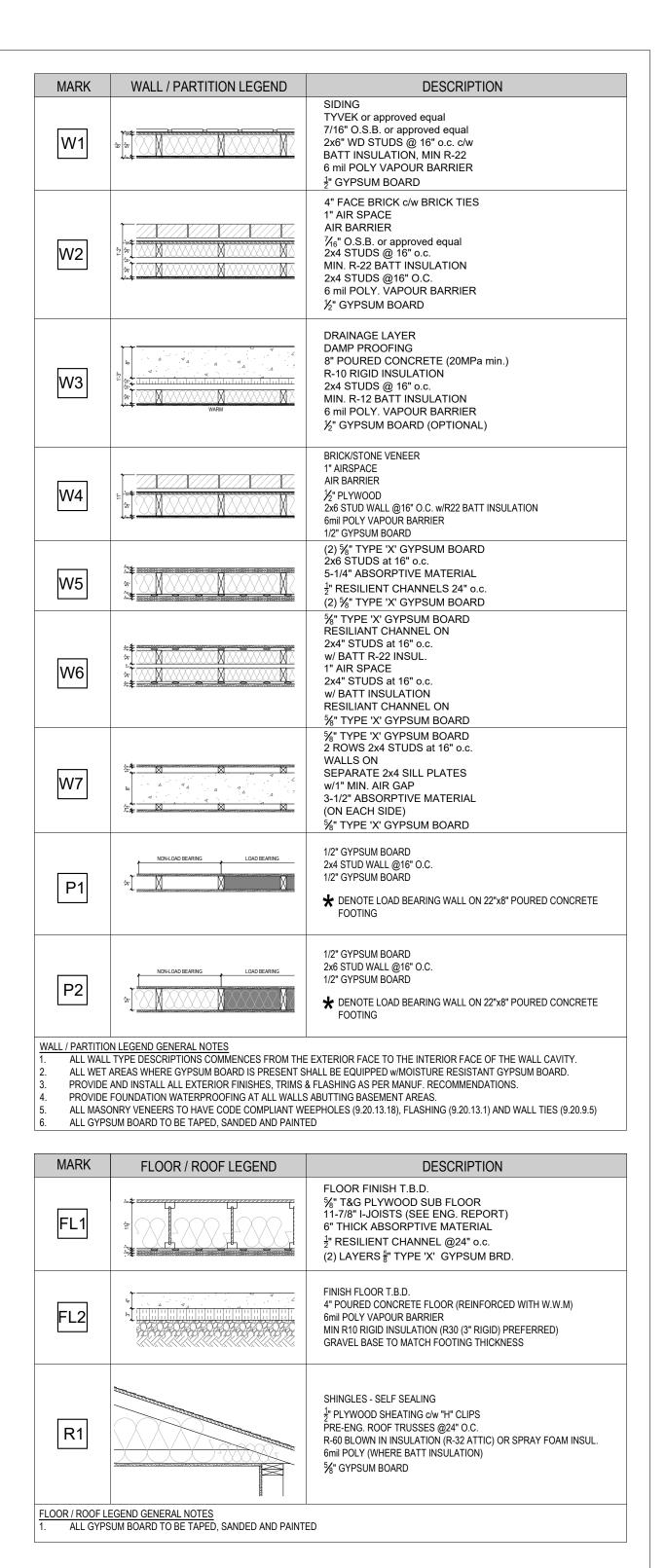
MARK	FLOOR / ROOF LEGEND	DESCRIPTION			
FL1		FLOOR FINISH T.B.D. 5/8" T&G PLYWOOD SUB FLOOR 11-7/8" I-JOISTS (SEE ENG. REPORT) 6" THICK ABSORPTIVE MATERIAL 1/2" RESILIENT CHANNEL @24" o.c. (2) LAYERS 5/8" TYPE 'X' GYPSUM BRD.			
FL2		FINISH FLOOR T.B.D. 4" POURED CONCRETE FLOOR (REINFORCED WITH W.W.M) 6mil POLY VAPOUR BARRIER MIN R10 RIGID INSULATION (R30 (3" RIGID) PREFERRED) GRAVEL BASE TO MATCH FOOTING THICKNESS			
R1		SHINGLES - SELF SEALING ½" PLYWOOD SHEATING c/w "H" CLIPS PRE-ENG. ROOF TRUSSES @24" O.C. R-60 BLOWN IN INSULATION (R-32 ATTIC) OR SPRAY FOAM INSUL. 6mil POLY (WHERE BATT INSULATION) ½" GYPSUM BOARD			
FLOOR / ROOF LEGEND GENERAL NOTES 1. ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED					

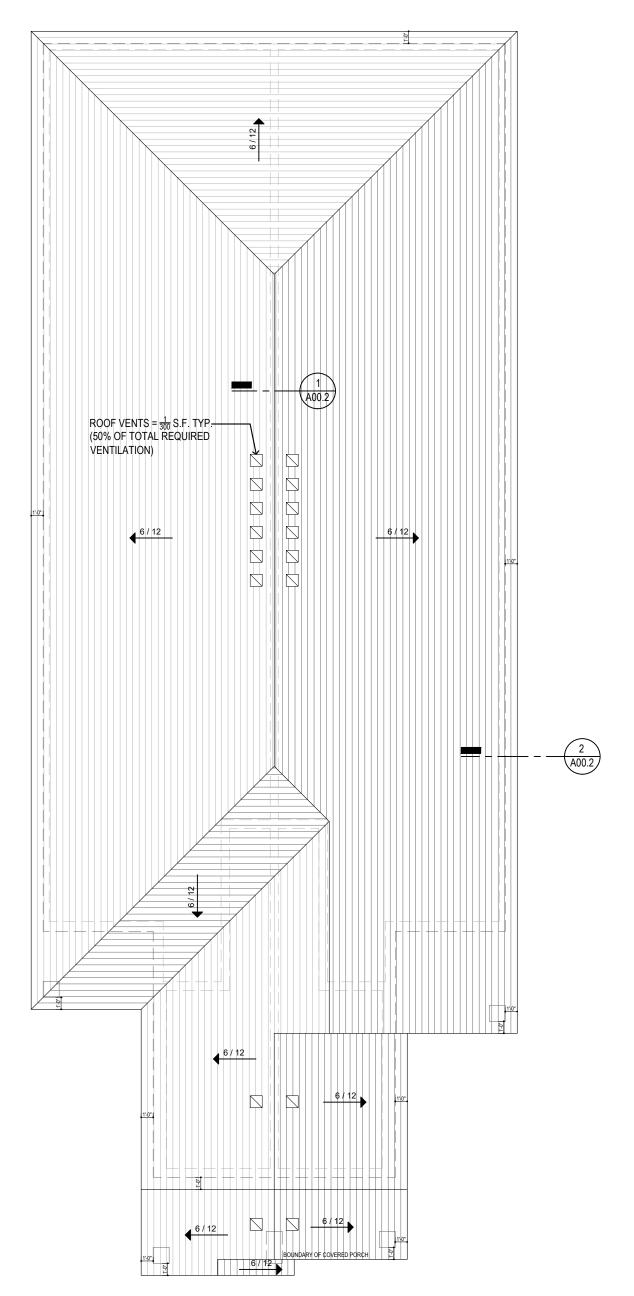
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226-221-8895

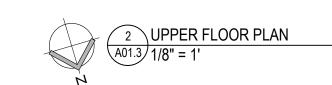








1 UPPER FLOOR PLAN
A01.3 1/4" = 1'





FINAL DRAWING - USE

FOR CONSTRUCTION.

UPPER FLOOR & ROOF
25009 - 4461 Wyandotte
4461 Wyandotte E, Windsor ON
Lot 27

...

AUG 28, 2023

12 FEB 2025 ISSUED FOR BUILDING PERMIT

	GLAZING OPENING	GS IN BUILDING FACE		EXTERIOR ELEVATION NOTES		EXTERIOR MATE	RIAL FINISHES SCHEDULE			
ELEVATION NORTH	BUILDING FACE (SF) 1004 SF	GLAZING (SF) 307 SF	GLAZING %	ALL EXTERIOR FINISHES AS PER EXTERIOR MATERIAL FINISHES SCHEDULE OR EQUAL APPROVED.						۷02
NORTH EAST	2278 SF	109 SF	5.8 % @1.3m	 ALL EXTERIOR FINISHES INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS ALL EXTERIOR TRIMS, SILLS AND FLASHING TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS. 					T.O. ROOF	
SOUTH	925 SF 2278 SF	106 SF 109 SF	5.8 % @1.3m	4. EXISTING GRADING TO BE COORDINATED w/OWNER/G.C.	Shingles	Siding	Brick	Cedar Shakes		
WEST TOTAL	6485 SF	631 SF	9.7%	5. NEW OPENING ELEVATION TO BE SET BY TOWNSHIP	Omigioo	Olding	Briok	Coddi Charos		
									5000	
									T.O. PLATE	
									11-0"	
								-	T.O. SUBFLOOR	
								29-7	T.O. PLATE	
									6048	
									T.O. SUBFLOOR	
									T.O. PLATE	
									1.7	
									GRADE	
									8" P. CONC. WALL ON	
									24" X 8" P. CONC. STRIP FTG, TYP. T.O. FOOTING	
									2 SOUTH ELEVATION	
									ACL D.S. AS PER SUBDIVISION AGREEMENT OR PUBLIC WORKS DEPT.	H N
									T.O. ROOF	
										ONIC
										0 8 9
										8
										nss
										_
									T.O. PLATE	2025
									7284	8
										2
								42" GUARDRAIL as	as per O.B.C.	53
									6 CAULKED AND SLOPED AWAY FROM HOUSE TYP.	3, 20,
								2x10 P.T. JOISTS -	2x10 P.T. JOISTS T.O. SUBFLOOR] JG 28
								9-32"		A P
								2	T.O. PLATE 1'-0" 1-0" 1-0" 6" x 6" P.T. POSTS c/w BRICK	NO NO
									CLADDING BOTTOM OF POSTS TO ATTACH TO CONC. w/ PREF. SIMPSON 6" x 6" CONNECTION,	lsor (
								42" GUARDRAII as	per O.B.C. TYP.	dotte
								12 00/110/10/12 00	as per O.B.C.	Wyan te E,
										ONS 461 V
								2x10 P.T. JOISTS -	2x10 P.T. JOISTS T.O. SUBFLOOR	EVATI 009 - 44 31 Wya
									T.O. PLATE	EL
								6" x 6" P.T. POSTS CLADDING BOTTO	c/w BRICK	
								CLADDING BOTTO TO ATTACH TO CO SIMPSON 6" x 6" C	NC. w/ PREF. CONNECTION, CONNE	
								IYP.	GRADE	
									8" P. CONC. WALL ON 8" P. CONC. WALL ON 24" X 8" P. CONC. STRIP 5TC TVP	ig. o.
									T.O. FOOTING	B. T
								4" min. POURED Co w/ 5-8% AIR ENTRA	ONC. SLAB T 16" x 16" CONCRETE PIER ON 42"x42"x16" PAD	Amhe 35
								W/ 2" RIGID INS. U	NDER SLAB W/ 2" RIGID INS. UNDER SLAB	21-88;
								GRADE ENTRY	GRADE ENTRY A02.1) 1/4" = 1' ALL D.S. AS PER SUBDIVISION EINTAL DD ANAINC LIGE EAD CONCETDITION	D E S 1500 A 226-22
									AGREEMENT OR PUBLIC WORKS DEPT. FINAL DRAVVING - USE FUR CONSTRUCTION	

