

Notice of Public Hearing – Committee of Adjustment Application

File # A-094/25 - 1989 WYANDOTTE ST W

Date Mailed: November 26, 2025

Electronic hearing:

By videoconference on December 11, 2025 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on November 26, 2025. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: ESSEX CONDO PLAN 137; LEVEL 1; UNIT 1

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Mixed Use Corridor	Residential RD3.4

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: 1001054864 Ontario Inc Applicant Name: VIJAY VASANTGADKAR ARCHITECT INC.		1989 WYANDOTTE ST W

PURPOSE OF APPLICATION

Minor Variance - Proposed additional dwelling unit in an existing multi residential building seeking relief from increased maximum number of dwelling units.

By-Law	Provision	Provision Description	Requirement	Proposed
	12.4.5.14	Maximum Dwelling Units	As Existing - 37 units	38 units

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

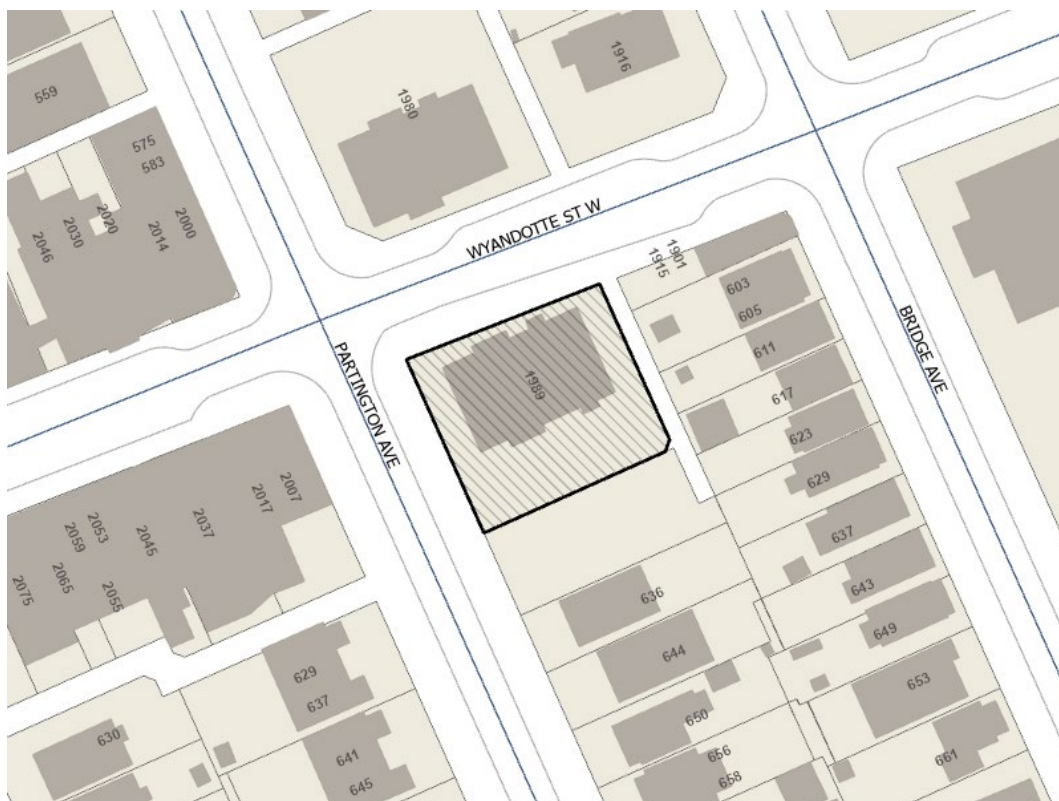
Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca

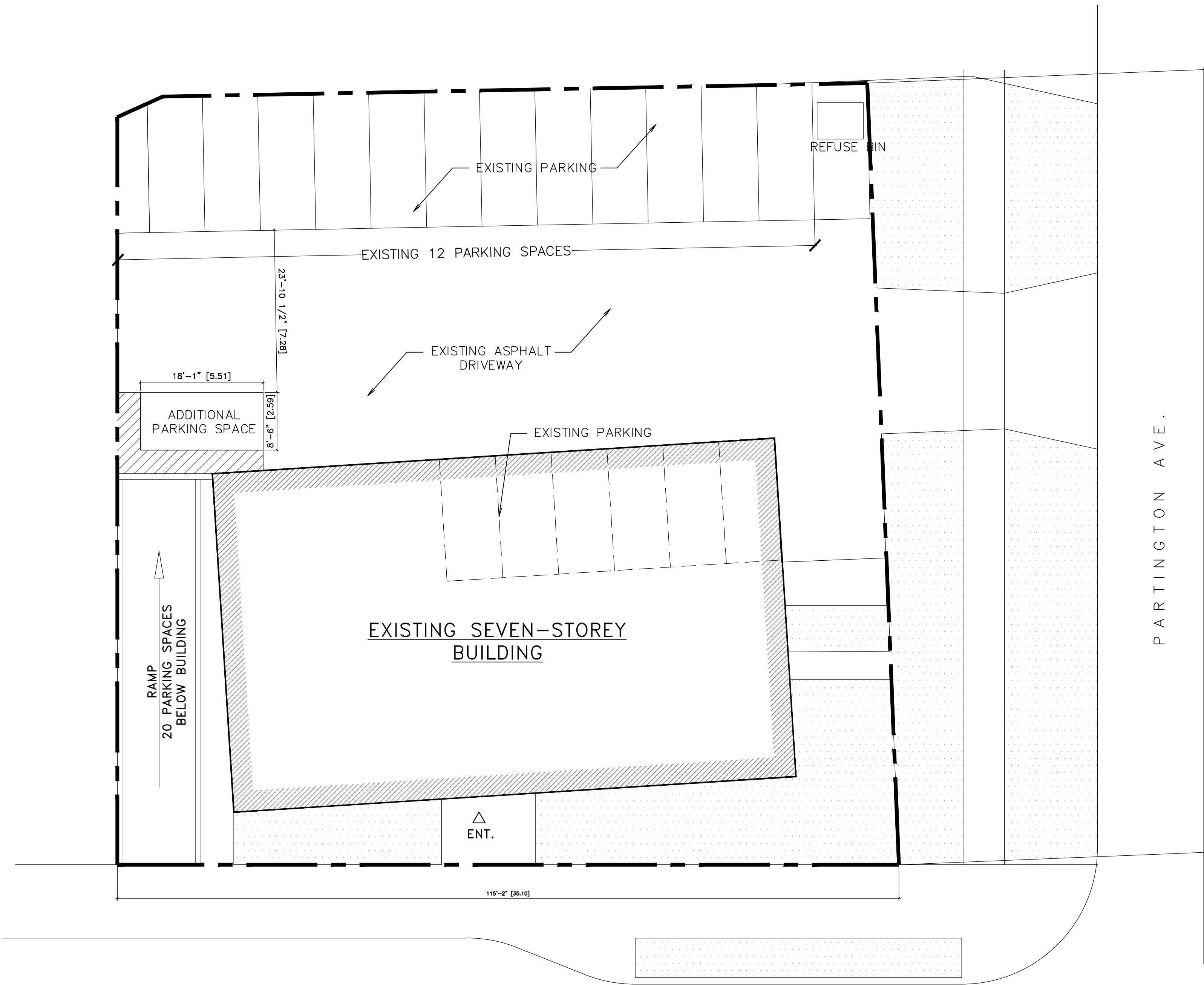
SITE STATS:

EXISTING PARKING
BASEMENT – 20 SPACES
SURFACE – 18 SPACES
ADD PARKING – 1 SPACE
TOTAL SPACES – 39

EXISTING UNITS – 38 UNITS
PROPOSED UNIT – 01 UNIT



KEY PLAN
SCALE: NTS



SITE PLAN
SCALE: 3/32" = 1'-0"

WYANDOTTE ST. W

6	REVISED	NOV 12 2025
5	SPC	APR 02 2025
4	PERMIT	FEB 07 2025
3	REVIEW	FEB 04 2025
2	REVIEW	JAN 29 2025
1	REVIEW	JAN 27 2025
NO	ISSUED FOR	MM DD YYYY

– ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE JOB SITE.
– ANY AND ALL DISCREPANCIES TO BE REPORTED TO THE ARCH. / ENGINEER.
– ALL DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECT.
– DO NOT SCALE DRAWINGS.

NORTH DIRECTION:



PROJECT NAME AND LOCATION:

PROPOSED ACCESSORY
DWELLING UNIT

1989 WYANDOTTE ST. W.
WINDSOR, ON

DRAWING

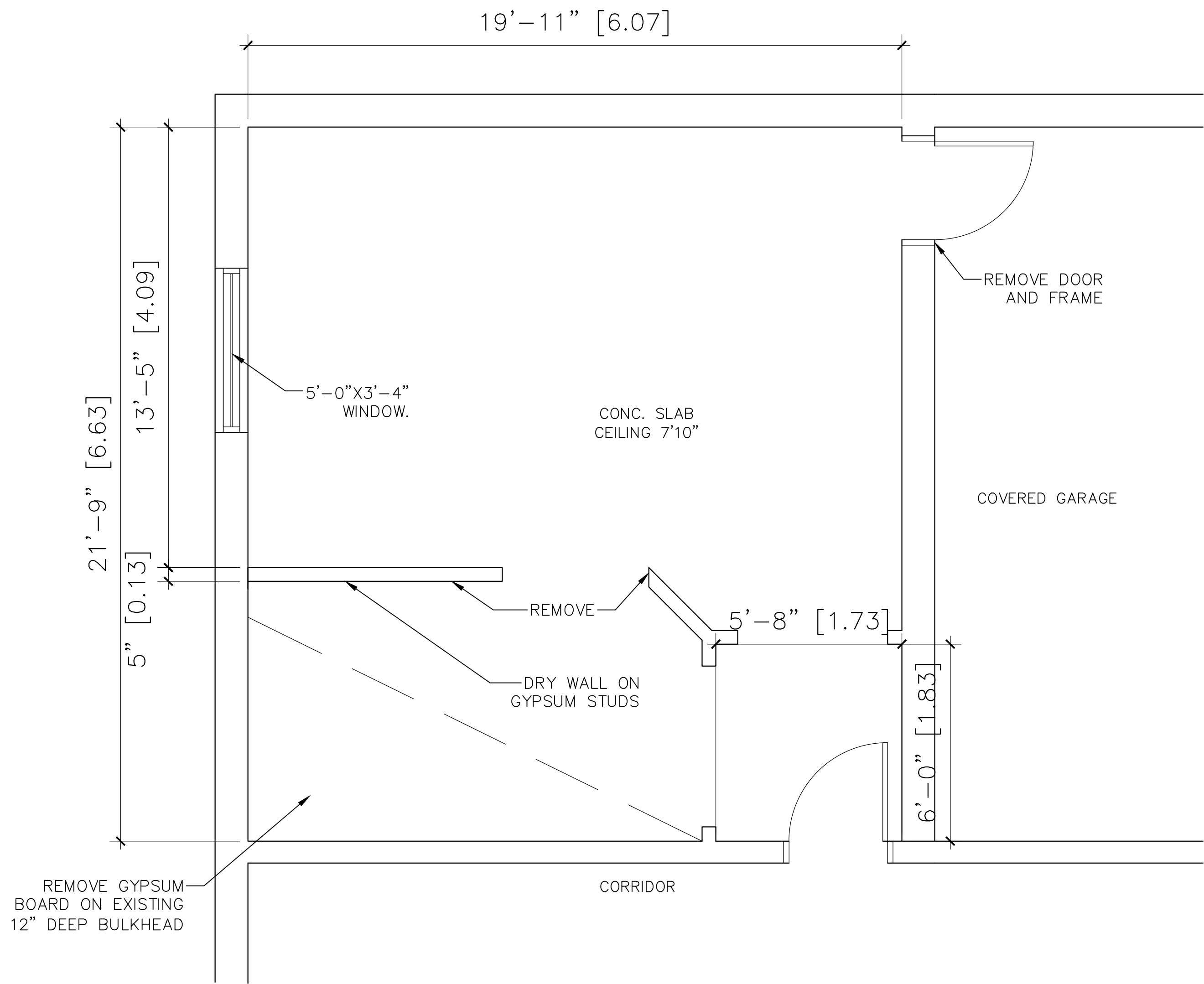
SITE PLAN,
KEY PLAN,

PROJECT NUMBER	2481
SCALE:	3/32" = 1'-0"
DATE:	JAN 29 2025
DRAWN BY	I.M
CHECKED BY	V. V.

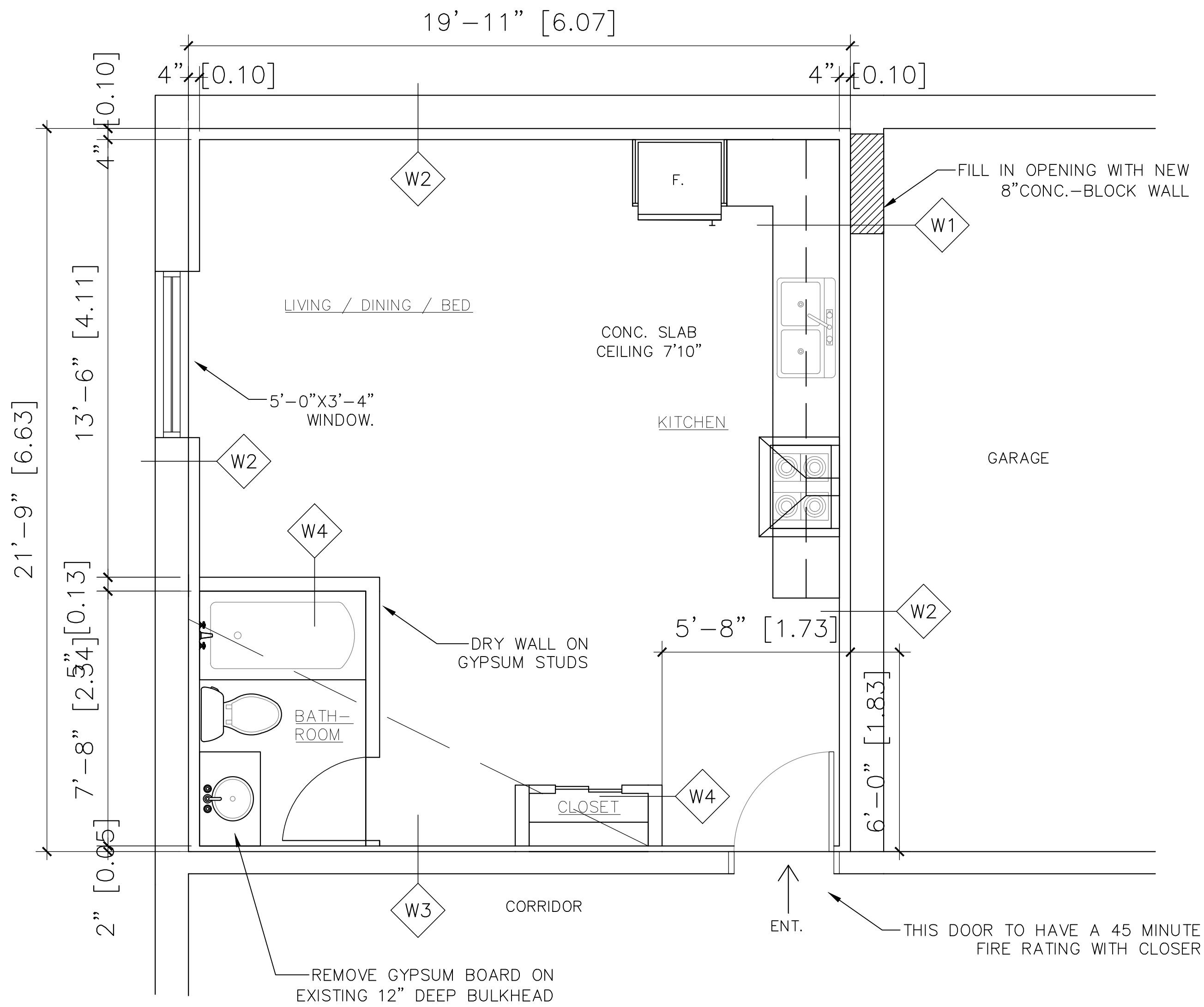
DRAWING NO.

A-1

WALL TYPES	
W1 2"x4" WOOD STUDS AT 16" O.C. NEW 8" CONC. BLOCK WALL R-15 INSULATION 1/2" GYPSUM BOARD ON 6 MIL POLY VAPOR BARRIER	W3 2"x3" WOOD STRAPPING AT 16" O.C. EXISTING 8" CONC. BLOCK WALL 1/2" GYPSUM BOARD
W2 2"x4" WOOD STUDS AT 16" O.C. EXISTING 8" CONC. BLOCK WALL R-15 INSULATION 1/2" GYPSUM BOARD ON 6 MIL POLY VAPOR BARRIER	W4 1/2" GYPSUM BOARD ON 2"x4" WOOD STUDS AT 16" O.C. 1/2" GYPSUM BOARD



FLOOR PLAN- DEMOLITION WORK
SCALE: 3/8" = 1'-0"



FLOOR PLAN- PROPOSED WORK
SCALE: 3/8" = 1'-0"

5	SPC	APR 02 2025
4	PERMIT	FEB 07 2025
3	REVIEW	FEB 04 2025
2	REVIEW	JAN 29 2025
1	REVIEW	JAN 27 2025
NO	ISSUED FOR	MM DD YYYY

— ALL DIMENSIONS TO BE CHECKED
AND VERIFIED ON THE JOB SITE.
— ANY AND ALL DISCREPANCIES TO BE
REPORTED TO THE ARCH. / ENGINEER.
— ALL DRAWINGS REMAIN THE
PROPERTY
OF THE ARCHITECT.
— DO NOT SCALE DRAWINGS.

NORTH DIRECTION:



PROJECT NAME AND LOCATION:

PROPOSED ACCESSORY
DWELLING UNIT

1989 WYANDOTTE ST. W.
WINDSOR, ON

DRAWING

DEMOLITION PLAN
PROPOSED PLAN
WALL TYPES

PROJECT NUMBER	2481
SCALE:	3/8" = 1'-0"
DATE:	JAN 29 2025
DRAWN BY	I.M
CHECKED BY	V. V.
DRAWING NO.	