

Notice of Public Hearing – Committee of Adjustment Application

File # A-092/25 - 898 EDWARD AVE

Date Mailed: November 26, 2025

Electronic hearing:

By videoconference on December 11, 2025 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on November 26, 2025. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 1058 PT ALLEY LOT 21 W PT LOT 20 AND RP 1222714 PART 2

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential District 1.2 (RD1.2)

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: DANE MICHAEL LITTLE Applicant Name: Dane Little		898 EDWARD AVE

PURPOSE OF APPLICATION

Minor Variance - Requesting relief for reduced minimum rear yard depth.

By-Law	Provision	Provision Description	Requirement	Proposed
	10.2.5.6	Minimum Rear Yard Depth	7.50 m ²	2.14 m ²

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

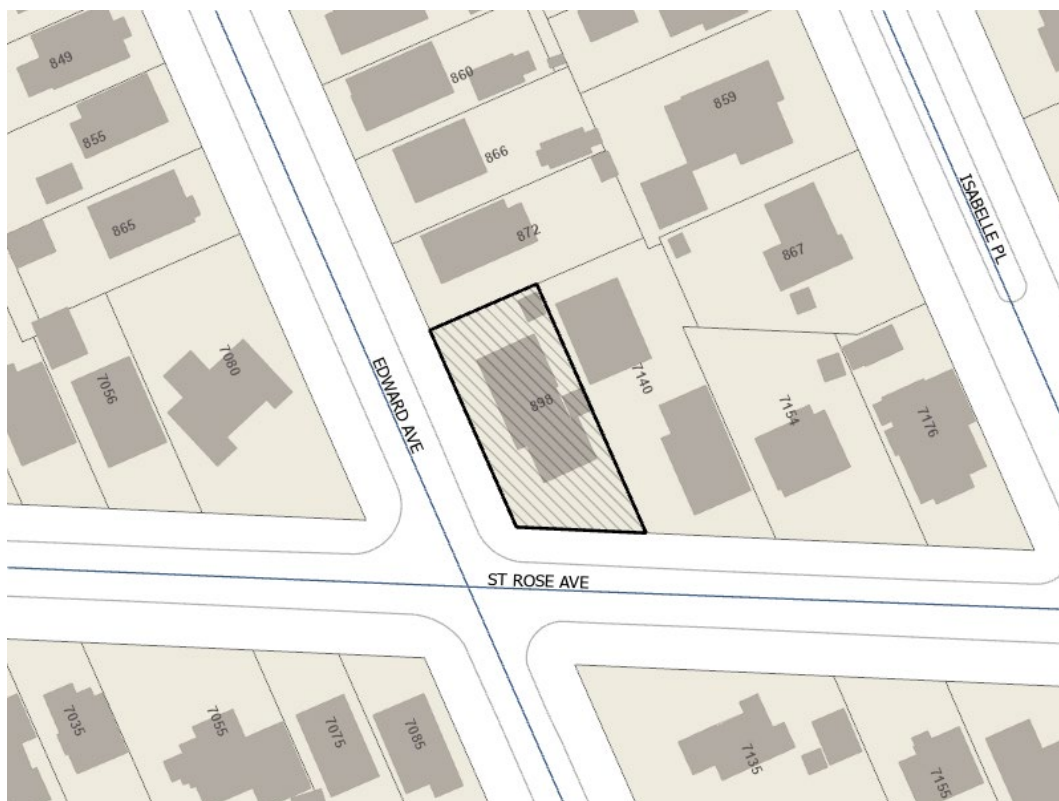
Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

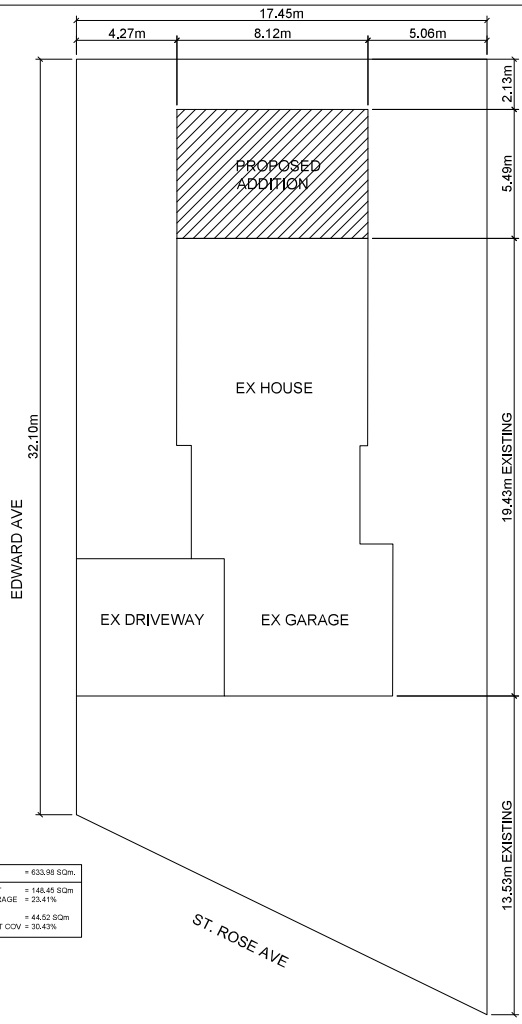
Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca



LOT AREA	= 633.96 SQm.
EX HOUSE FOOTPRINT	= 148.45 SQm
EX HOUSE LOT COVERAGE	= 23.41%
PROPOSED ADDITION	= 44.62 SQm
PROPOSED TOTAL LOT COV	= 30.43%

**CONCEPT
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FORM BCR# 47248
166 PONTIAC AVE. UNIT 208
AMHERSTBURG, ONTARIO
OFFICE 519.619.0423
CELL
www.conceptstudio.ca

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Date	Revised By

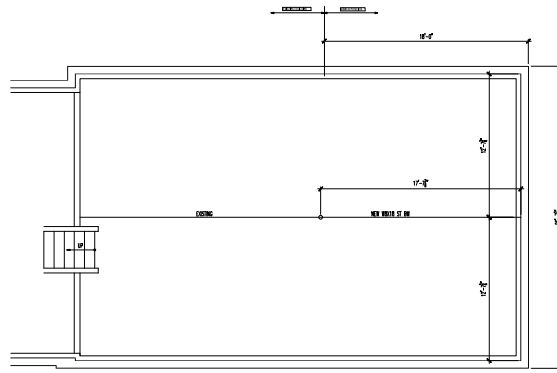
Project Name and Address

698 EDWARD AVE, WINDSOR

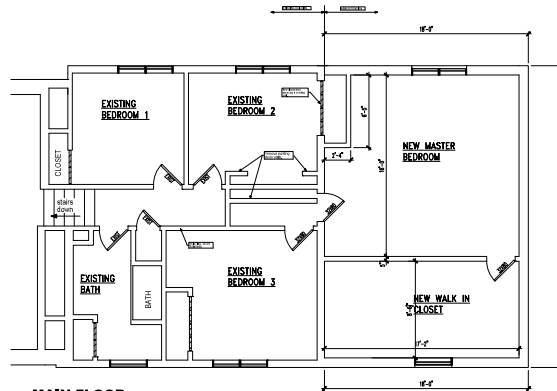
Project Number	234715
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Drawn By	C.S.
Check By	C.S.
Date	AS NOTED

Sheet

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FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



MAIN FLOOR
SCALE: 1/8" = 1'-0"

**CONCEPT
STUDIO
DESIGNS**
FIRM BCRI: 47240
186 PONTIAC AVE. 2ND FL.
AMHERSTBURG, ONTARIO
OFFICE: 519.819.0423
EMAIL: info@conceptstudio.ca

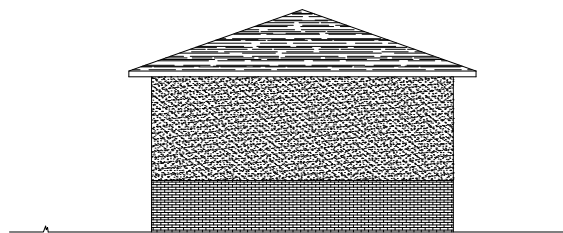
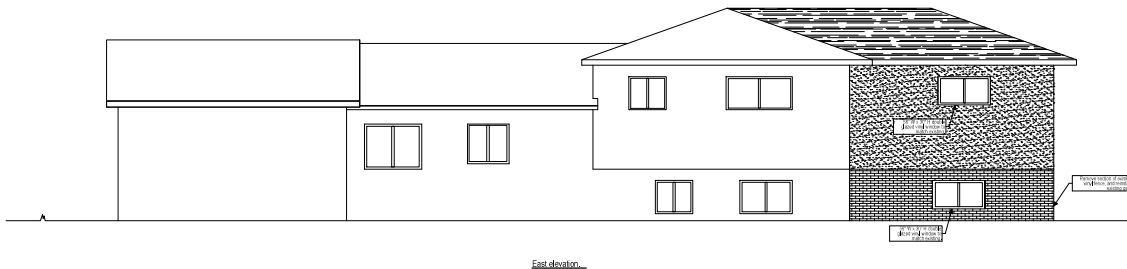
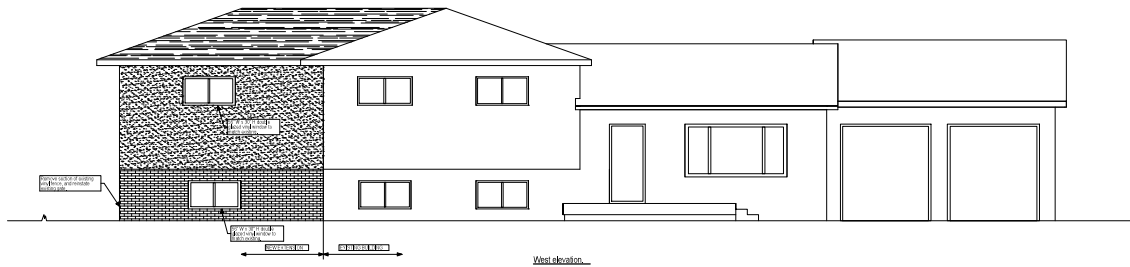
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DATE	REVISION

Project Name and Address
888 EDWARD AVE, WINDSOR

Project Number
234715
C.D. FILE
C.S.
C.S.
AS NOTED

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**CONCEPT
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DESIGNS**
 FIRM BCRI: 47248
 166 PONTIAC WEST DR
 AMHERSTBURG, ONTARIO
 OFFICE: 519.819.0423
 EMAIL: info@conceptstudios.com

I, the undersigned, being a duly qualified Architect, do hereby certify that the foregoing is a true and correct copy of the original as submitted to me by the owner, and that I am a duly qualified Architect under the Architects Act, R.S.O. 1990, Chapter A.01, as amended, and that I am duly registered with the Architectural Association of Ontario.

Date: 08/02/2015
 By: [Signature]

Project Name and Address:
 898 EDWARD AVE, WINDSOR

Project Number:
 234715
 Date: 08/02/2015
 Drawn By:
 C.S.
 Check By:
 C.S.
 Scale:
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