

Notice of Public Hearing – Committee of Adjustment Application

File # A-090/25 - 790 ROSELAND DR S

Date Mailed: November 26, 2025

Electronic hearing:

By videoconference on December 11, 2025 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on November 26, 2025. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 1478 W PT LOT 162

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential District 1.4 (RD1.4)

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: SCOTT D'AMORE Applicant Name: Julie Touma		790 ROSELAND DR S

PURPOSE OF APPLICATION

Minor Variance - Requesting relief for an increased main building maximum gross floor area.

By-Law	Provision	Provision Description	Requirement	Proposed
	10.4.5.10	Maximum Gross Floor Area - Main Building	400 m ²	632 m ²

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

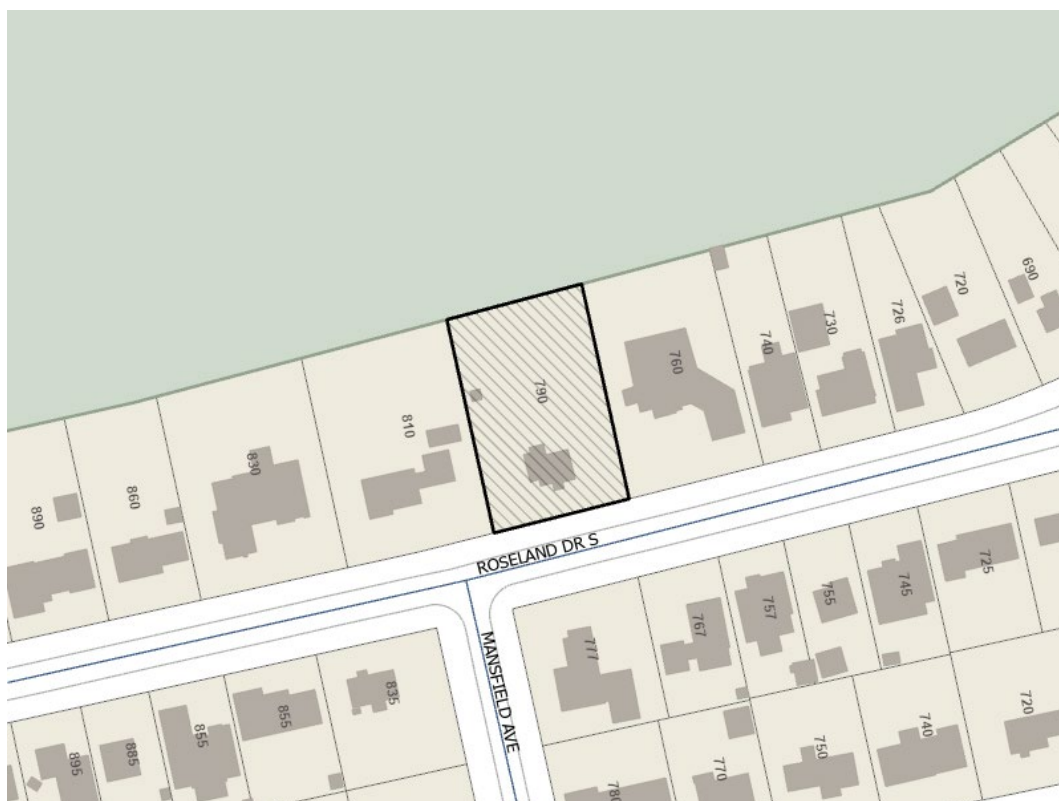
Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca

D'AMORE RESIDENCE

PROJECT DESCRIPTION

TWO STOREY RESIDENCE W/ ATTACHED GARAGE

DRAWING INDEX

A-000	COVER SHEET
A-100	FIRST FLOOR PLAN
A-101	SECOND FLOOR PLAN
A-200	ROOF PLAN
A-300	ELEVATIONS
A-301	ELEVATIONS
A-400	CROSS SECTIONS
A-401	CROSS SECTIONS
A-402	CROSS SECTIONS
A-500	WALL SECTIONS
A-600	SCHEDULES
A-700	3D VIEWS
C-100	SITE PLAN

AREA SUMMARY

FIRST FLOOR	2,574 SF
SECOND FLOOR	2,279 SF
TOTAL LIVING AREA	4,853 SF
BASEMENT	2,574 SF
GARAGE #1	846 SF
GARAGE #2	473 SF

ZONING SUMMARY

CITY/TOWN	WINDSOR
ZONING	RD1.4

Setback & Height Requirements

Front Yard	19.69 ft / 6.0 m
Rear Yard	24.61 ft / 7.5 m
Side Yard (Interior)	3.93 ft / 1.2 m
Max Bldg Height	29.53 ft / 9.0 m

Site Areas

Lot Area	21,948 SF
Lot Coverage (Area)	4,980 SF
Lot Coverage (%)	22.6%
Max. Allowed	45.0 %
Gross Floor Area*	3,899 SF
Max. Gross Floor Area	4,304 SF

*Excludes Cellar & porches, Includes Garages & First Floor

PROJECT LEGEND

	SECTION REFERENCE SECTION NUMBER SHEET NUMBER
	DETAILED REFERENCE DETAIL NUMBER SHEET NUMBER
	ENLARGED DETAIL DETAIL NUMBER SHEET NUMBER
	ELEVATION REFERENCE SHEET NUMBER ELEVATION NUMBER
	WINDOW TAG
	DOOR TAG
	NOTE REFERENCE
	REVISION
	ROOM TAG ROOM NAME ROOM NUMBER



FINAL DESIGN MATERIALS AND SELECTIONS TO BE COORDINATED WITH CONTRACTOR.

GENERAL NOTES

- THESE DOCUMENTS HAVE BEEN CREATED TO MEET GENERALLY ACCEPTED PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, THEY HAVE BEEN DESIGNED WITHOUT ANY SPECIFIC KNOWLEDGE OF THE GEOGRAPHICAL LOCATION OF THE PROJECT. LOCAL CODES AND SITE CONDITIONS NEED TO BE VERIFIED TO CONFIRM ALIGNMENT WITH ITEMS SUCH AS, BUT NOT LIMITED TO: SOIL CONDITIONS FOR BEARING CAPACITIES, WIND LOAD, SEISMIC ZONES AND FROST LEVELS
- THE LUMBER MATERIAL SELECTION FOR CONSTRUCTING THE STRUCTURE NEEDS TO BE CONFIRMED THAT THEY ARE BEING USED IN ALIGNMENT WITH THE CODES. AS REQUIRED, THE USER OF THESE DOCUMENTS IS RESPONSIBLE FOR CONSULTING THE CONTRACTOR, LOCAL AUTHORITIES HAVING JURISDICTION AND/OR CERTIFIED PROFESSIONAL THAT IS KNOWLEDGEABLE IN CONFIRMING COMPLIANCE. COMPLIANCE REQUIREMENTS SHALL TAKE PRECEDENCE OVER THESE DOCUMENTS.
- ALL PRE-ENGINEERED TRUSSES AND FLOORING SYSTEMS ARE NOT INCLUDED IN THESE DESIGN DRAWINGS AND ARE SHOWN AS CONCEPTS. A THIRD PARTY ENGINEERED DRAWINGS ARE RESPONSIBILITY OF THE OWNER/CONTRACTOR PROVIDING THE SYSTEMS AND SHALL BE PROVIDED TO LOCAL AUTHORITY UPON REQUEST.
- BEFORE START OF CONSTRUCTION, IT IS THE OWNER/CONSTRUCTOR'S RESPONSIBILITY TO OBTAIN APPROVAL FROM ALL LOCAL AUTHORITIES HAVING JURISDICTION OF THE SITE, NOT LIMITED TO MUNICIPAL, PROVINCIAL, FEDERAL AND ENVIRONMENTAL AUTHORITIES.
- THE OWNER/CONSTRUCTOR IS RESPONSIBLE TO CHECK WITH LOCAL BUILDING AUTHORITIES TO ENSURE THE BUILDING IS PERMITTED WITHIN THE APPROPRIATE ZONING BY-LAWS, BUILDING CODES AND PERMIT REQUIREMENTS.
- PRIOR TO ERECTING THE STRUCTURE, THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THE FOUNDATIONS HAVE BEEN INSTALLED CORRECTLY AND ALIGN WITH THE DIMENSIONS OF THE STRUCTURE.
- THE DESIGN PROVIDED IS FOR CONCEPT AND INFORMATIONAL PURPOSES ONLY. VERIFY ALL INFORMATION PRIOR TO CONSTRUCTION AND SEEK ASSISTANCE WITH FROM A REGISTERED CONTRACTOR.
- BEFORE STARTING CONSTRUCTION, IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK ALL DIMENSIONS AND DETAILS, AND VERIFY CONFORMANCE WITH THE GOVERNING CODE REQUIREMENTS AND LOCAL GEOGRAPHIC AREA IN WHICH THE DWELLING IS TO BE BUILT. CONTRACTOR IS RESPONSIBLE TO REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
- THE DESIGNER OF THESE DRAWINGS HAS NOT BEEN ENGAGED FOR THE CONSTRUCTION SUPERVISION OF ANY KIND AND ASSUMES NO RESPONSIBILITY TO ENSURE THAT CONSTRUCTION CONFIRMS TO THESE PLANS, NOR HAS ANY RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY OR SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK. ANY LIABILITY FOR NEGLIGENCE BY BUILDERS, MISUSE OR MISUNDERSTANDING OF THE PLAN BY THE CONTRACTORS, OR DEFECTIVE MATERIALS USE BY BUILDERS ARE DISCLAIMED.
- THIS PLAN IS THE PROPERTY OF THE DESIGNER AND SHALL NOT BE REPRODUCED IN ANY PART OR WHOLE, BY ANY METHOD WITHOUT THE WRITTEN PERMISSION.
- ALL MATERIALS, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL COMPLY WITH ALL LOCAL, PROVINCIAL AND FEDERAL CODES.
- THE OWNER/CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE CORRECT LOCATION OF THE BUILDING ON THE PROPERTY. ANY REQUIRED SURVEY, OR SITE GRADING PLANS SHALL BE PROVIDED BY OTHERS AND APPROVED THE LOCAL AUTHORITY HAVING JURISDICTION AS REQUIRED. NOT LIMITED TO THE LOCAL BUILDING DEPARTMENT AND ENVIRONMENTAL AGENCIES/AUTHORITIES.
- FOUNDATION DESIGN IS ON ADEQUATE AND STABLE SOIL CONDITIONS AND ARE TO BE VERIFIED BY OWNER/CONTRACTOR DURING CONSTRUCTION AND PRIOR TO INSTALLATION OF FOUNDATION/SLAB. THE SLAB DESIGN SHOW IN THESE DRAWINGS ARE FOR REFERENCE ONLY. THE SLAB DESIGN SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER AND PROVIDED TO THE LOCAL AUTHORITIES UPON REQUEST.
- THE OWNER/CONTRACTOR IS RESPONSIBLE FOR PROCURING ALL DESIGN ELEMENTS LABELED "BY OTHERS" AND SUBMIT THE LOCAL BUILDING OFFICIALS AS REQUIRED FOR THEIR REVIEW AND APPROVALS. INCLUDING, BUT NOT LIMITED TO THE PRE-ENGINEERED ROOF, FLOOR TRUSSES AND FOUNDATIONS.
- ALL INTERIOR AND EXTERIOR FINISHES ARE TO BE COORDINATED WITH OWNER/CONTRACTOR.
- ALL WOOD FRAMING ASSUMES TO SPRUCE NO.2 GRADE LUMBER OR BETTER, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

Azar
designs

1347 Monty St
LaSalle, ON
519.791.3613

GENERAL NOTES

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY OWNER OR CONTRACTOR PRIOR TO START OF ANY WORK. REPORT ANY DISCREPANCIES TO THE DESIGNER.

REFER TO ADDITIONAL NOTES ON COVER SHEET.

ONTARIO
REGISTERED
DESIGNER

MARCHAD AZAR
BCIN
24075

DATE ISSUED FOR

2025-10-16
2025-10-05
REVISION #1
PERMIT/CONSTRUCTION

DRAWING TITLE

COVER SHEET

PROJECT LOCATION

D'AMORE RESIDENCE
790 ROSELAND SOUTH
WINDSOR, ON N9G 1T8

DRAWN BY MJA
SCALE 1/4" = 1'-0"
DATE 2025-10-05

PROJECT NO

2025-05

SHEET NO

A-000

GENERAL NOTES: FLOOR PLAN

1.

BUILDING CODES: ALL CONSTRUCTION TO COMPLY WITH THE CURRENT VERSION OF THE ONTARIO BUILDING CODE.
2.

ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE CORE WALL STRUCTURE (METAL STUDS/WOOD STUDS) UNLESS OTHERWISE NOTED.
3.

DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE
4.

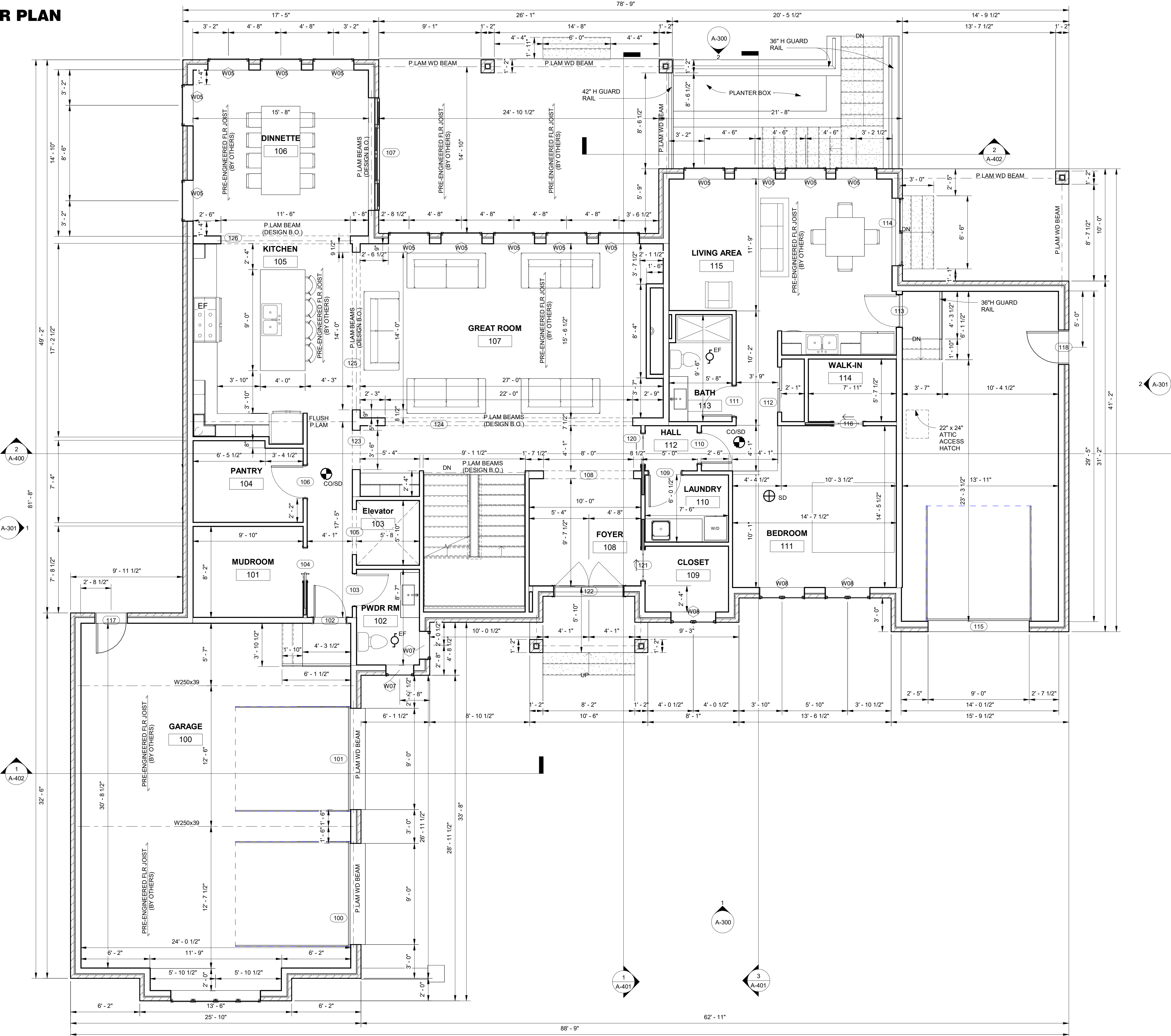
WINDOWS AND EXTERIOR DOORS: DIMENSIONS PROVIDED ARE TO CENTERLINE OF OPENING. CONTRACTOR IS RESPONSIBLE TO CONFIRM ROUGH OPENING SIZES AND CLEARANCES BASED ON FINAL SELECTION OF WINDOWS AND INFORMATION PROVIDED BY MANUFACTURER.
5.

KITCHEN CABINETS SHOWN ON DRAWINGS FOR REPRESENTATIONAL PURPOSES ONLY. FINAL CONFIGURATION OF CABINETS AND ALIGNMENT OF ANY PLUMBING AND ELECTRICAL TO BE CONFIRMED WITH OWNER AND CABINET MANUFACTURER DRAWINGS.
6.

PLUMBING LAYOUT AND DESIGN IS THE RESPONSIBILITY OF THE CONTRACTOR. FINAL LOCATIONS AND FIXTURE TYPES TO BE CONFIRMED WITH OWNER AND APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
7.

MECHANICAL VENTILATION SYSTEM TO BE DESIGNED BY A QUALIFIED HVAC DESIGNER PER THE LOCAL BUILDING CODE AND SHALL COMPLY BY THE OWNER SELECTED COMPLIANCE PACKAGE.
8.

FURNITURE SHOWN ON DRAWINGS ARE NOT INCLUDED IN ANY CONTRACT AND ARE TO BE PROVIDED BY OWNER. SHOWN FOR REPRESENTATIONAL PURPOSES ONLY.



Azar designs

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LaSalle, ON
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ONTARIO
REGISTERED
DESIGNER

MARCHAD AZAR
BCIN
24075

DATE ISSUED FOR

PERMIT/CONSTRUCTION
2025-10-05

DRAWING TITLE

FIRST FLOOR PLAN

PROJECT LOCATION

D'AMORE RESIDENCE
790 ROSELAND SOUTH
WINDSOR, ON N9G 1T8

DRAWN BY MJA
SCALE 1/4" = 1'-0"
DATE 2025-10-05

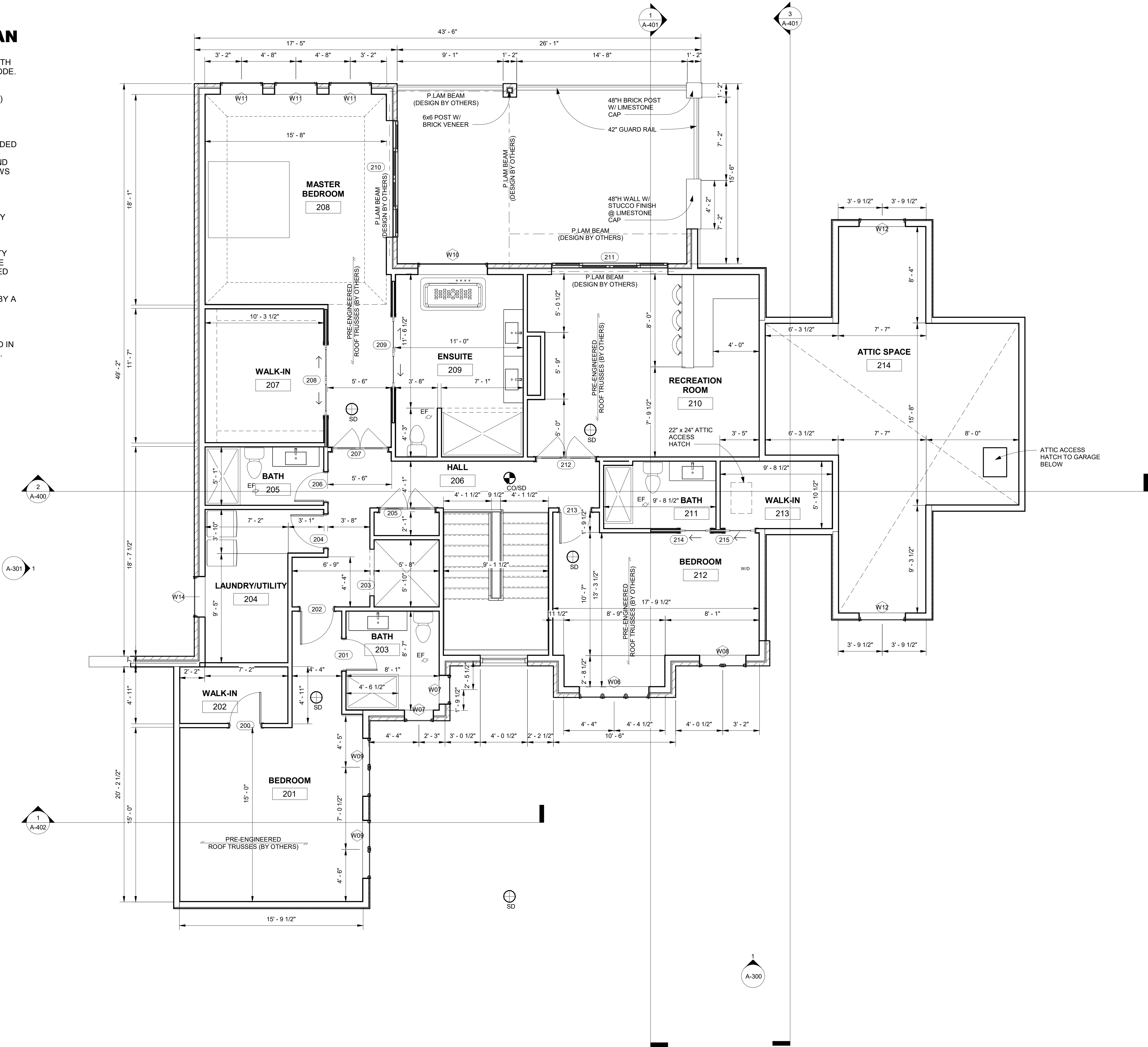
PROJECT NO
2025-05

SHEET NO

A-100

GENERAL NOTES: FLOOR PLAN

1. BUILDING CODES: ALL CONSTRUCTION TO COMPLY WITH THE CURRENT VERSION OF THE ONTARIO BUILDING CODE.
2. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE CORE WALL STRUCTURE (METAL STUDS/WOOD STUDS) UNLESS OTHERWISE NOTED.
3. DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE
4. WINDOWS AND EXTERIOR DOORS: DIMENSIONS PROVIDED ARE TO CENTERLINE OF OPENING. CONTRACTOR IS RESPONSIBLE TO CONFIRM ROUGH OPENING SIZES AND CLEARANCES BASED ON FINAL SELECTION OF WINDOWS AND INFORMATION PROVIDED BY MANUFACTURER.
5. KITCHEN CABINETS SHOWN ON DRAWINGS FOR REPRESENTATIONAL PURPOSES ONLY. FINAL CONFIGURATION OF CABINETS AND ALIGNMENT OF ANY PLUMBING AND ELECTRICAL TO BE CONFIRMED WITH OWNER AND CABINET MANUFACTURER DRAWINGS.
6. PLUMBING LAYOUT AND DESIGN IS THE RESPONSIBILITY OF THE CONTRACTOR. FINAL LOCATIONS AND FIXTURE TYPES TO BE CONFIRMED WITH OWNER AND APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
7. MECHANICAL VENTILATION SYSTEM TO BE DESIGNED BY A QUALIFIED HVAC DESIGNER PER THE LOCAL BUILDING CODE AND SHALL COMPLY BY THE OWNER SELECTED COMPLIANCE PACKAGE.
8. FURNITURE SHOWN ON DRAWINGS ARE NOT INCLUDED IN ANY CONTRACT AND ARE TO BE PROVIDED BY OWNER. SHOWN FOR REPRESENTATIONAL PURPOSES ONLY.



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REFER TO ADDITIONAL NOTES ON COVER SHEET.

ONTARIO
REGISTERED
DESIGNER

MARCHAD AZAR
BCIN
24075

DATE ISSUED FOR

2025-10-05 PERMIT/CONSTRUCTION

DRAWING TITLE

SECOND FLOOR PLAN

PROJECT LOCATION

D'AMORE RESIDENCE
790 ROSELAND SOUTH
WINDSOR, ON N9G 1T8

DRAWN BY MJA

SCALE 1/4" = 1'-0"

DATE 2025-10-05

PROJECT NO

2025-05

SHEET NO

A-101

GENERAL NOTES

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY OWNER OR CONTRACTOR PRIOR TO START OF ANY WORK. REPORT ANY DISCREPANCIES TO THE DESIGNER.

REFER TO ADDITIONAL NOTES ON COVER SHEET.

ONTARIO
REGISTERED
DESIGNERMARCHAD AZAR
BCIN
24075

DATE ISSUED FOR

2025-10-05 PERMIT/CONSTRUCTION

DRAWING TITLE

BASEMENT FLOOR PLAN

PROJECT LOCATION

D'AMORE RESIDENCE
790 ROSELAND SOUTH
WINDSOR, ON N9G 1T8

DRAWN BY MJA

SCALE 1/4" = 1'-0"

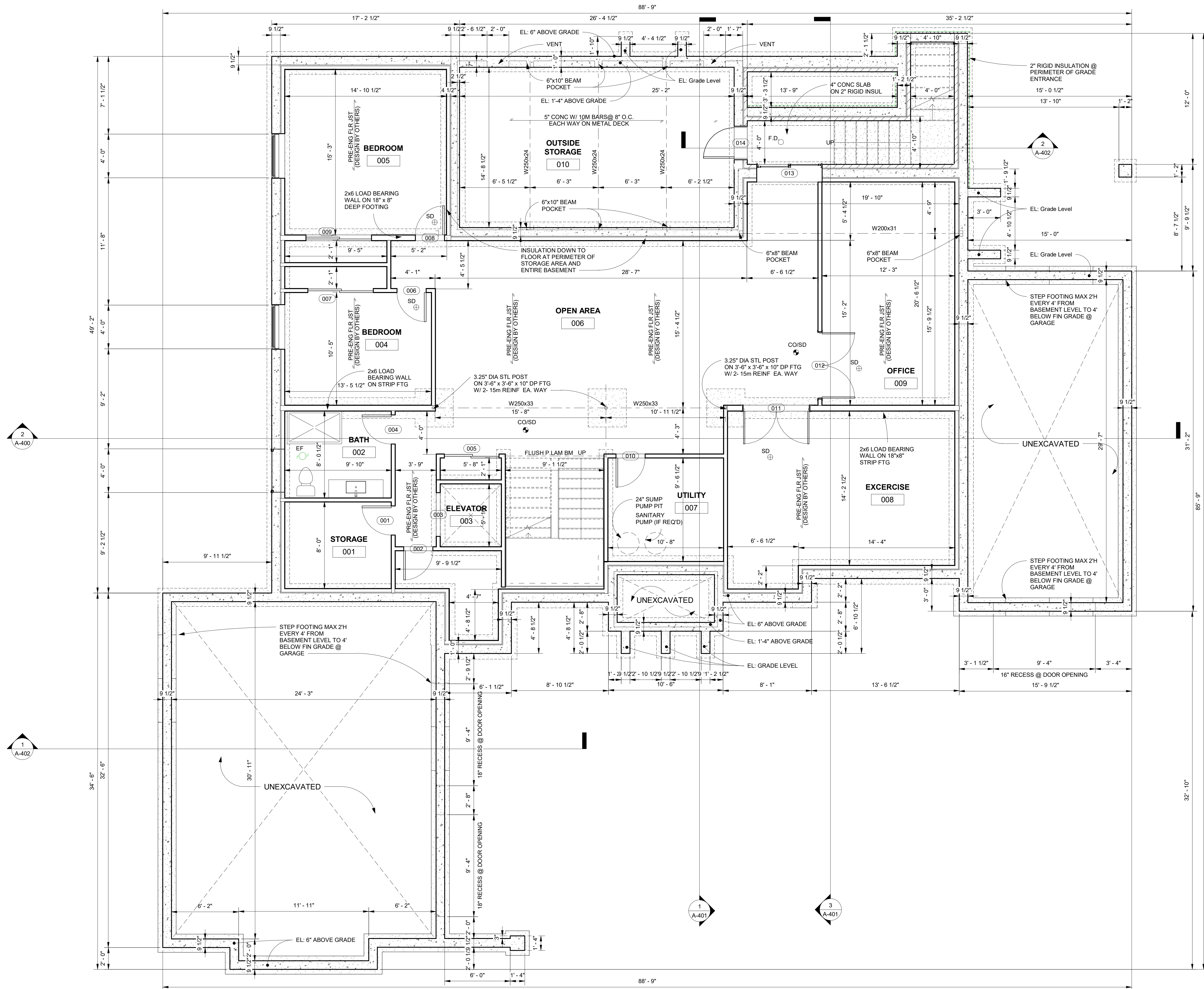
DATE 2025-10-05

PROJECT NO

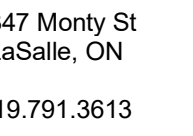
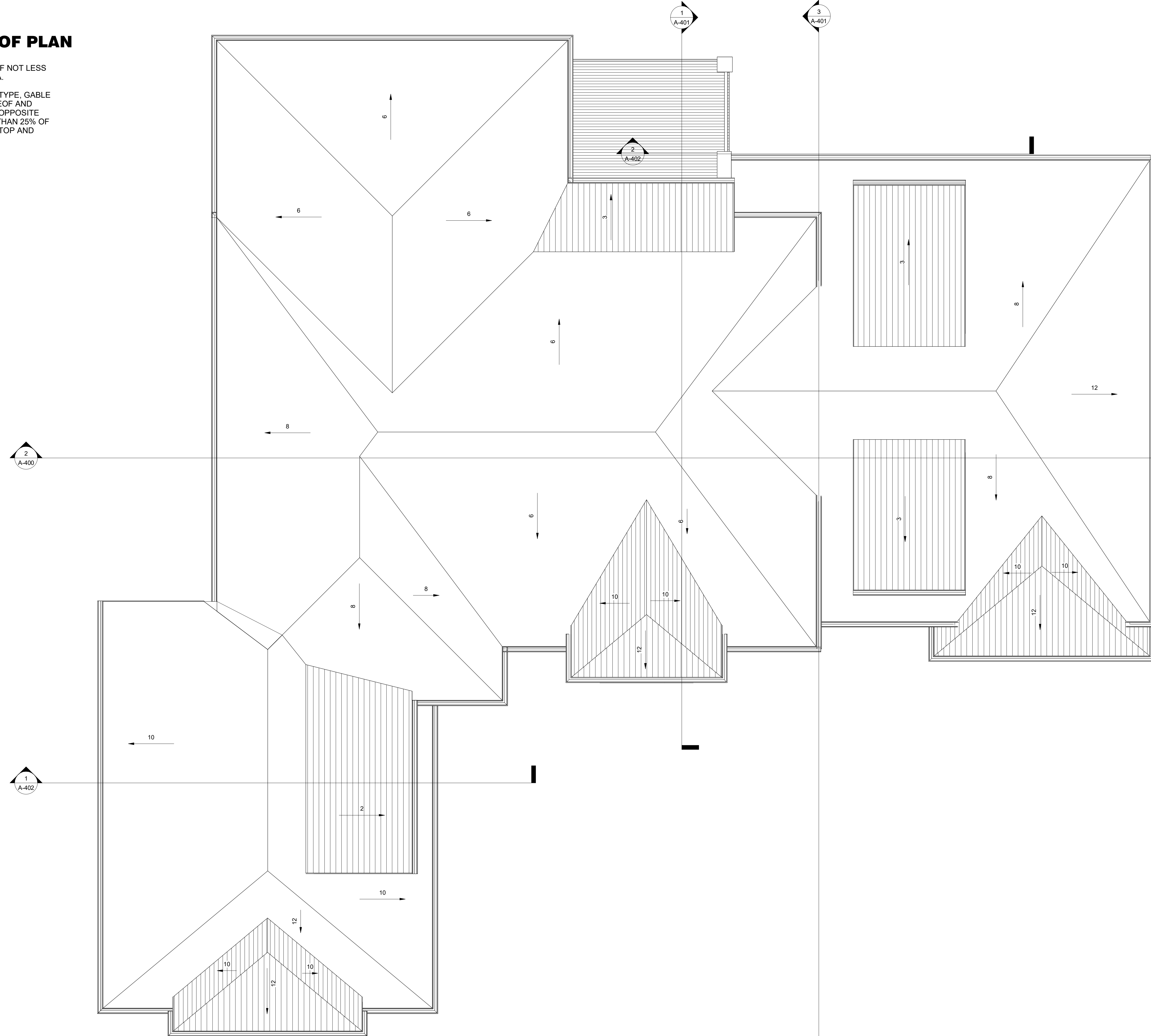
2025-05

SHEET NO

A-102



1. PROVIDE UNOBSTRUCTED VENT AREA OF NOT LESS THAN 1/300 OF INSULATED CEILING AREA.
2. VENTS TO BE ROOF TYPE, RIDGE, EAVE TYPE, GABLE END TYPE, OR ANY COMBINATION THEREOF AND SHALL BE DISTRIBUTED UNIFORMLY ON OPPOSITE SIDE OF THE BUILDING WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT TOP AND BOTTOM OF SPACE.



THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY OWNER OR CONTRACTOR PRIOR TO START OF ANY WORK. REPORT ANY DISCREPANCIES TO THE DESIGNER.

ONTARIO
REGISTERED
DESIGNER

MARCHAD AZAR
BCIN
24075

[illegible]

ROOF PLAN

PROJECT LOCATION

D'AMORE RESIDENCE
790 ROSELAND SOUTH
WINDSOR, ON N9G 1T8

RAWN BY	MJA
SCALE	1/4" = 1'-0"
DATE	2025-10-05

PROJECT NO
2025-05

A-200

GENERAL NOTES: ELEVATIONS

1.
- ALL WINDOWS AND DOOR SIZES, TYPES, MATERIALS, COLORS AND OPERATIONS TO BE CONFIRMED WITH MANUFACTURER PRODUCT DATA SHEETS. WINDOWS SHOWN ARE CONCEPTUAL ONLY.
2.
- ALL BEDROOM WINDOWS TO MEET MINIMUM EGRESS REQUIREMENTS AS FOLLOWS:

A.

MIN. 24" HIGH, 20" WIDE

B.

MIN. AREA 5.7 SQ FT

C.

MAXIMUM SILL HEIGHT FROM FIN. FLOOR 44"
3.
- ALL WINDOW U VALUES TO ALIGN WITH THE ENERGY CODE REQUIREMENTS IDENTIFIED IN THE LOCAL BUILDING CODE.
4.
- ALL ROOF AND SITE WATER TO DRAIN ACCORDING TO LOCAL JURISDICTION REQUIREMENTS.
5.
- GUTTERS AND DOWNSPOUTS NOT SHOWN ON THE DRAWINGS FOR CLARITY. FINAL LOCATION TO BE CONFIRMED WITH OWNER.
6.
- ALL EXTERIOR FINISHES, COLOURS AND MATERIALS TO BE CONFIRMED BY OWNER.



1 FRONT
3/16" = 1'-0"



2 REAR
3/16" = 1'-0"

GENERAL NOTES

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REFER TO ADDITIONAL NOTES ON COVER SHEET.

ONTARIO
REGISTERED
DESIGNER

MARCHAD AZAR
BCIN
24075

DATE ISSUED FOR

2025-10-05 PERMIT/CONSTRUCTION

DRAWING TITLE
ELEVATIONS

PROJECT LOCATION
D'AMORE RESIDENCE
790 ROSELAND SOUTH
WINDSOR, ON N9G 1T8

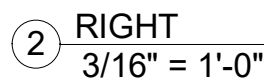
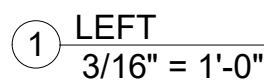
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SCALE As indicated
DATE 2025-10-05

PROJECT NO
2025-05

SHEET NO

A-300

1. ALL WINDOWS AND DOOR SIZES, TYPES, MATERIALS, COLORS AND OPERATIONS TO BE CONFIRMED WITH MANUFACTURER PRODUCT DATA SHEETS. WINDOWS SHOWN ARE CONCEPTUAL ONLY.
2. ALL BEDROOM WINDOWS TO MEET MINIMUM EGRESS REQUIREMENTS AS FOLLOWS:
 - A. MIN. 24" HIGH, 20" WIDE
 - B. MIN. AREA 5.7 SQ FT
 - C. MAXIMUM SILL HEIGHT FROM FIN. FLOOR 44"
3. ALL WINDOW U VALUES TO ALIGN WITH THE ENERGY CODE REQUIREMENTS IDENTIFIED IN THE LOCAL BUILDING CODE
4. ALL ROOF AND SITE WATER TO DRAIN ACCORDING TO LOCAL JURISDICTION REQUIREMENTS.
5. GUTTERS AND DOWNSPOUTS NOT SHOWN ON THE DRAWINGS FOR CLARITY. FINAL LOCATION TO BE CONFIRMED WITH OWNER.
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ONTARIO
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DESIGNER

MARCHAD AZAR
BCIN
24075

DATE ISSUED FOR

PERMIT/CONSTRUCTION

2025-10-05

DRAWING TITLE

CROSS SECTIONS

PROJECT LOCATION

D'AMORE RESIDENCE
790 ROSELAND SOUTH
WINDSOR, ON N9G 1T8

DRAWN BY MJA

SCALE 1/4" = 1'-0"

DATE 2025-10-05

PROJECT NO

2025-05

SHEET NO

A-400



GENERAL NOTES

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REFER TO ADDITIONAL NOTES ON COVER SHEET.

ONTARIO
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MARCHAD AZAR
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24075

DATE ISSUED FOR

2025-10-05 PERMIT/CONSTRUCTION

DRAWING TITLE

CROSS SECTIONS

PROJECT LOCATION

D'AMORE RESIDENCE
790 ROSELAND SOUTH
WINDSOR, ON N9G 1T8

DRAWN BY MJA

SCALE 1/4" = 1'-0"

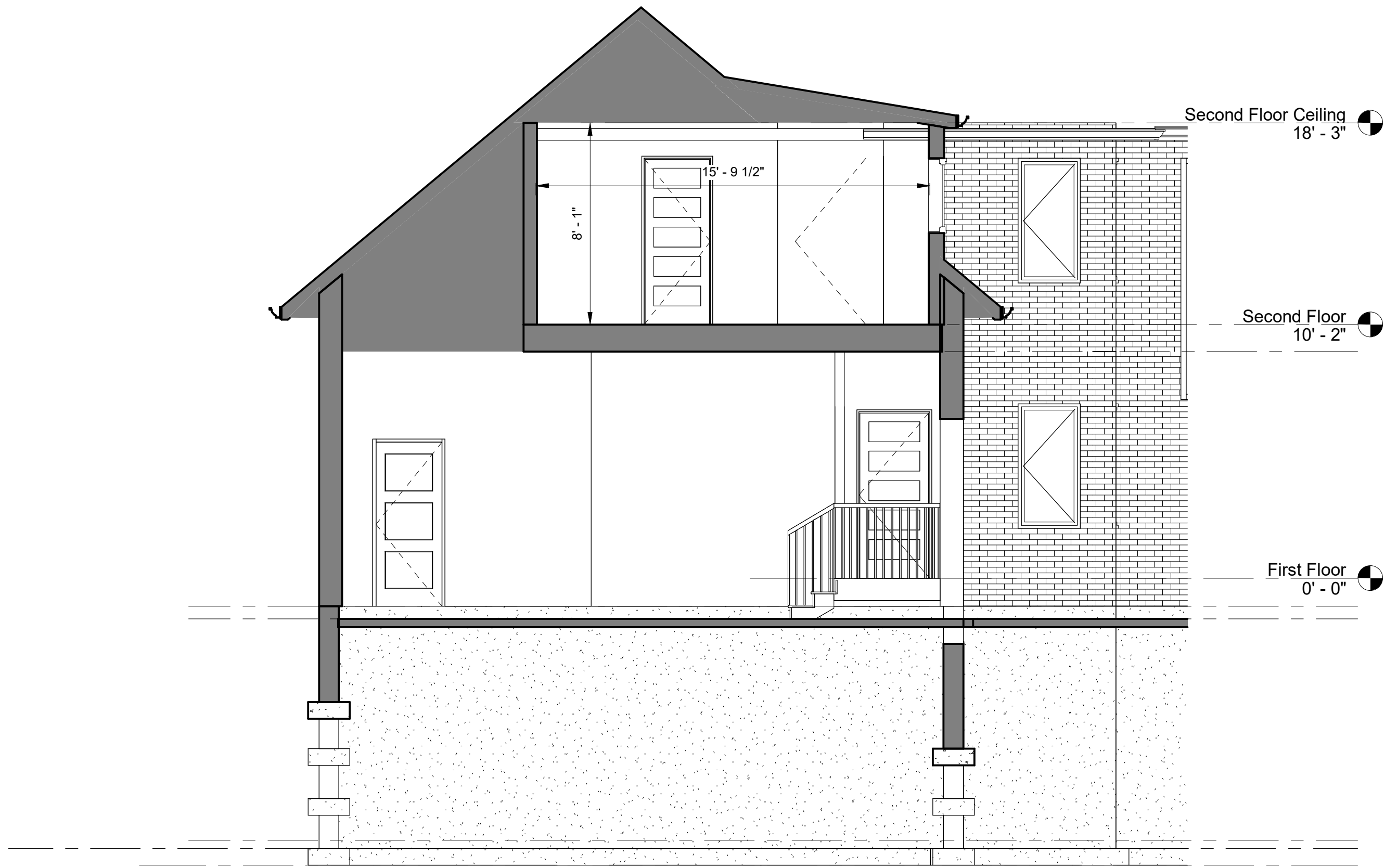
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PROJECT NO

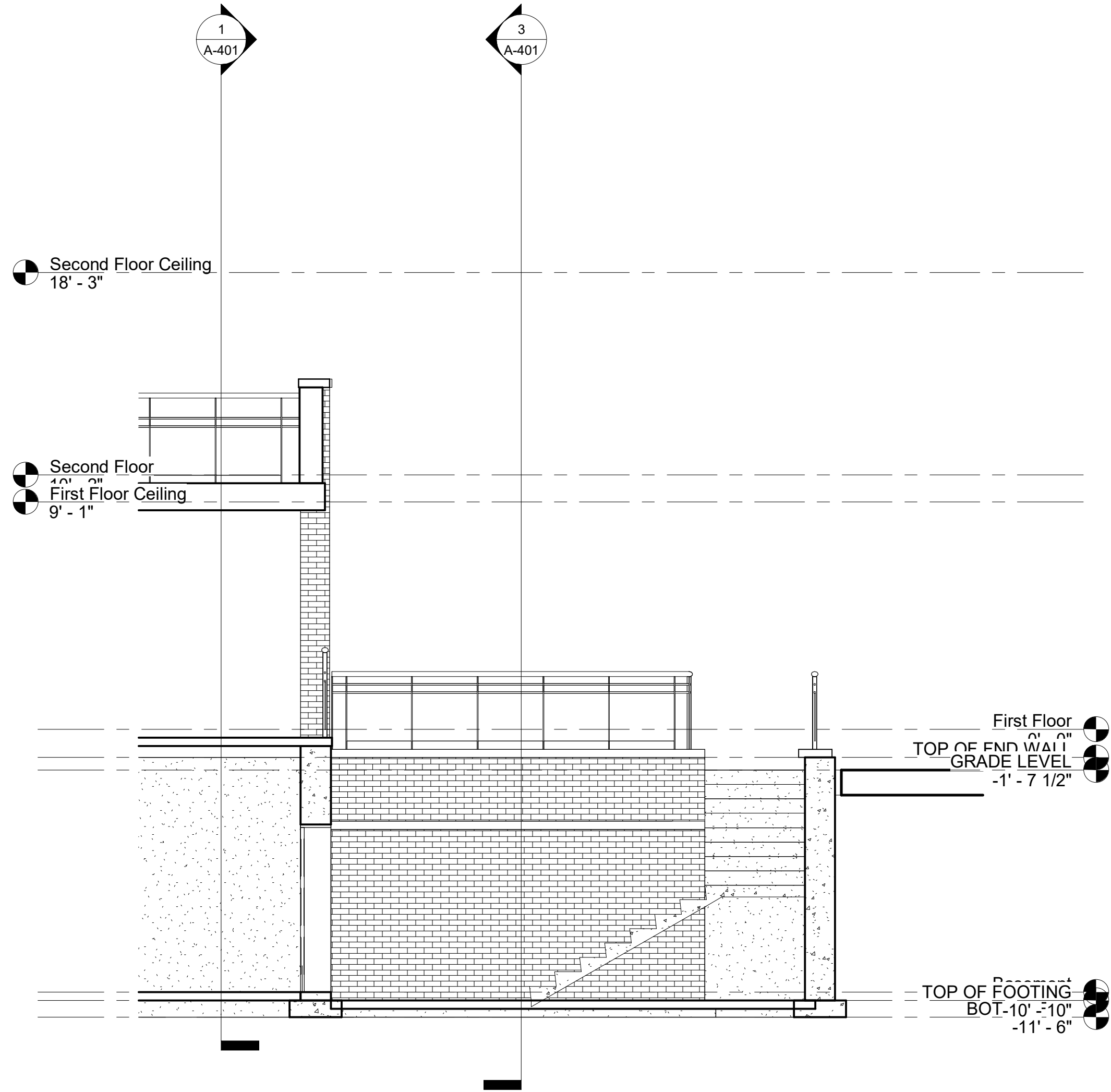
2025-05

SHEET NO

A-401



1 Section 4
1/4" = 1'-0"



2 Section 6
1/4" = 1'-0"

Azar
designs

1347 Monty St
LaSalle, ON
519.791.3613

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ONTARIO
REGISTERED
DESIGNER

MARCHAD AZAR
BCIN
24075

DATE ISSUED FOR

PERMIT/CONSTRUCTION

2025-10-05

DRAWING TITLE
CROSS SECTIONS

PROJECT LOCATION
D'AMORE RESIDENCE
790 ROSELAND SOUTH
WINDSOR, ON N9G 1T8

DRAWN BY MJA
SCALE 1/4" = 1'-0"
DATE 2025-10-05

PROJECT NO
2025-05

SHEET NO

A-402

COMPLIANCE PACKAGE SUMMARY (O.B.C - ZONE 1 <5000 HDD)

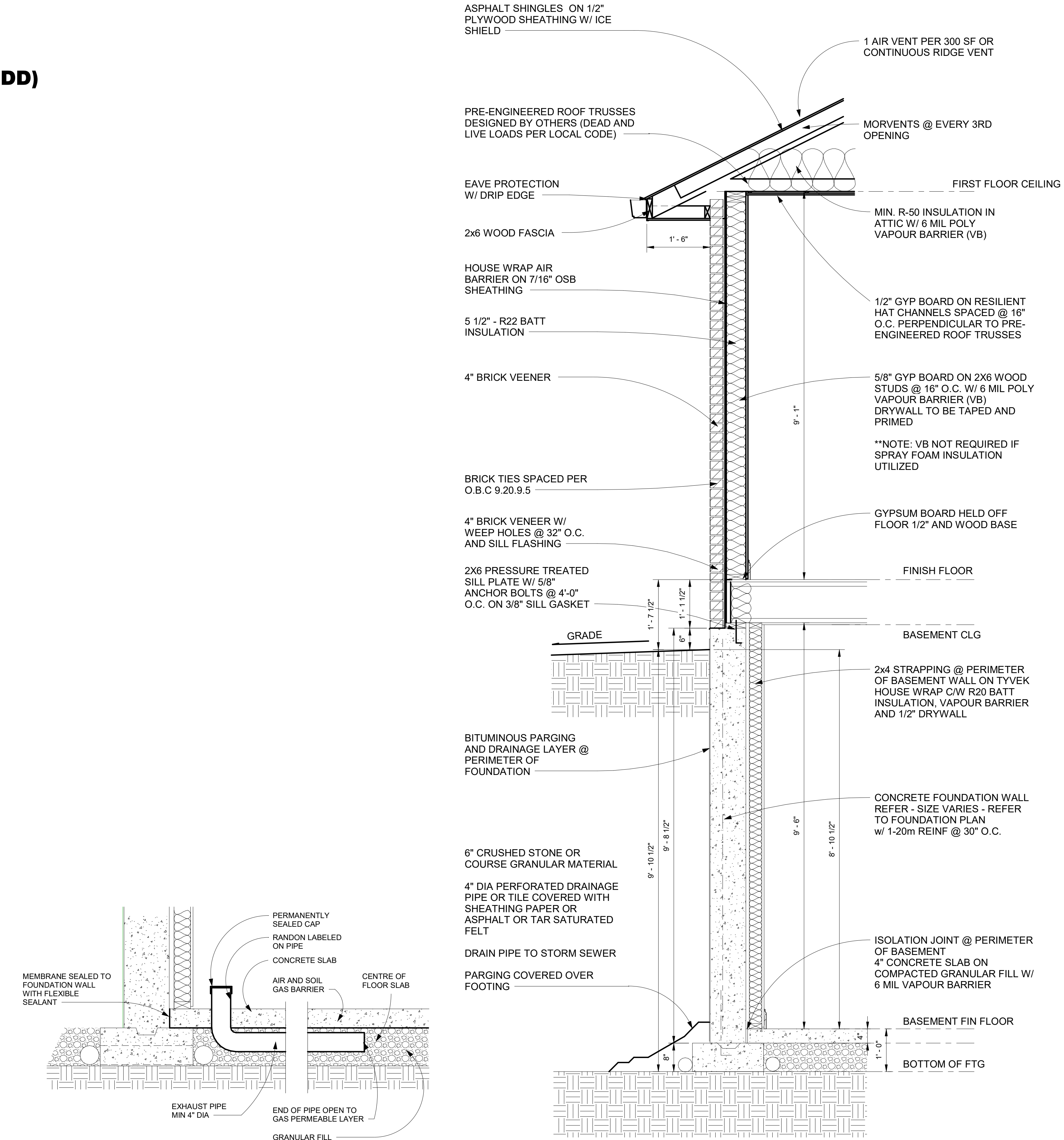
TABLE 3.1.1.2.A -SPACE HEATING EQUIPMENT WITH AFUE >= 92% (IP)

COMPONENT	THERMAL VALUE	COMPLIANCE PACKAGE					
		A1	A2	A3	A4	A5	A6
CEILING WITH ATTIC SPACE	Min. Nominal R	60	60	50	60	50	60
	Max U	0.017	0.017	0.020	0.017	0.020	0.017
	Min. Effective R	59.22	59.22	49.23	59.22	49.23	59.22
CEILING WITHOUT ATTIC SPACE	Min. Nominal R	31	31	31	31	31	31
	Max U	0.036	0.036	0.036	0.036	0.036	0.036
	Min. Effective R	27.65	27.65	27.65	27.65	27.65	27.65
EXPOSED FLOOR	Min. Nominal R	31	31	35	31	35	31
	Max U	0.034	0.034	0.031	0.034	0.031	0.034
	Min. Effective R	29.80	29.80	32.02	29.80	32.02	29.80
WALLS ABOVE GRADE	Min. Nominal R	22	19 + 5 ci	14 + 7.5 ci	22 + 5 ci	19 + 5 ci	22 + 5 ci
	Max U	0.059	0.049	0.054	0.047	0.049	0.047
	Min. Effective R	17.03	20.32	18.62	21.40	20.32	21.40
BASEMENT WALLS	Min. Nominal R	20 ci	12 + 10 ci	20 ci	20 ci	12 + 5 ci	20 ci
	Max U	0.047	0.048	0.047	0.047	0.063	0.047
	Min. Effective R	21.12	20.84	21.12	21.12	15.96	21.12
BELOW GRADE SLAB ENTIRE SURFACE > 600 mm BELOW GRADE	Min. Nominal R	-	-	-	-	-	-
	Max U	-	-	-	-	-	-
	Min. Effective R	-	-	-	-	-	-
HEATED SLAB OR SLAB </=600 mm BELOW GRADE	Min. Nominal R	10	10	10	10	10	10
	Max U	0.090	0.090	0.090	0.090	0.090	0.090
	Min. Effective R	11.13	11.13	11.13	11.13	11.13	11.13
EDGE OF BELOW GRADE SLAB </= 600 mm BELOW GRADE	Min. Nominal R	10	10	10	10	10	10
	Max U	0.28	0.28	0.28	0.28	0.28	0.28
WINDOWS AND SLIDING GLASS DOORS	Energy Rating	25	25	25	25	25	25
	Max U	0.49	0.49	0.49	0.49	0.49	0.49
SPACE HEATING EQUIPMENT	Min. AFUE	96%	96%	94%	96%	94%	92%
HRV	Min. SRE	75%	75%	81%	75%	70%	65%
DOMESTIC WATER HEATER	Min. EF	0.80	0.70	0.67	0.67	0.80	0.80

WALL TYPES

W1		W8	
W2		W9	
W3			
W4			
W5		W10	
W6			
W7		W11	

NOTE:
1. WALL TYPES AND NOTES ARE FOR ILLUSTRATION PURPOSES ONLY TO SUPPORT WALL LAYOUTS. REFER TO WALL SECTIONS AND/OR MANUFACTURER DRAWINGS FOR INSULATION VALUES, TYPES, AIR AND VAPOUR BARRIERS LOCATIONS.



2 Soil Gas @ Footing
1" = 1'-0"

1 Wall Sections (2x6) - w/ FND
3/4" = 1'-0"

GENERAL NOTES

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REFER TO ADDITIONAL NOTES ON COVER SHEET.

ONTARIO
REGISTERED
DESIGNER

MARCHAD AZAR
BCIN
24075

ISSUED FOR

DATE

PERMIT/CONSTRUCTION

2025-10-05

DRAWING TITLE

WALL SECTIONS

PROJECT LOCATION

D'AMORE RESIDENCE
790 ROSELAND SOUTH
WINDSOR, ON N9G 1T8

DRAWN BY MJA

SCALE As indicated

DATE 2025-10-05

PROJECT NO

2025-05

SHEET NO

A-500

GENERAL NOTES: SCHEDULES

1.

DOOR AND WINDOW SIZES SHOWN ON SCHEDULE ARE PRELIMINARY CONCEPT DIMENSIONS ONLY. ALL FINAL SIZES AND ROUGH OPENINGS ARE TO BE CONFIRMED BY CONTRACTOR WITH MANUFACTURER'S PRODUCT DATA SHEETS.
2.

ALL TYPES, FINISHES AND COLORS OF DOORS AND WINDOWS ARE TO BE VERIFIED WITH OWNER.
3.

WINDOW U-VALUES ARE TO BE CONFIRMED WITH OWNER BASED ON SELECTED ENERGY COMPLIANCE PACKAGE.

LINTEL SCHEDULE

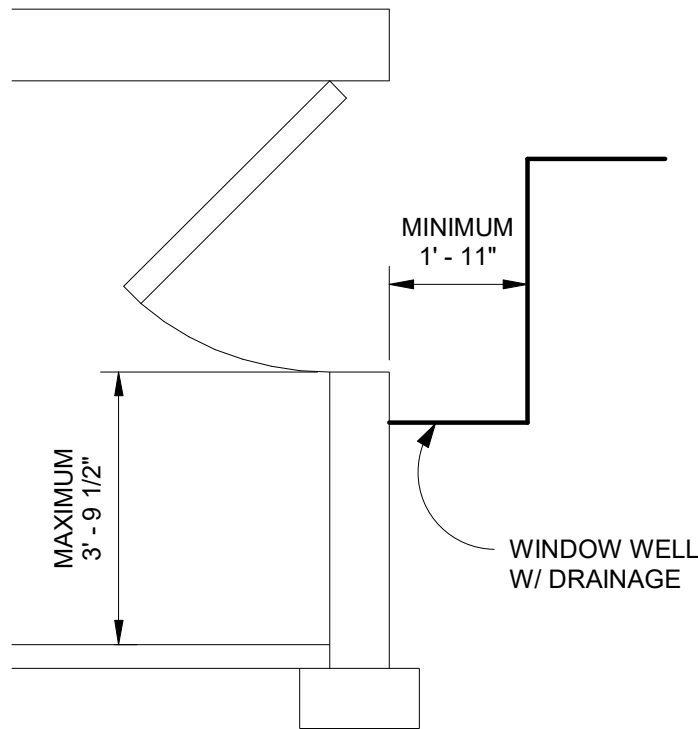
*BASED ON O.B.C. TABLE 9.23.12.3.- C - 1.0KPA (SNOW LOAD)

ROOF & CEILING LOAD ONLY			INTERIOR WALLS		
	LINTEL SIZE	MAX. SPAN	LIMITED ATTIC STORAGE & CLG	ROOF & CLG ONLY (max trib 4.9m)	ROOF & CEILING AND 1 STOREY
L1	2 - 2x4	1.27m (4'-2")	1.27m (4'-2")	0.93m (3'-0")	0.74m (2'-5")
L2	2 - 2x6	1.93m (6'-3")	1.93m (6'-3")	1.35m (4'-5")	1.02m (3'-4")
L3	2 - 2x8	2.35m (7'-8")	2.35m (7'-8")	1.64m (5'-4")	1.20m (3'-11")
L4	2 - 2x10	2.88m (9'-5")	2.88m (9'-5")	2.01m (6'-7")	1.45m (4'-9")
L5	2 - 2x12	3.34m (10'-11")	3.34m (10'-11")	2.33m (7'-7")	1.66m (5'-5")

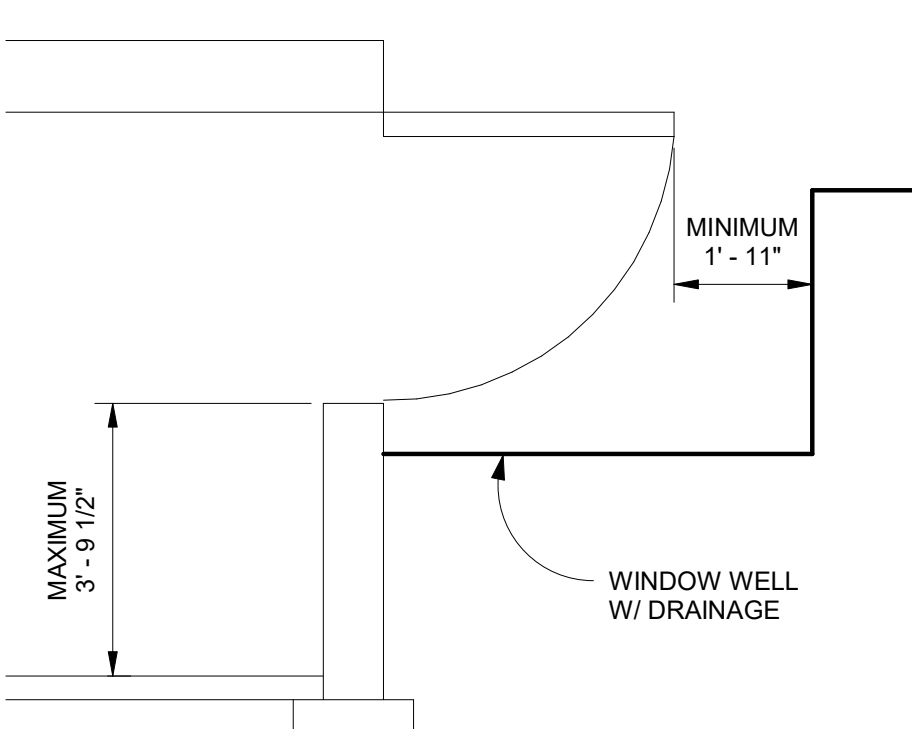
- General Notes:
- 1) Based on Spruce-Pine Fir
- 2) Maximum supported length - 4.9m (16.07')
- 3) Min. End Bearing - 76mm (3")
- 4) Permissible span adjustments:

	Supported Length	Support Length Increase
1	< 4.3m (14.1')	5%
2	< 3.7m (12.1')	10%

EGRESS WINDOWS



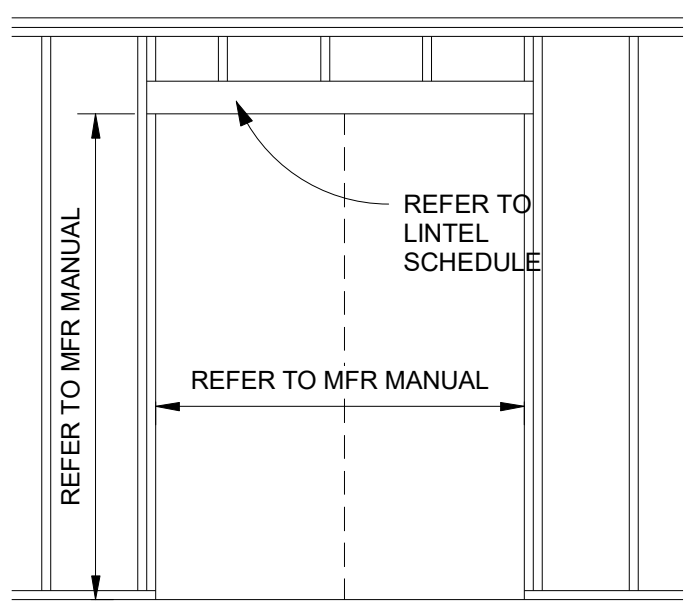
OPTION #1 - INSWING



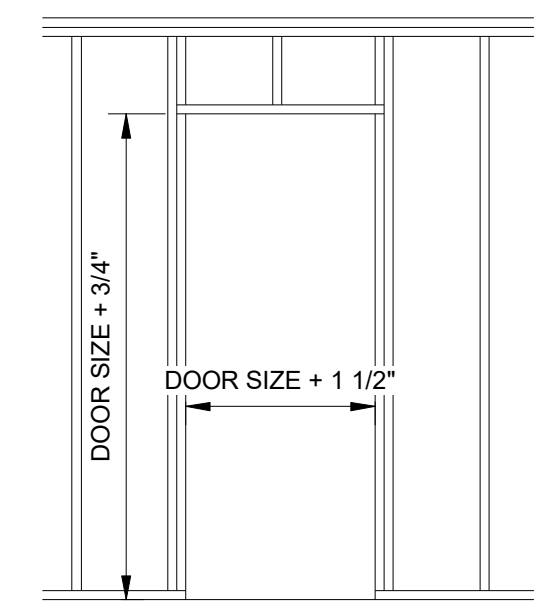
OPTION #2 - OUTSWING

- NOTE:
1. THE BUILDING CODE REQUIRES THAT EVERY FLOOR CONTAINING A BEDROOM IN A SUITE INCLUDE AT LEAST ONE WINDOW THAT CAN EASILY BE OPENED FROM THE INSIDE. MINIMUM WINDOW CLEAR AREA 3.77 SF WITH NO DIMENSION LESS THAN 15".
2. THE WINDOW MUST MAINTAIN THE REQUIRED AREA WITHOUT ANY ADDITIONAL SUPPORT WHERE THE WINDOW OPENS INTO THE WELL. THE WELL MUST A MINIMUM OF 1'-11" CLEARANCE.
3. IN THE EVENT THE WINDOW SWINGS TOWARDS THE WELL, IT MUST NOT RESTRICT THE OPENING OF THE WINDOW IN SUCH A WAY THAT IT WOULD OBSTRUCT THE ABILITY TO ESCAPE IN THE EVENT OF AN EMERGENCY.
4. CUSTOM SWING WINDOWS PERMITTED, MUST MEET ALL REQUIREMENTS ABOVE.

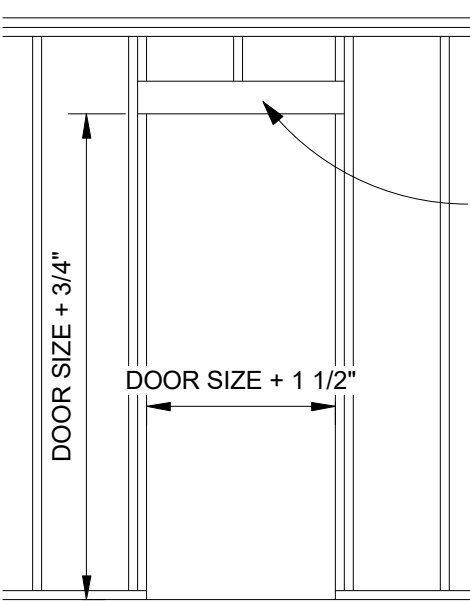
STANDARD WOOD FRAMING DETAILS



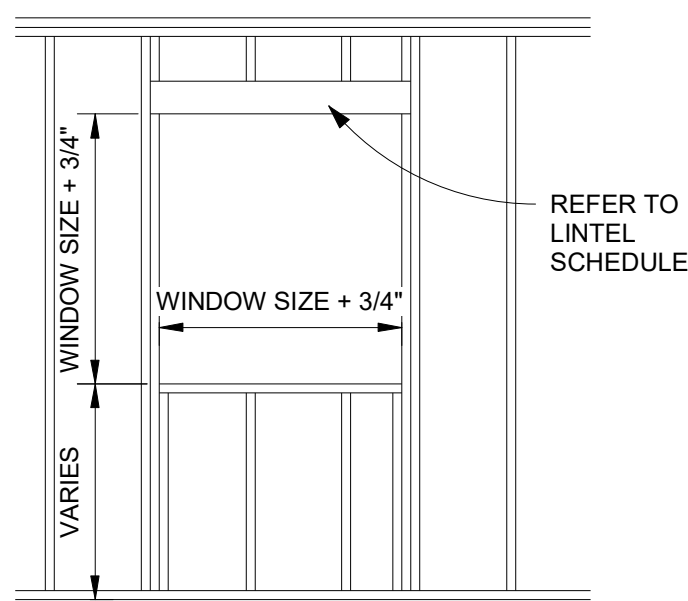
TYPICAL POCKET DOOR FRAMING



NON-LOAD BEARING WALL DOOR FRAMING



LOAD BEARING WALL DOOR FRAMING



WINDOW LOAD BEARING WALL FRAMING

Window Schedule				
Type Mark	Rough Dimensions		Area	Count
	Width	Height		

W01	4' - 0"	5' - 0"	20 SF	2
W02	4' - 0"	2' - 0"	8 SF	1
W04	6' - 0"	1' - 4"	8 SF	2
W05	3' - 8"	6' - 6"	24 SF	14
W06	6' - 0"	4' - 6"	27 SF	1
W07	2' - 6"	5' - 0"	13 SF	4
W08	4' - 0"	4' - 0"	16 SF	4
W09	5' - 0"	3' - 0"	15 SF	2
W10	6' - 0"	3' - 0"	18 SF	1
W11	3' - 8"	5' - 0"	18 SF	3
W12	4' - 0"	3' - 0"	12 SF	2
W13	8' - 0"	7' - 11 17/32"	64 SF	1
W14	3' - 6"	3' - 0"	11 SF	1

Room Finish Schedule		
Room Number	Room Name	Area

001	STORAGE	92 SF
002	BATH	88 SF
003	ELEVATOR	36 SF
004	BEDROOM	153 SF
005	BEDROOM	256 SF
006	OPEN AREA	913 SF
007	UTILITY	112 SF
008	EXCERCISE	341 SF
009	OFFICE	279 SF
010	OUTSIDE STORAGE	416 SF
100	GARAGE	807 SF
101	MUDROOM	89 SF
102	PWDR RM	56 SF
103	Elevator	36 SF
104	PANTRY	77 SF
105	KITCHEN	338 SF
105	OFFICE / STUDY	251 SF
106	DINNETTE	256 SF
107	GREAT ROOM	435 SF
108	FOYER	106 SF
109	CLOSET	52 SF
110	LAUNDRY	49 SF
111	BEDROOM	208 SF
112	HALL	22 SF
113	BATH	58 SF
114	WALK-IN	49 SF
115	LIVING AREA	366 SF
201	BEDROOM	299 SF
202	WALK-IN	51 SF
203	BATH	77 SF
204	LAUNDRY/UTILITY	117 SF
205	BATH	58 SF
206	HALL	278 SF
207	WALK-IN	128 SF
208	MASTER BEDROOM	380 SF
209	ENSUITE	154 SF
210	RECREATION ROOM	323 SF
211	BATH	61 SF
212	BEDROOM	237 SF
213	WALK-IN	63 SF
214	ATTIC SPACE	476 SF

Door Schedule		
Door Number	Type	Count

001	32" x 80"	1
002	32" x 80"	1
003	48" x 96"	1
004	32" x 80"	1
005	60" x 80"	1
006	32" x 80"	1
007	72" x 80"	1
008	32" x 80"	1
009	72" x 80"	1
010	32" x 80"	1
011	72" x 80"	1
012	72" x 80"	1
013	72" x 96"	1
014	34" x 80"	1
100	9' x 8' Sectional	1
101	9' x 8' Sectional	1
102	34" x 80"	1
103	34" x 80"	1
104	32" x 80"	1
105	48" x 96"	1
106	34" x 80"	1
107	120" x 96"	1
108	8' x 8'	1
109	34" x 80"	1
110	32" x 80"	1
111	32" x 80"	1
112	48" x 80"	1
113	34" x 80"	1
114	72" x 96"	1
115	9' x 8' Sectional	1
116	30" x 80"	1
117	32" x 80"	1
118	34" x 80"	1
120	32" x 80"	1
121	32" x 80"	1
122	(2)-3-0 x 8-0 Steel	1
123	42" x 96"	1
124	22' x 8'	1
125	14' X 8'	1
126	11'6" x 8'	1
200	32" x 80"	1
201	32" x 80"	1
202	34" x 80"	1
203	48" x 96"	1
204	7' x 8' 2	1
204	34" x 80"	1
205	(2)-2-4 x 6-8 Wood	1
206	30" x 80"	1
207	(2)-2-4 x 6-8 Wood	1
208	72" x 80"	1
209	72" x 80"	1
210	120" X 80"	1
211	120" X 80"	1
212	(2)-2-6 x 6-8 Wood	1
213	32" x 80"	1
214	30" x 80"	1
215	30" x 80"	1

Azar designs

1347 Monty St
LaSalle, ON
519.791.3613

GENERAL NOTES

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REFER TO ADDITIONAL NOTES ON COVER SHEET.

ONTARIO
REGISTERED
DESIGNER

MARCHAD AZAR
BCIN
24075

ISSUED FOR

DATE

PERMIT/CONSTRUCTION

2025-10-05

DRAWING TITLE
SCHEDULES

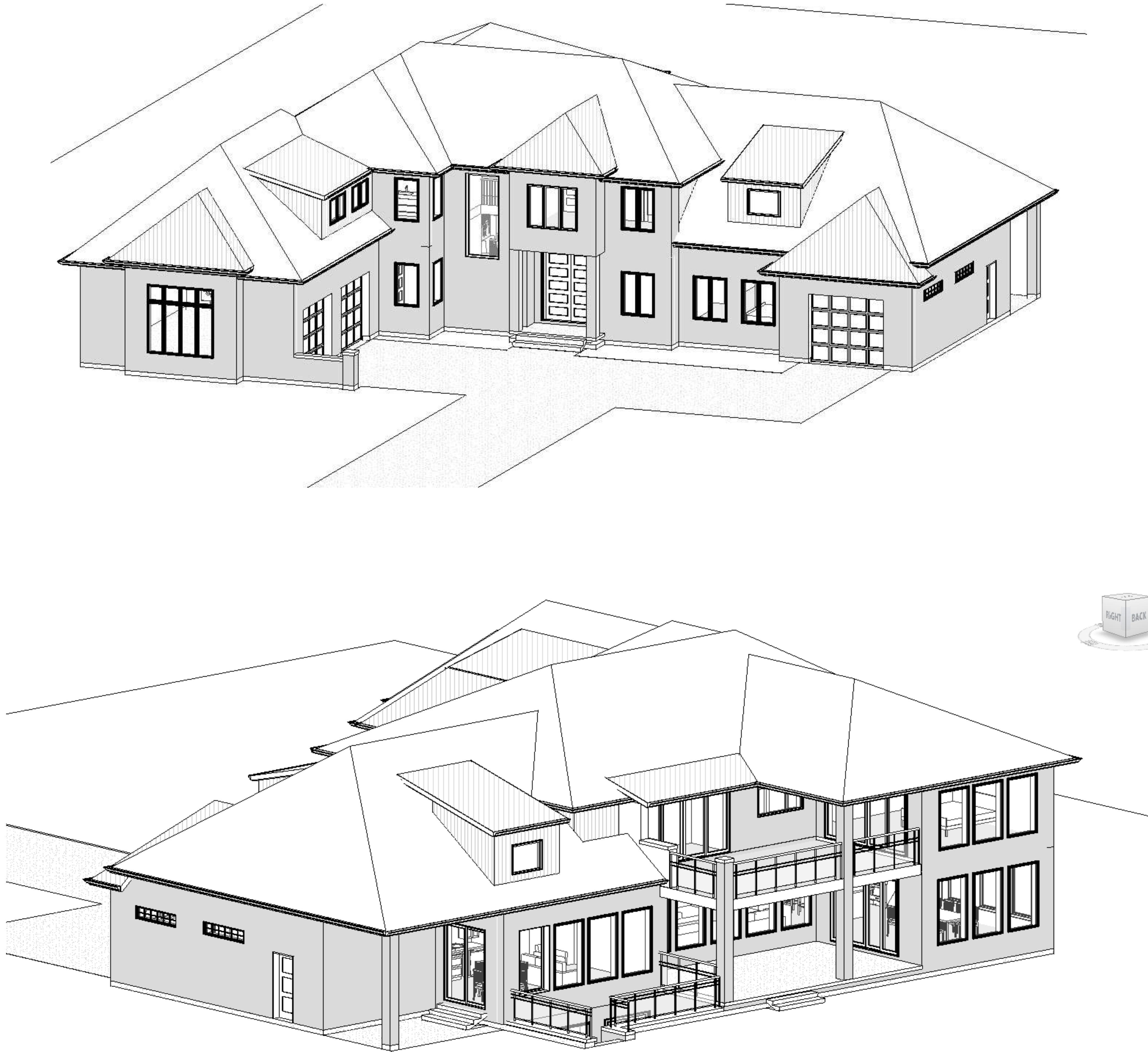
PROJECT LOCATION
D'AMORE RESIDENCE
790 ROSELAND SOUTH
WINDSOR, ON N9G 1T8

DRAWN BY MJA
SCALE As indicated
DATE 2025-10-05

PROJECT NO
2025-05

SHEET NO

A-600



Azar
designs

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DESIGNER

MARCHAD AZAR
BCIN
24075

DATE ISSUED FOR

2025-10-05 PERMIT/CONSTRUCTION

DRAWING TITLE

3D VIEWS

PROJECT LOCATION

D'AMORE RESIDENCE
790 ROSELAND SOUTH
WINDSOR, ON N9G 1T8

DRAWN BY Author

SCALE 1/4" = 1'-0"

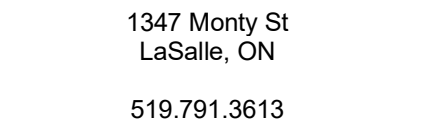
DATE 2025-10-05

PROJECT NO

2025-05

SHEET NO

A-700



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D'AMORE

D'AMORE RESIDENCE
790 ROSELAND SOUTH
WINDSOR, ON N9G 1T8

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PROJECT NO
2025-05

C-100

