

Notice of Public Hearing – Committee of Adjustment Application

File # A-089/25 - 238 DETROIT ST

Date Mailed: November 26, 2025

Electronic hearing:

By videoconference on December 11, 2025 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on November 26, 2025. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 758 LOT 1

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential RD3.1

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: ABDUL AHAD Applicant Name: Abdul Ahad		238 DETROIT ST

PURPOSE OF APPLICATION

Minor Variance - Request for relief from the maximum lot coverage, building height, and gross floor area requirements for a detached accessory building containing an Additional Dwelling Unit (ADU), and from the maximum lot coverage requirement for the subject property.

By-Law	Provision	Provision Description	Requirement	Proposed
8600	11.2.5.3.3	Maximum Lot Coverage- Existing Single Unit Dwelling	45.0%	46.3%

By-Law	Provision	Provision Description	Requirement	Proposed
8600	5.10.9.15	Maximum Accessory Building Lot Coverage-Lot with an Area of less than 400.0m ²	40.0m ²	52.77m ²

By-Law	Provision	Provision Description	Requirement	Proposed
8600	5.99.80.1.5.b.4	Maximum Height for an Accessory Building with an Additional Dwelling Unit-Roof Having a Slope of less than 20 degrees	6.0m	6.9m

By-Law	Provision	Provision Description	Requirement	Proposed
8600	5.99.80.1.5.b.7	Maximum Gross Floor Area for an Accessory Building with an Additional Dwelling Unit	100m ²	106m ²

Type of Consent Application Transaction: N/A

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

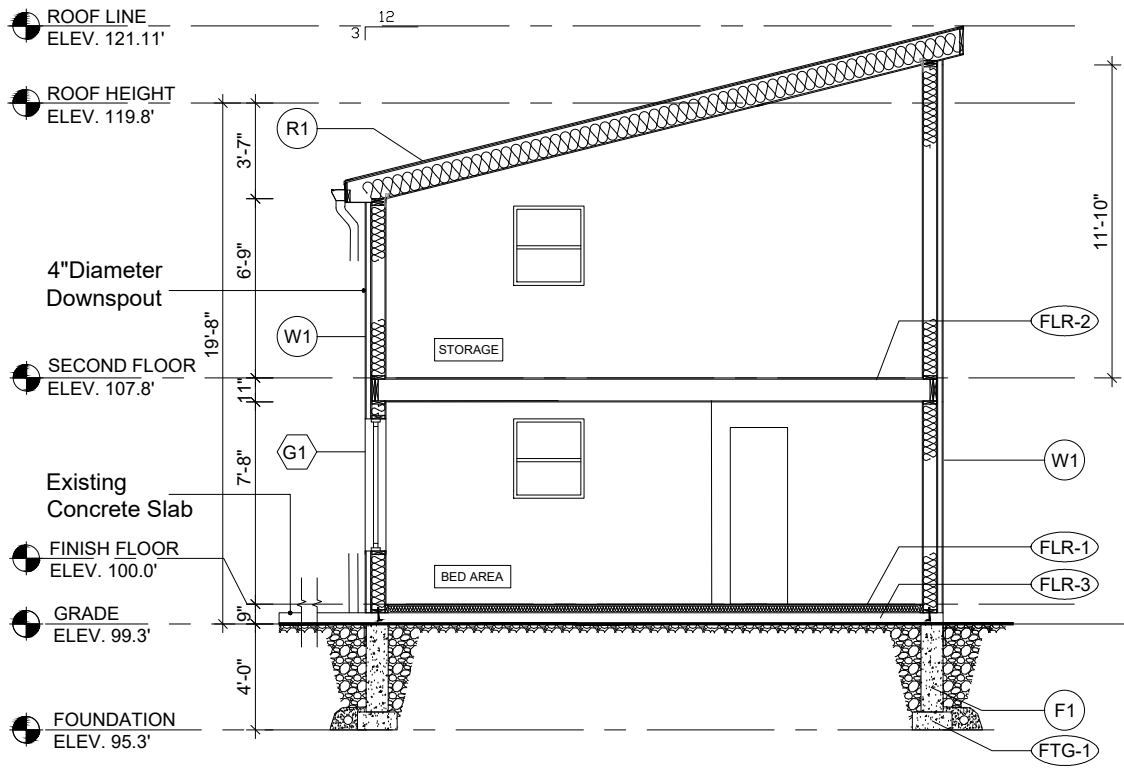
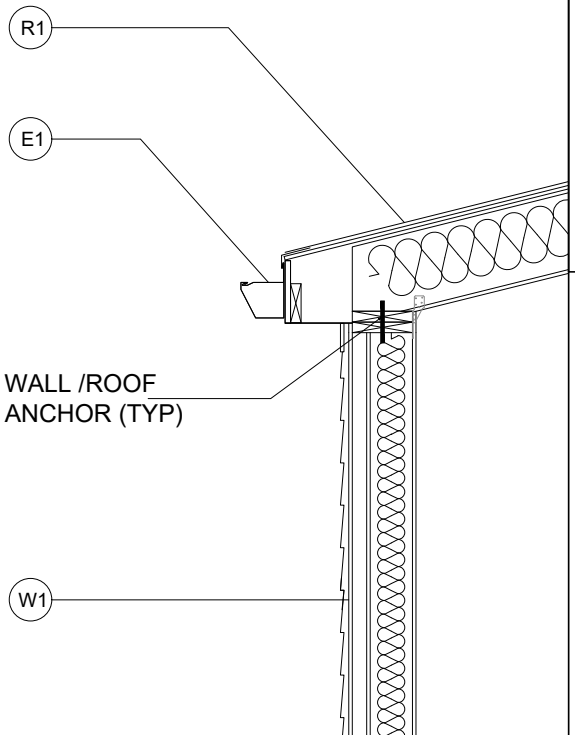
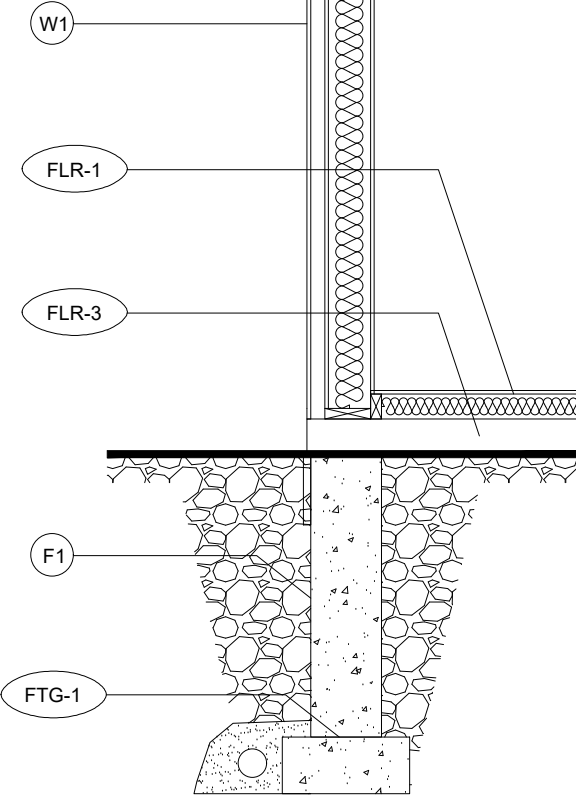
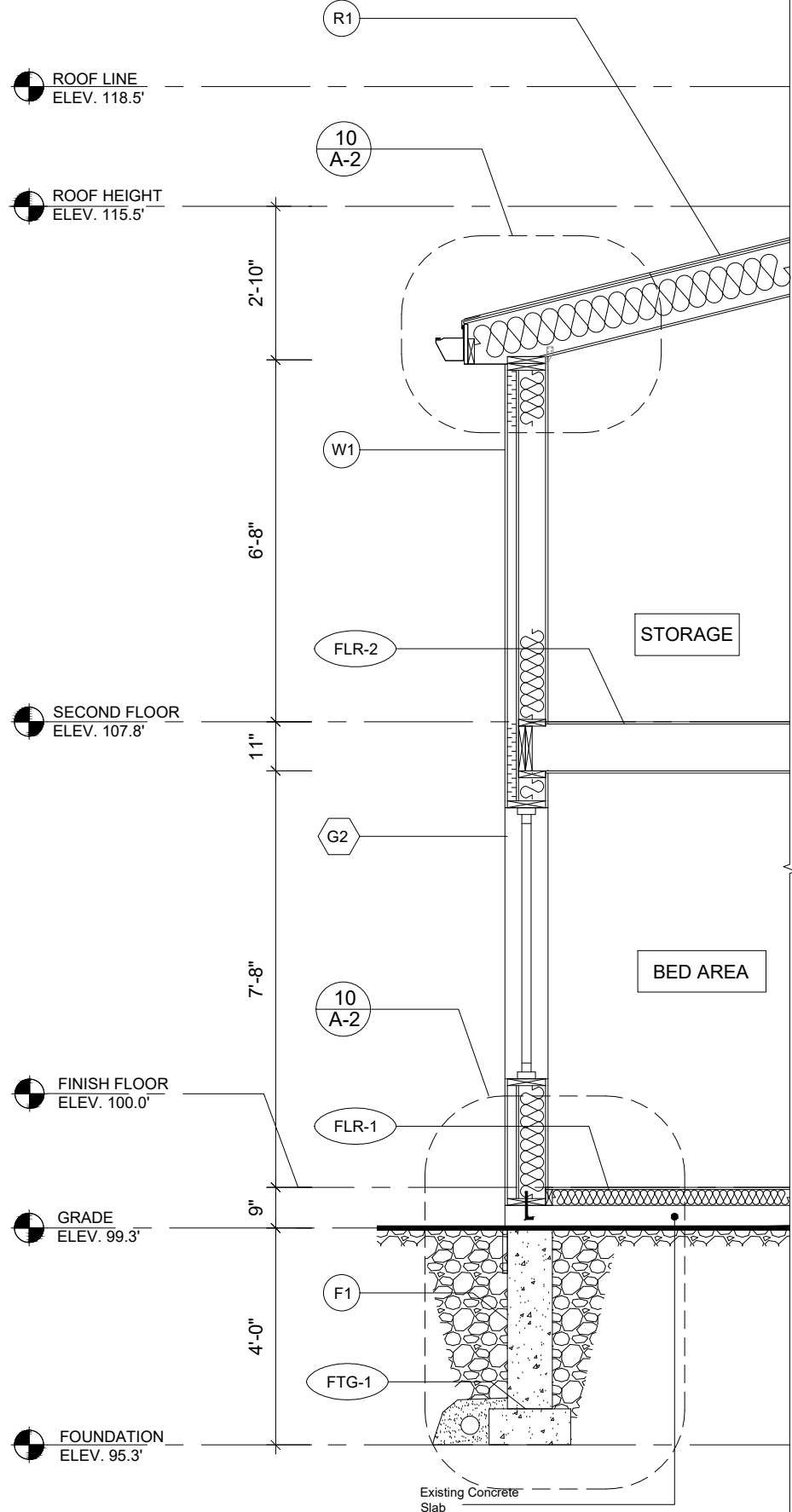
If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca

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29 Sep '25	Client Review
03 Sep '25	Client Review
08 AUG '25	Client Review
DATE	NO. ISSUED FOR

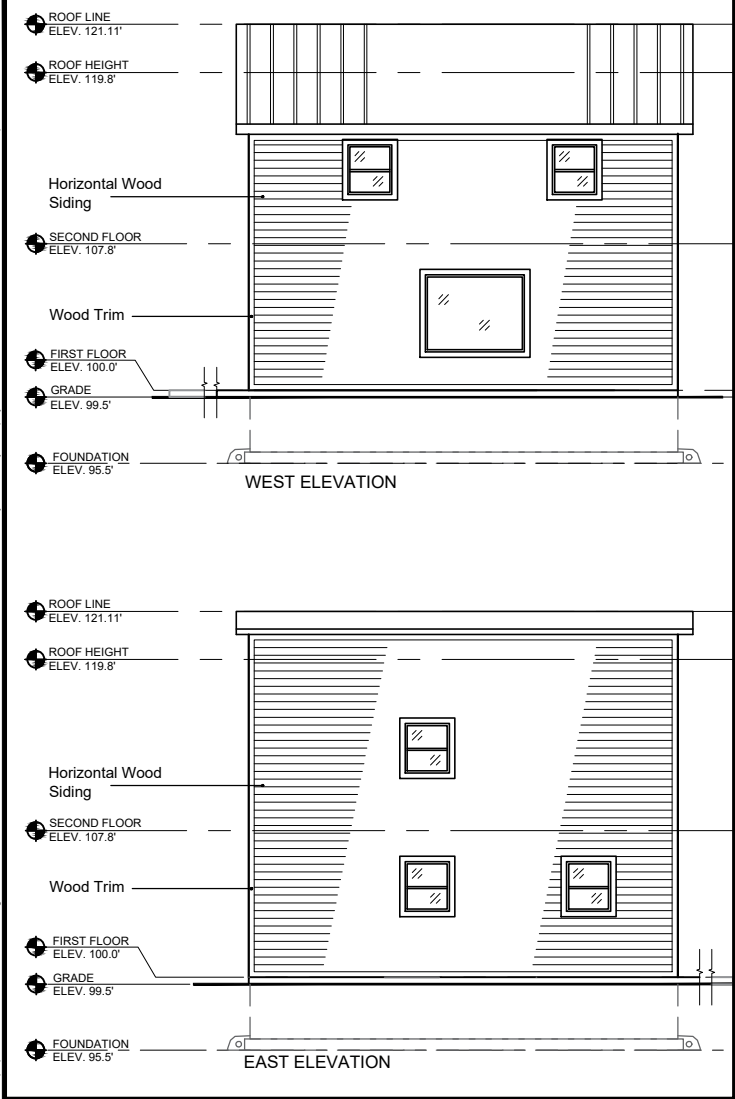


PROJECT
NEW RESIDENTIAL ADU
(ADDITIONAL DWELLING UNIT)
238 Detroit St, Windsor, ON
N9C 2P3

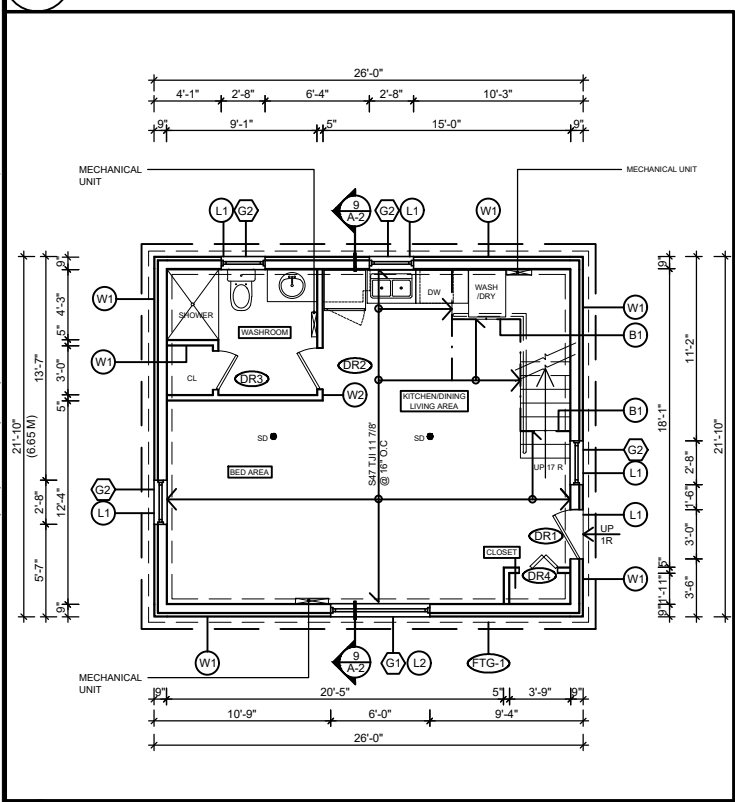
DWG. TITLE
Data Matrix, Site Plan
Statistics & Scope of Work,
First Floor, Foundation &
Roof Plan, Elevations, Schedule,
DATE : AUG' 25
SCALE : AS NOTED
DESIGNED BY : AP
DRAWN BY : AP
CHECKED BY : SM
APPROVED BY : SM
PROJECT NO. : 25-124
DWG. NO.

A-2

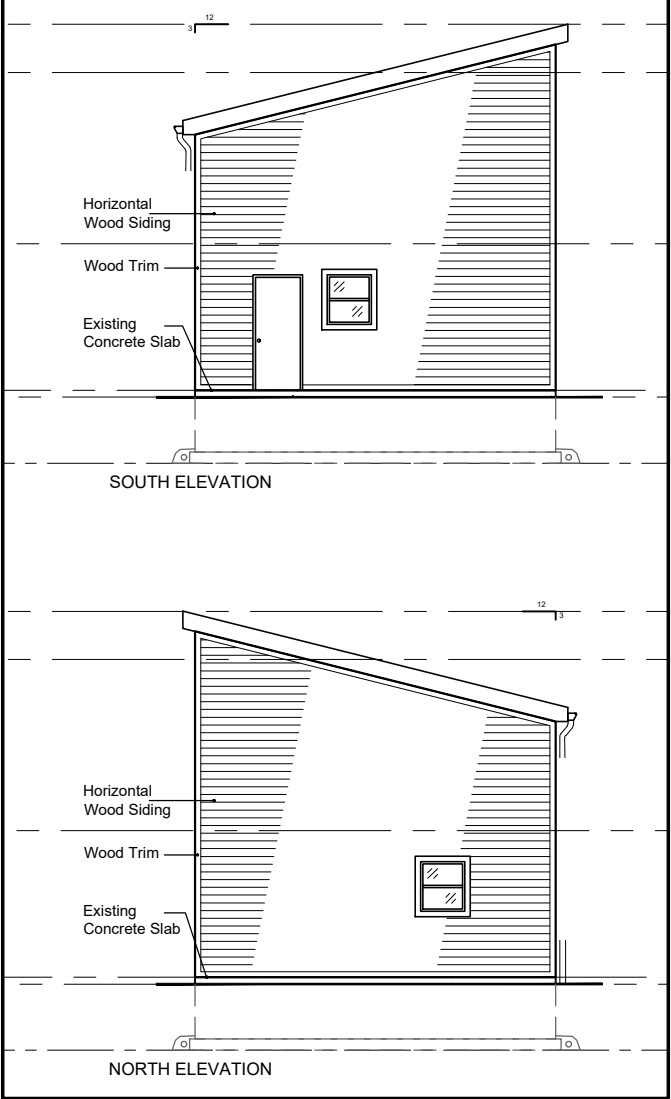
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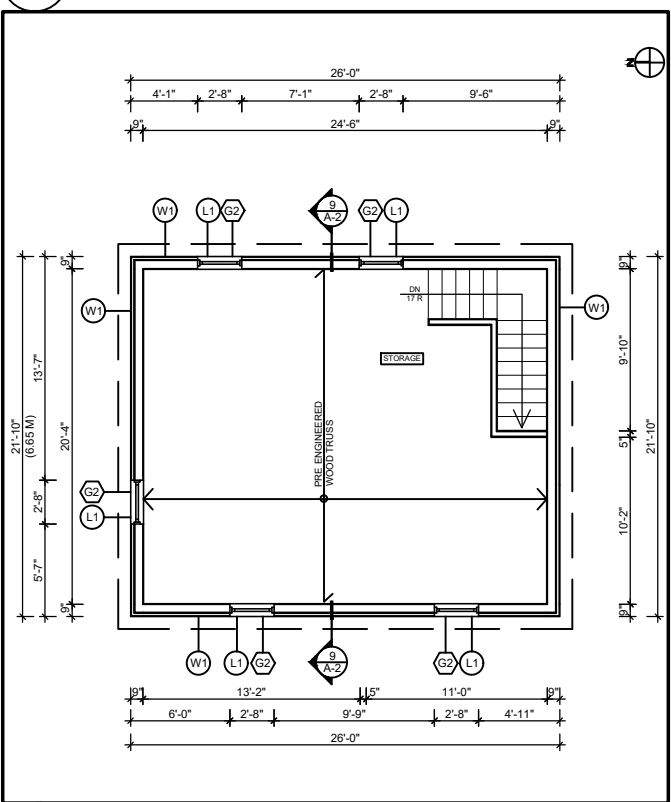
8 WEST & EAST ELEVATIONS
A-1 3/16"=1'-0"



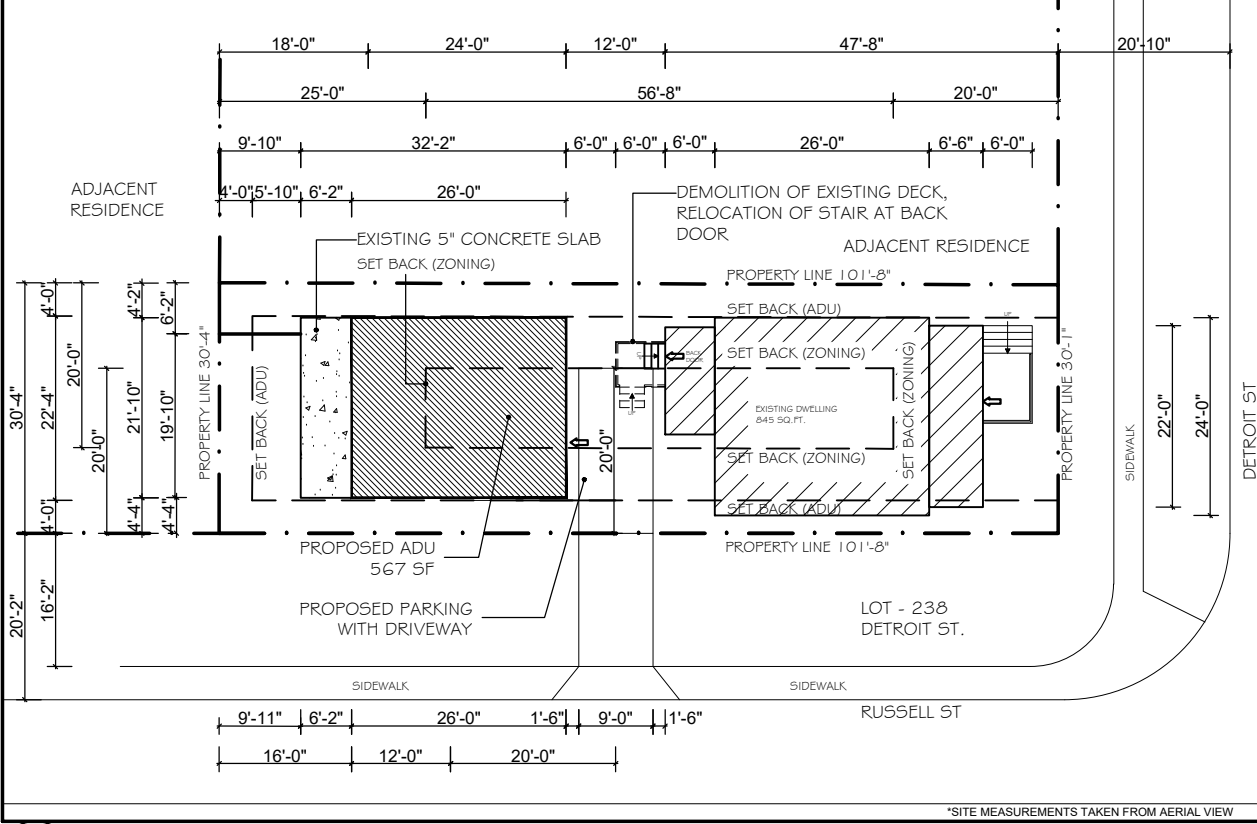
7 FIRST FLOOR PLAN
A-1 3/16"=1'-0"



6 SOUTH & NORTH ELEVATIONS
A-1 3/16"=1'-0"



5 SECOND FLOOR PLAN
A-1 3/16"=1'-0"



4 SITE PLAN
A-1 3/32"=1'-0"

STATISTICS:	LOT COVERAGE - MAXIMUM 35% (ALLOWED)	SCOPE OF WORK:
ADDRESS: 238 DETROIT ST, WINDSOR	EXISTING BUILDING COVERAGE - 27.48%	CONSTRUCTION OF A ONE-BEDROOM ADDITION
LOT AREA: 3074.35 SF (285.62 SM)	PROPOSED ADU COVERAGE - 18.46%	DWELLING UNIT (ADU) WITH STORAGE LOFT ABOVE
EXISTING BUILDING: 845.00 SF (78.50 SM)	TOTAL - 45.94%	DOORS, WINDOWS, KITCHEN, DINING, LIVING SPACE,
PROPOSED ADU: 567.67 SF (33.45 SM)	ALLOWED COVERAGE FOR ADU (35-27.48) = 7.52%	WASHROOM, FOUNDATION, WALLS, AND ROOF.
	REQUESTED RELIEF OF THE COVERAGE TO COMMITTEE OF ADJUSTMENT(18.46 - 7.52) = 10.94%	DRIVEWAY :-
	FOR PROPOSED ACCESSORY BUILDING WITH AND ADDITIONAL DWELLING UNIT	NOTE :- NOT REQUIRED AS PER WARD 2 WINDSOR WEST
ZONING:		
RESIDENTIAL RD3.1 ZONE		
SINGLE DETACHED DWELLING HOME OCCUPATION		

3 STATISTICS & SCOPE OF WORK
A-1 NTS

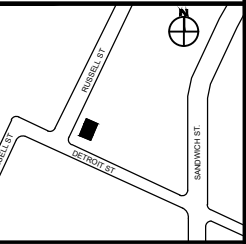
Wall Type Schedule	Roof Type Schedule
W1 Exterior Wall Construction Horizontal Wood Siding, Air Barrier, Rigid (CI) Continuous Insulation (R5), 1/2" Plywood Sheathing, 2"x6" Studs @ 16" o.c., Batt Insulation R19, 6 Mil Poly Vapour Barrier, 1/2" Drywall.	R1 Residence Roof Asphalt Shingles (Low slope) Adhesive Membrane 1/2" Plywood Sheathing 2x12" Rafters @ 24" o/c Insulation R60 6 Mil Poly Vapour Barrier 1/2" Drywall
W2 Standard Interior Wall Construction Gypsum Wallboard 2 x 4 Wood Stud Gypsum Wallboard	Beam Schedule B1 2" x 4" S47 TJI 11 7/8"
Footings Schedule (Existing) FTG-1 18"X 18" X 4" Concrete Footing	E1 Eave Construction Schedule Pre - Finished Aluminum Soffit, (Cont. Vented), Fascia, Eaves trough and Downspouts
Foundation Wall Schedule (EXISTING) F1 Step Foundation 8" Concrete Foundation Wall 1" Rigid Insulation	Window Type Schedule (Double Glazed, Single hung Style) G1 6'-0" w x 6'-0" h G2 2'-8" w x 3'-0" h Sill Height 2'-0" A.F.F. 4'-0" A.F.F.
Floor Construction FLR-1 2 x 4" Wood Joist @ 24" OC Batt Insulation (R12) Vapour Barrier 5/8" Plywood Sub-Floor Floor Finish	Door Type Schedule DR1 3'-0" w x 7'-0" h DR2 2'-6" w x 6'-8" h DR3 2'-4" w x 6'-8" h DR4 2'-4" w x 6'-8" h Remarks Exterior Door Interior Door BiFold Door
FLR-2 S47 TJI Joists 11 7/8" @ 16" OC Continuous 5/8" Plywood Sub-Floor Floor Finish	Lintel Schedule L1 2 - 2 X 6 L2 2 - 2 X 8 LEGEND SD - SMOKE DETECTOR COMBINATION UNIT
FLR-3 Existing Floor 3" Granular base 5" Concrete Slab w/6x6 WWM	

2 SCHEDULES
A-1 NTS

Item	Ontario's 2006 Building Code Data Matrix Part 3 & 9	IBC Reference
1 Project Description:	New Addition 11.1 to 11.4	Part 3 1.1.2 [A] & 9.10.1.3
2 Major Occupancy(s)	Residential	3.1.2.1.(1) 9.10.2
3 Building Area (m²)	EXISTING 845.00 ft² (78.50 m²) NEW 567.67 ft² (52.45 m²) TOTAL 1412.67 ft² (130.95 m²)	1.4.1.2 [A] 1.4.1.2 [A]
4 Gross Area (m²)	EXISTING 845.00 ft² (78.50 m²) NEW 567.67 ft² (52.45 m²) TOTAL 1412.67 ft² (130.95 m²)	1.4.1.2 [A] 1.4.1.2 [A]
5 Number of Storeys	Above Grade 2 Below grade 0	1.4.1.2 [A] & 3.2.1.1 1.4.1.2 [A] & 9.10.4
6 Number of Streets/Fire Fighter Access	1	3.2.2.10. & 3.2.5. 9.10.20
7 Building Classification Group C, Residential Occupancy		3.2.2.61 9.10.2
8 Sprinkler System Proposed	entire building selected compartments selected floor areas basement in lieu of roof rating not required	3.2.2.20-.83 3.2.1.5. 3.2.2.17. INDEX INDEX
9 Standpipe required	Yes No	3.2.9. N/A
10 Fire Alarm required	Yes No	3.2.4. 9.10.18
11 Water Service/Supply is Adequate	Yes No	3.2.5.7. N/A
12 High Building	Yes No	3.2.6. N/A
13 Construction Restrictions	Combustible Non-combustible Both	3.2.2.20-.83 9.10.6
14 Mezzanine(s) Area m²	N/A	3.2.1.1.(3)-(8) 9.10.4.1.
15 Occupant load based on m²/person	design of building	3.1.17. 9.9.1.3.
16 Barrier-free Design	Yes No (Explain) N/A	3.8.1.3.2 (e) 9.5.2
17 Hazardous Substances	Yes No	3.3.1.2. & 3.3.1.19. 9.10.1.3 (4)
18 Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours) Listed Design No. or Description (SG-2)	3.2.2.20-.83 & 3.2.1.4. 9.10.8. 9.10.9.

1 DATA MATRIX
A-1 NTS

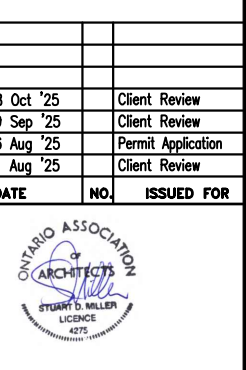
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GENERAL NOTES:

- 1) DO NOT SCALE DRAWINGS.
- 2) VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AS REQUIRED PRIOR TO BIDDING AND COMMENCEMENT OF WORK.
- 3) COORDINATE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
- 4) SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE, NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY, IN WRITING PRIOR TO PROCEEDING WITH ANY WORK.
- 5) ALL WORK SHALL COMPLY OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, FIRE CODE, PLUMBING CODE, ELECTRICAL CODE AND LOCAL BY-LAWS.
- 6) ROOF AND FLOOR DRAWINGS TO BE STAMPED BY PROFESSIONAL ENGINEER.

DATE	NO.	ISSUED FOR
08 Oct '25		Client Review
29 Sep '25		Client Review
26 Aug '25		Permit Application
21 Aug '25		Client Review



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NEW RESIDENTIAL ADU
(ADDITIONAL DWELLING UNIT)
238 Detroit St, Windsor,
ON N9C 2P3

DWG. TITLE
Data Matrix, Site Plan
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