

Notice of Public Hearing – Committee of Adjustment Application

File # A-081/25

Date Mailed: October 29, 2025

Electronic hearing:

By videoconference on November 13, 2025 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on October 29, 2025. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 1088 LOT 136

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential RD1.2

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: NIRANJAN SWAIN AND SOUBHAGYA LAXMI SAHOO Applicant Name: REIGNS 740 INC.		2490 GEORGE AVE

PURPOSE OF APPLICATION

Minor Variance - Proposed single unit dwelling requesting relief for reduced minimum lot width and lot area, and increased maximum front yard paving and surfacing in a residential district.

By-Law	Provision Description	Provision	Requirement	Proposed
8600	Minimum Lot Width	10.2.5.1	12.0 m	10.7 m
8600	Minimum Lot Area	10.2.5.2	360.0 m	318.6 m ²
8600	Maximum Front Yard Paving and Surfacing in Residential District	24.28.1.3.1	50%	60%

Type of Consent Application Transaction:

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca

GENERAL NOTES

CODE AND PROCEDURES

THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE. THE OWNER / BUILDER IS RESPONSIBLE FOR ENSURING THAT ANY CHANGES TO THE CODE ARE COMPLIED WITH AND ALL AMENDMENTS ARE INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO LOCAL CODES AND BYLAWS. IT IS THE OWNER/BUILDERS RESPONSIBILITY TO NOTIFY AG DESIGN OF ANY REQUIREMENTS THAT EXCEED THE ONTARIO BUILDING CODE.

CONCRETE

THE COMPRESSIVE STRENGTH OF CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN:

- 32 MPA (4650 PSI) WITH 5 TO 8 % AIR ENTRAINMENT FOR GARAGE FLOORS, CARPORTS FLOORS AND ALL EXTERIOR FLATWORK.
- 20 MPA (2900 PSI) FOR INTERIOR FLOORS OTHER THEN THOSE FOR GARAGES AND CARPORTS
- 15 MPA FOR FOUNDATION WALLS, COLUMNS, FOOTINGS, PIERS AND OTHER APPLICATIONS

SITE BATCHED CONCRETE SHALL CONFORM TO THE ONTARIO BUILDING CODE REQUIREMENTS.

WHEN THE AIR TEMPERATURE IS BELOW 5°C CONCRETE SHALL BE KEPT AT A TEMPERATURE OF NOT LESS THAN 10°C OR MORE THAN 25°C WHILE BEING PLACED AND MAINTAINED AT A TEMPERATURE OF NOT LESS THAN 10°C FOR 72 HOURS AFTER PLACING. NO FROZEN MATERIAL OR ICE SHALL BE USED IN THE CONCRETE.

FOOTINGS

FOOTINGS AND PADS ARE TO BE PLACED ON UNDISTURBED SOIL, ROCK, OR COMPACTED GRANULAR FILL, TO AN ELEVATION BELOW FROST PENETRATION WITH A MINIMUM SOIL BEARING CAPACITY OF 75 KPA. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY THE SOIL BEARING CAPACITY PRIOR TO CONSTRUCTION. IF A LESSER BEARING CAPACITY IS ENCOUNTERED IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE THE FOUNDATION REDESIGNED BY A QUALIFIED PROFESSIONAL TO SUIT SITE CONDITION.

WHERE WATER TABLE LEVELS ARE WITHIN A DISTANCE BELOW THE BEARING SURFACE LESS THAN OR EQUAL TO THE WIDTH OF THE FOOTING, THE FOOTINGS SHALL BE DOUBLED IN WIDTH UNDER WALLS AND DOUBLED IN AREA UNDER POSTS.

FOUNDATION WALLS

FOUNDATION WALLS TO EXTEND A MINIMUM 8" ABOVE FINISHED GRADE.

GRADE LINES ON PLANS ARE ASSUMED, OWNER/CONTRACTOR TO VERIFY.

WHERE EXTERIOR FINISHED GROUND LEVEL IS AT A HIGHER ELEVATION THAN THE GROUND LEVEL INSIDE THE FOUNDATION WALLS SHALL BE DAMP PROOFED & WHERE HYDROSTATIC PRESSURE OCCURS WATER PROOFING IS REQUIRED.

WOOD FRAMING GENERAL

ALL WOOD FRAMING SHALL COMPLY WITH SECTION 9.23 OF THE ONTARIO BUILDING CODE.

ALL STRUCTURAL FRAMING LUMBER SHALL BE GRADE STAMPED AS SPRUCE - PINE - FIR (S-P-F) NO.2 OR BETTER WITH A MOISTURE CONTENT OF 19% OR LESS AT TIME OF CONSTRUCTION.

WOOD FRAMING MEMBERS THAT ARE NOT TREATED WITH A WOOD PRESERVATIVE AND BEAR ON CONCRETE OR IN DIRECT CONTACT WITH THE GROUND SHALL BE SEPARATED WITH A 6 MIL POLY OR TYPE 'S' ROLL ROOFING.

ALL NOTCHING AND DRILLING OF FRAMING MEMBERS SHALL CONFORM TO SUBSECTION 9.23.5 OF THE ONTARIO BUILDING CODE.

FLUSHED FRAMED WOOD MEMBERS SHALL BE SUPPORTED WITH APPROPRIATE JOIST HANGERS AND FASTENERS.

ROOF FRAMING

ROOF SHEETING SHALL BE INSTALLED WITH THE SURFACE GRAIN AT RIGHT ANGLES TO THE ROOF FRAMING JOINTS PERPENDICULAR TO ROOF RIDGE SHALL BE STAGGERED WITH EDGES SUPPORTED ON TRUSSES. IF TONGUED AND GROOVED EDGE PANEL TYPE SHEETING IS NOT USED THAN EDGES PARALLEL TO THE ROOF RIDGE SHALL BE SUPPORTED BY METAL 'H' CLIPS OR NOT LESS THAN 1.5"x1.5" BLOCKING SECURELY NAILED BETWEEN FRAMING MEMBERS.

VENTILATION OF ROOF SPACE TO BE VENTED TO A MINIMUM OF OF 1/150 OF INSULATED ROOF AREA.

MECHANICAL & ELECTRICAL

MECHANICAL AND ELECTRICAL SERVICES DONE BY OTHERS.

STEEL BEAMS

STEEL BEAMS SHALL MEET THE REQUIREMENTS FOR GRADE 350W STEEL IN CSA G40.21, "GENERAL REQUIREMENTS FOR ROLLED OR WELDED STRUCTURAL QUALITY STEEL"

SMOKE ALARMS

SMOKE ALARMS SHALL CONFORM TO CAN/ULC-S531 "SMOKE ALARMS"

SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING AND BE INSTALLED AS PER CAN/ULC-S553 "INSTALLATION OF SMOKE ALARMS"

SMOKE ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT CONFORMING TO THE REQUIREMENTS IN 18.5.3. OF NFPA 72, "NATIONAL FIRE ALARM AND SIGNALING CODE"

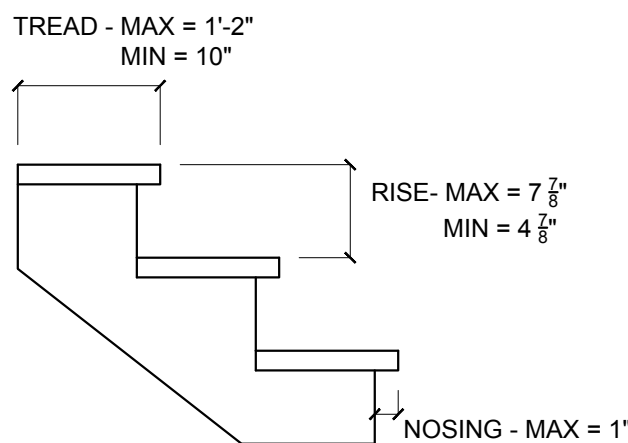
SMOKE ALARMS SHALL BE INSTALLED WITH PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT. C/W BATTERY BACKUP AS PER O.B.C REQUIREMENTS

ALL SMOKE ALARMS SHALL BE INTERCONNECTED SO THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS TO SOUND

DEADBOLT

DOORS THAT REQUIRE A DEADBOLT SHALL BE EQUIP WITH A DEADBOLT LOCK WITH A CYLINDER HAVING NO MORE THAN FIVE PINS AND A BOLT THROW NOT LESS THAN 25MM LONG, PROTECTED WITH A SOLID OR HARDENED FREE-TURNING RING OR BEVELED CYLINDER HOUSING

The diagram illustrates the dimensions of a staircase. It shows a side view of three steps. The horizontal distance between the leading edges of two adjacent treads is labeled 'TREAD - MAX = 1'-2" MIN = 10"'. The vertical distance between the top surfaces of two adjacent risers is labeled 'RISE - MAX = 7 7/8" MIN = 4 1/8"'. The vertical height of the top surface of a tread above the nosing of the riser below it is labeled 'NOSING - MAX = 1"'. The nosing is the edge of the tread that projects over the riser.



STAIRS SHALL HAVE A WIDTH OF NOT LESS THAN 34"

THE CLEAR HEIGHT OVER STAIRS SHALL BE NOT LESS THAN 6'-4"

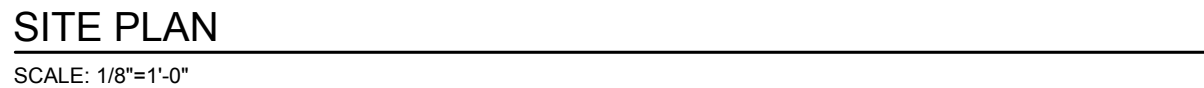
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THE HEIGHT OF HANDRAILS ON STAIRS AND RAMPS SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38"

THE MINIMUM HEIGHT OF GUARDS SHALL BE NOT LESS THAN 36"

ALL GUARDS SHALL BE CONSTRUCTED AS PER SB-7 REQUIREMENTS



SITE PLAN

SCALE: 1/8"=1'-0"

I Ashley Kozachanko declare that I take responsibility for the design of this plan. I am qualified and registered with the Ministry of Municipal Affairs and Housing.



Windsor, ON
Phone : 519-965-7176

NEW DWELLING WITH ADUS
2490 GEORGE AVE
WINDSOR, ON

SITE PLAN & GENERAL NOTES

Date : August 13, 2025
Scale : 1/4" = 1'-0"
Project No. : 041/25
Drawing No. :

A-0.1

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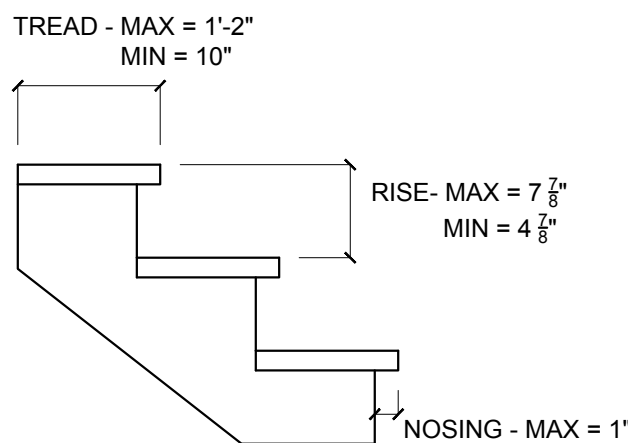
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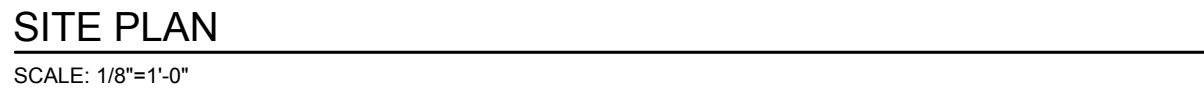
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NEW DWELLING WITH ADUS
2490 GEORGE AVE
WINDSOR, ON

SITE PLAN & GENERAL NOTES

Date : August 13, 2025
Scale : 1/4" = 1'-0"
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A-0.1

LEGEND

FW1

FOUNDATION WALL
BITUMINOUS DAMP PROOFING
6" ICF (REFER TO WALL SECTION FOR REBAR SPECS)
ON 20"x10" POURED CONCRETE FOOTING ON
UNDISTURBED SOIL.
COVERED WITH ½" DRYWALL

FW2

FOUNDATION WALL - FRONT PORCH
BITUMINOUS DAMP PROOFING
8" POURED CONCRETE WALL
ON 20"x10" POURED CONCRETE FOOTING ON
UNDISTURBED SOIL.

W1

EXTERIOR WALL WITH 1 HR FIRE
RESISTANCE RATING
STUCCO - NON COMBUSTIBLE
CONFORMING TO CANULC-S.114)
6" ICF BLOCK FILLED WITH 20 MPA
CONCRETE.
REFER TO WALL SECTION FOR REBAR
SPECIFICATIONS
½" DRYWALL

P1

INTERIOR PARTITION
¾" DRYWALL ON BOTH SIDES OF 2"x4" WOOD
STUDS @ 16" O/C

MAIN FLOOR LOAD BEARING INTERIOR WALL
2X4 WOOD STUDS @ 16" O/C W/ SINGLE BOTTOM PLATE
AND DOUBLE TOP PLATE OVER LINTELS 2X4 WOOD
BLOCKING @ 3'-11" O/C HORIZONTAL
5/8" TYPE X DRYWALL ON BOTH SIDES OF STUDS

BASEMENT LOAD BEARING INTERIOR WALL
2 x 4 BEARING WALL COVERED WITH ½" TYPE X DRYWALL
FINISH. ON SILL GASKET WITH LAG BOLTS @ 4'-0" O.C. ON
ONE COURSE OF 6" SOLID CONCRETE BLOCK ON A 16" x
8" DEEP POURED CONCRETE FOOTING
(CONTINUOUS)

P2

WALL FIRE SEPARATION - 1HR FRR W/ 54 STC SOUND
RATING AS PER W5b of SB-3
2X4 WOOD STUDS @ 24" O/C FILL WALL
CAVITY WITH ROXUL SAFE AND SOUND
INSULATION. INSTALL RESILIENT METAL
CHANNELS ON ONE SIDE @ 16" O/C COVER
WITH 1 LAYER OF ½" TYPE X DRYWALL.
OTHER SIDE TO RECEIVE 2 LAYERS OF ½"
TYPE X DRYWALL.

EF

DENOTES EXHAUST FAN VENTED DIRECTLY TO
EXTERIOR AS PER O.B.C REQUIREMENTS.

RH

DENOTES RANGE HOOD VENTED DIRECTLY TO
EXTERIOR AS PER O.B.C REQUIREMENTS.

SD

DENOTES SMOKE ALARM CW CO² DETECTOR. REFER
TO GENERAL NOTES.

A/H

ATTIC SPACE ACCESS HATCH 32"x24" MINIMUM.
INSTALLED AS PER OBC REQUIREMENTS.

C1

HORIZONTAL FIRE SEPARATION - ENTIRE MAIN
FLOOR CEILING
1 HR FRR & STC 51 CEILING CONFORMING TO F9g OF
SB-3
½" T & G PLYWOOD SUBFLOOR 2X10 WOOD JOISTS @
16" O/C INFILL CAVITY WITH INSULATION. RESILIENT
METAL CHANNEL @ 24" O/C, 2 LAYERS OF 1/2" TYPE X
GYPSUM BOARD.

NOTES

1. MECHANICAL AND ELECTRICAL SERVICES DONE BY OTHERS.

2. ANY PENETRATIONS IN THE FIRE SEPARATIONS MUST PROPERLY
SEALED AS PER OBC REQUIREMENTS

3. SITE VERIFY ALL DIMENSIONS.

4. ALL NEW INTERIOR WALLS TO BE P1 UNLESS NOTED OTHERWISE.

5. REFER TO DETAIL FOR ALL LINTELS

6. ALL UNITS TO BE HEATED AND COOLED SEPARATELY

BASEMENT FLOOR PLAN

MAIN FLOOR PLAN

SECOND FLOOR PLAN

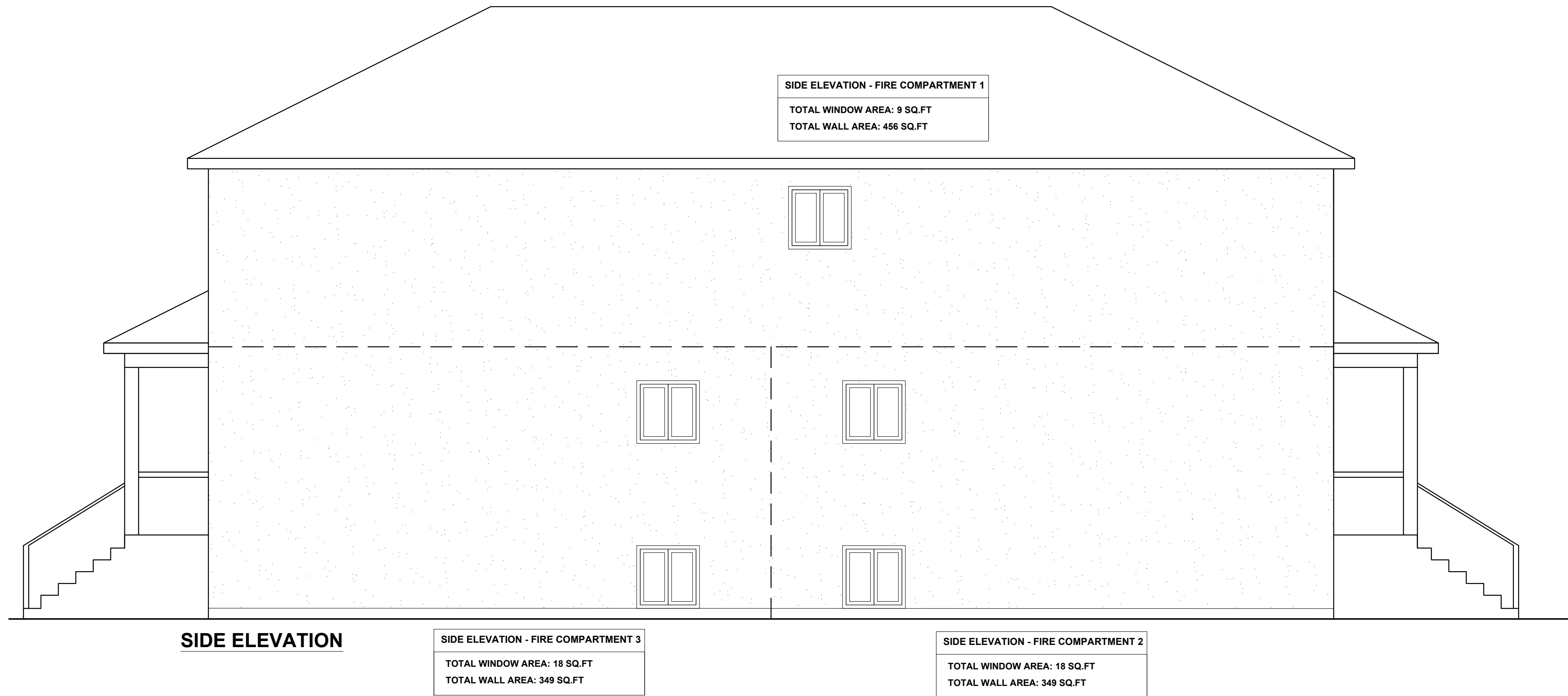
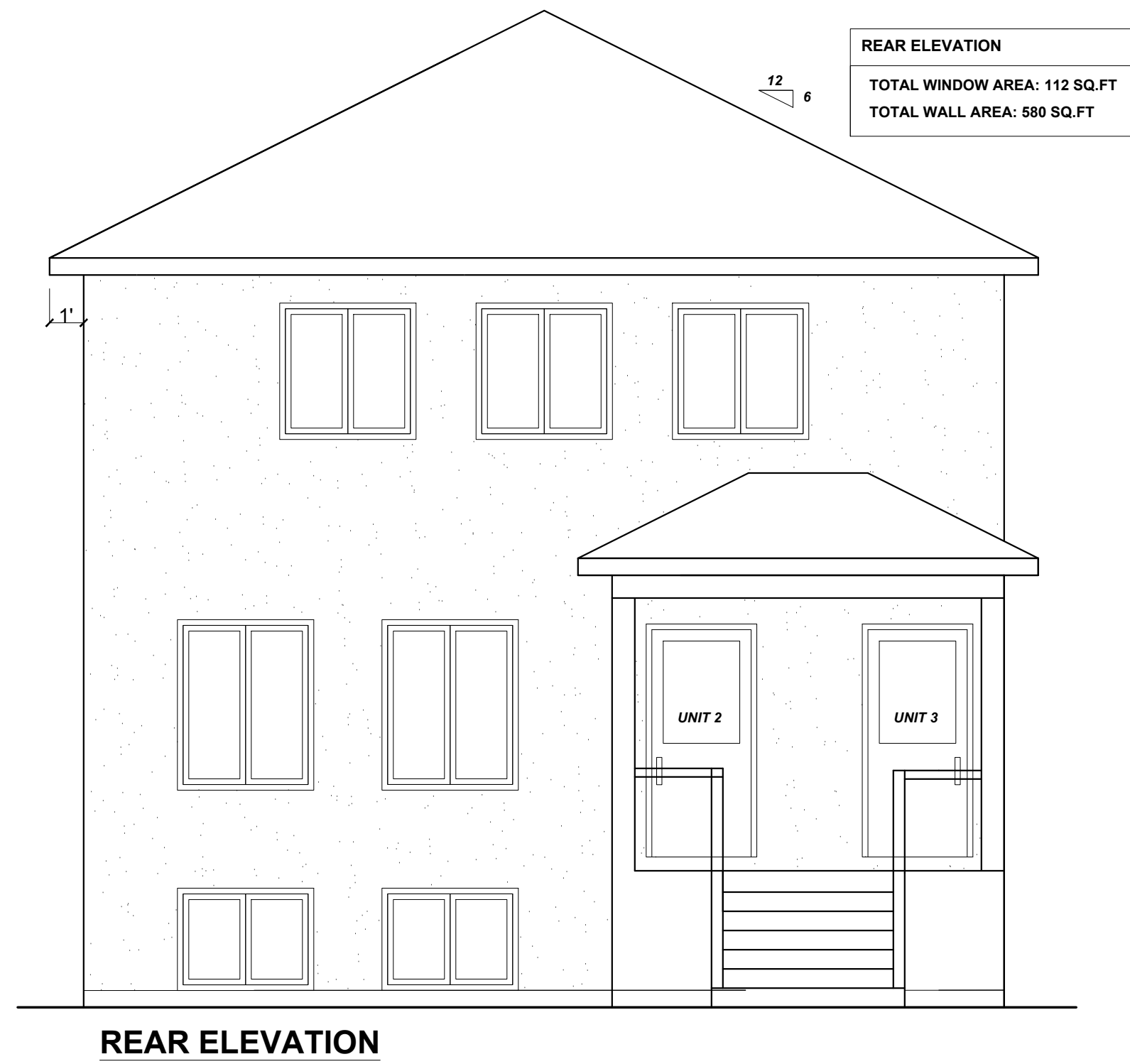
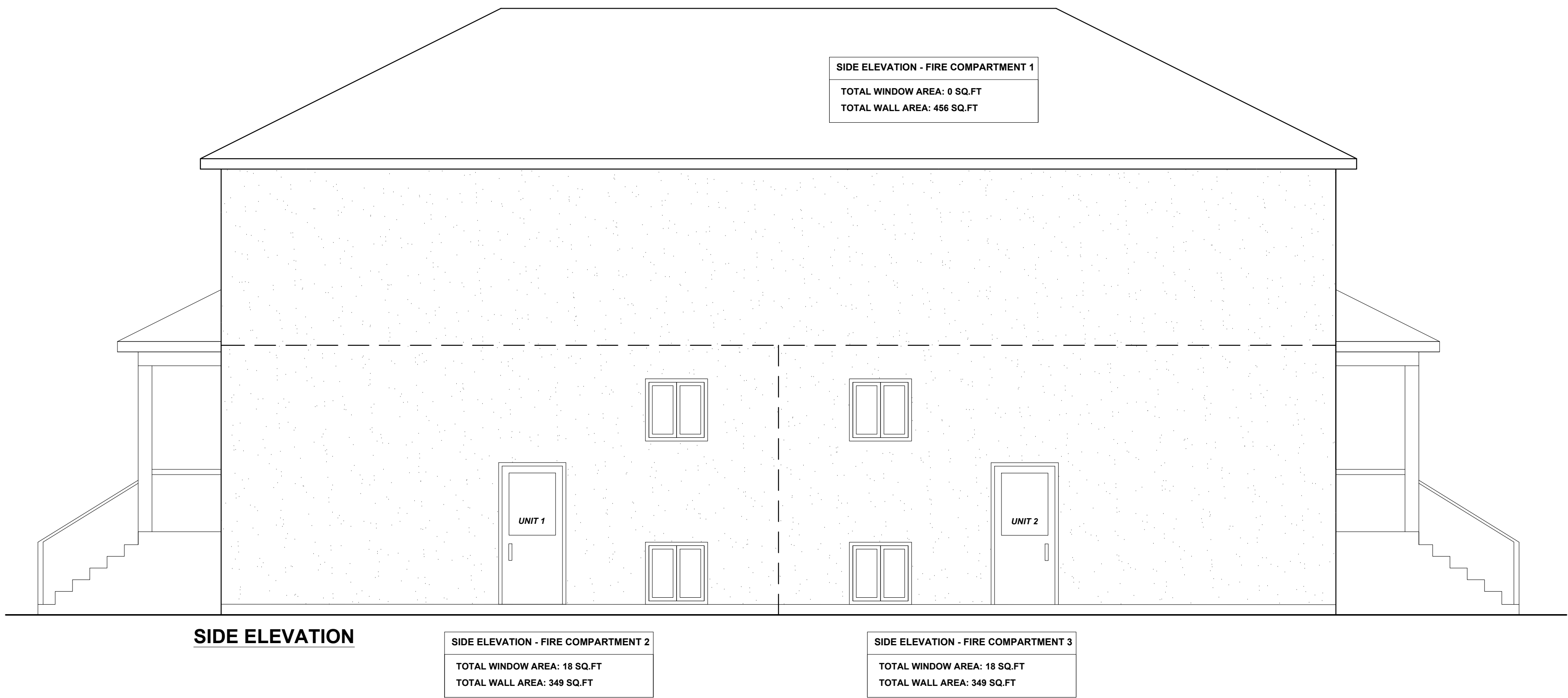
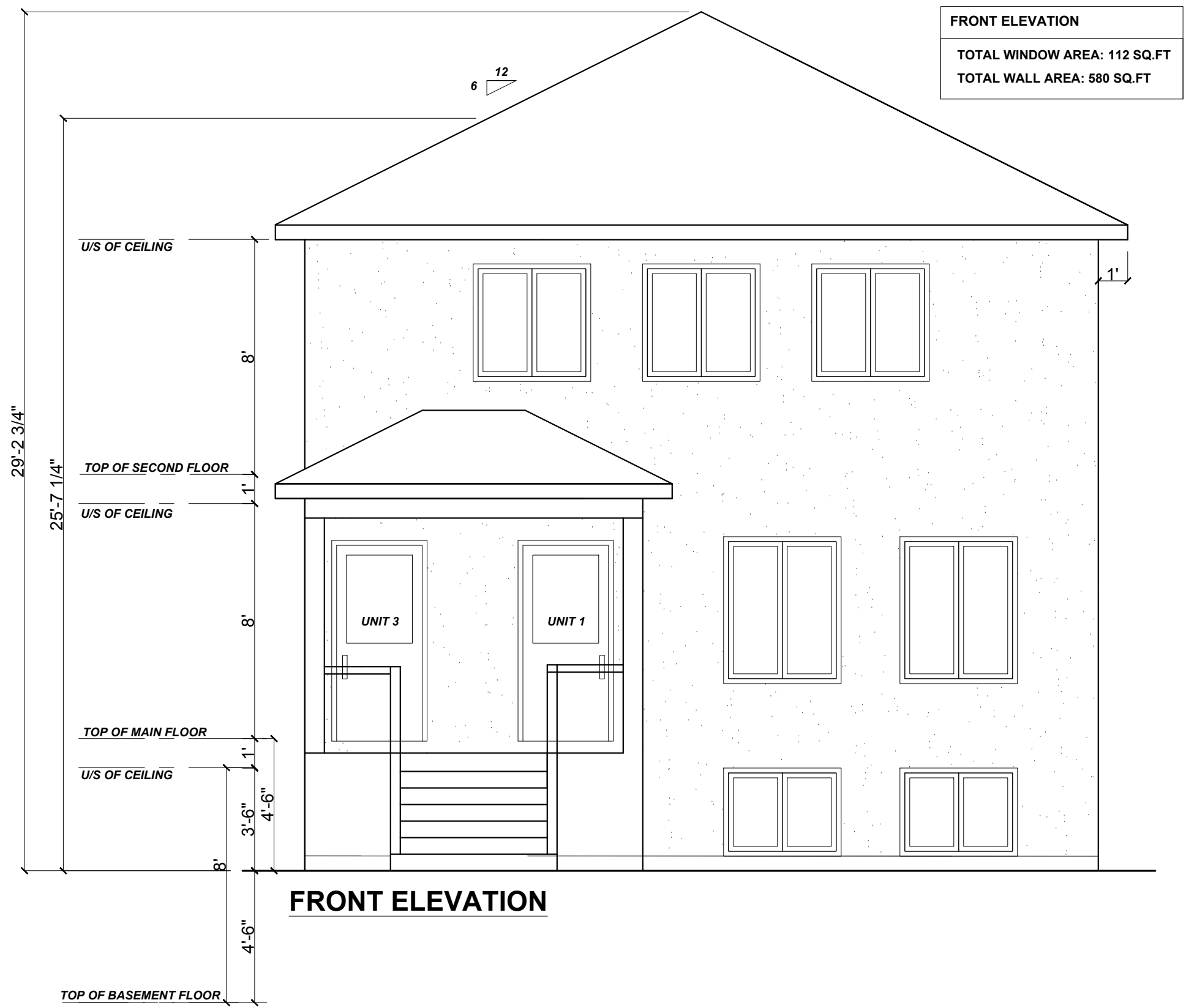
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO DESIGNER BEFORE PROCEEDING WITH WORK.
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THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR THE CONTRACTOR OR HIS SUBTRADEES FAILURE TO CARRY OUT THE WORK ACCORDING TO THESE PLANS, SPECIFICATIONS AND RELATED DOCUMENTS.
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I Ashley Kozachanko declare that I take responsibility for the design of this plan. I am qualified and registered with the Ministry of Municipal Affairs and Housing.
Individual BCIN: 37168 Firm BCIN: 43361

AG
DESIGN
Windsor, ON
Phone : 519-965-7176

NEW DWELLING WITH ADUS
2490 GEORGE AVE
WINDSOR, ON
FLOOR PLANS

Date : August 13, 2025
Scale : 1/4" = 1'-0"
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A-1.0



DO NOT SCALE

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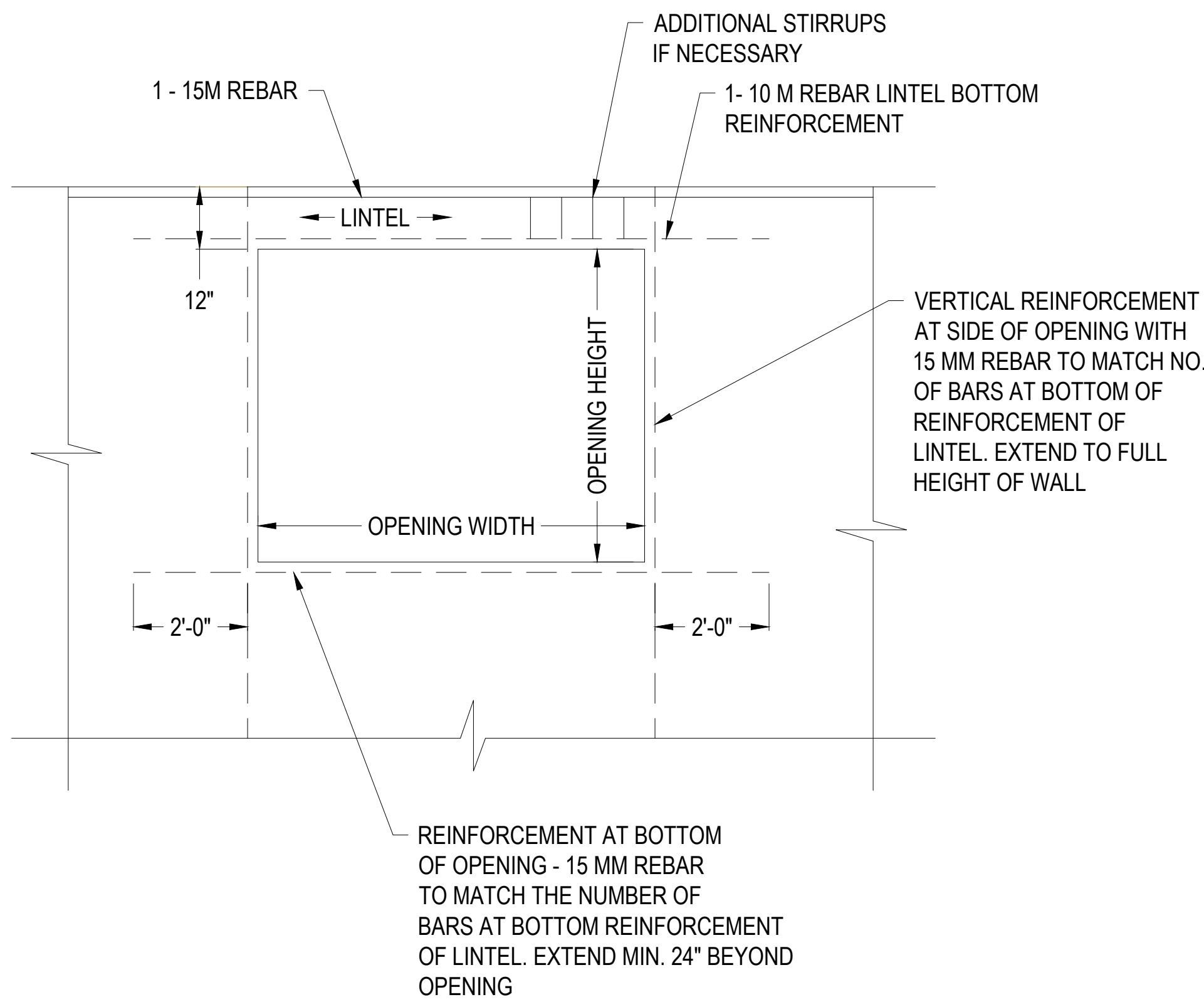
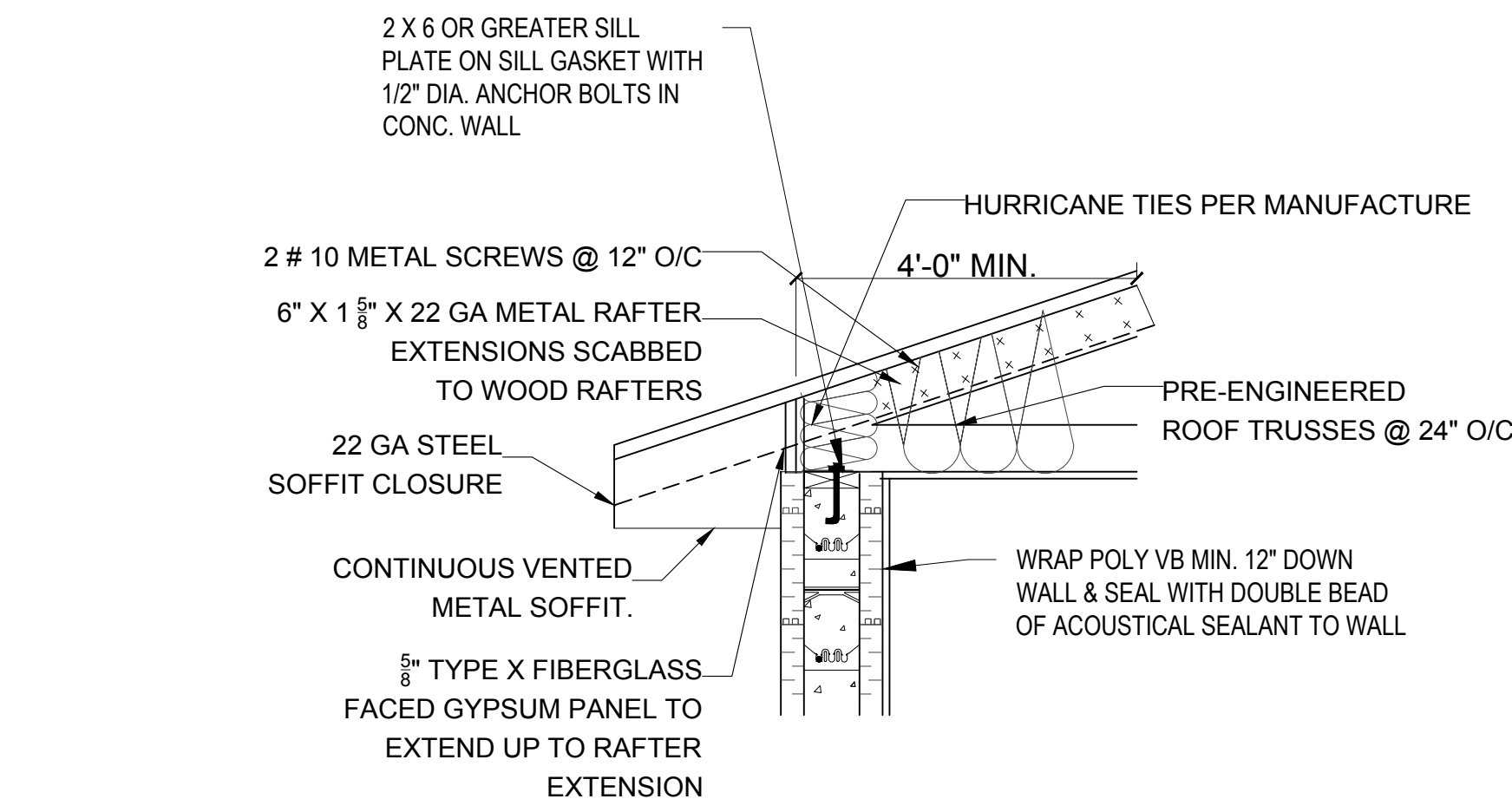
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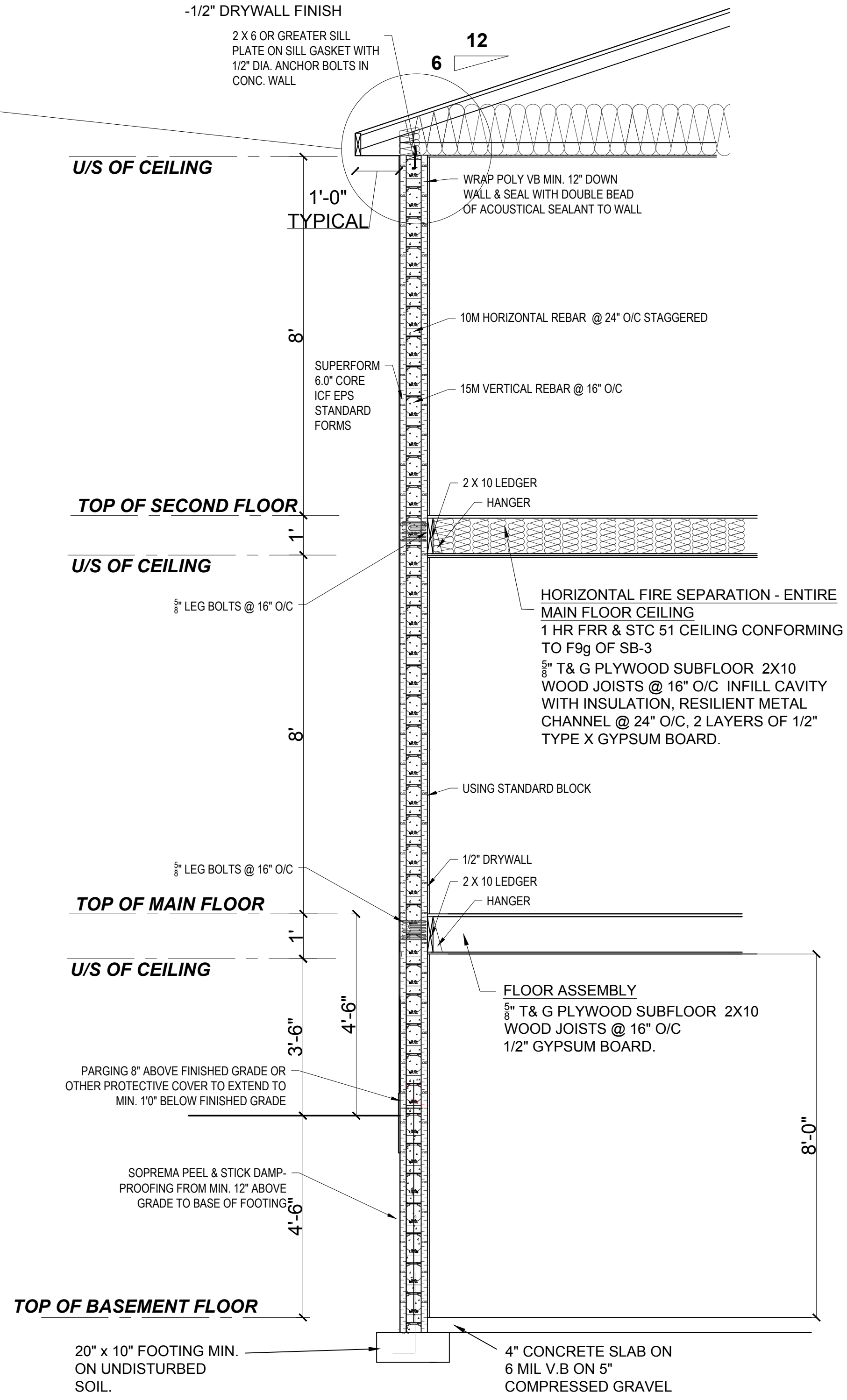
ELEVATIONS

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TYPICAL LINEL DETAIL - REINFORCEMENT

- TYPICAL ROOF CONSTRUCTION
-ASPHALT SHINGLES - AS PER OWNER
-STARTER STRIP CONFORMING TO O.B.C REQUIREMENTS
-1/2" PLYWOOD SHEETING C/W "H" CLIPS
-PRE-ENGINEERED ATTIC TRUSSES INSTALLED AS PER MANUFACTURES INSTRUCTION
-R60 BATT INSULATION C/W 6 MIL POLY V.B
-1/2" DRYWALL FINISH



WALL SECTION
SCALE - $\frac{1}{2}$ " = 1'-0"

DO NOT SCALE
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO DESIGNER BEFORE PROCEEDING WITH WORK.
THIS DESIGNER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR ERRORS OR OMISSIONS NOT REPORTED BY THE CONTRACTOR OR HIS SUBTRADEES.
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CONSTRUCTION MUST COMPLY WITH THE LATEST STANDARDS OF THE ONTARIO BUILDING CODE AND ANY OTHER APPLICABLE LAWS.
ALL DRAWINGS AND SPECIFICATION ARE THE PROPERTY OF THE DESIGNER AND ARE PROTECTED BY COPYRIGHT.

I Ashley Kozachanko declare that I take responsibility for the design of this plan. I am qualified and registered with the Ministry of Municipal Affairs and Housing.

Individual BCIN: 37168 Firm BCIN: 43361



Windsor, ON
Phone : 519-965-7176

NEW DWELLING WITH ADUS
2490 GEORGE AVE
WINDSOR, ON

DETAILS & WALL SECTION

Date : August 13, 2025
Scale : 1/4" = 1'-0"
Project No. : 041/25

Drawing No. :

A-3.0