

Notice of Public Hearing – Committee of Adjustment Application

File # A-080/26 - 868 PILLETTE RD

Date Mailed: September 23, 2026

Electronic hearing:

By videoconference on October 8, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on September 23, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 776; PT LOTS 29 & 30; RP 12R28594; PARTS 2 & 3

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Mixed Use Node	Residential District 3.1 (RD3.1)

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: JENNIFER MARION Applicant Name: HIRMAN ARCHITECTS INC.		868 PILLETTE RD

PURPOSE OF APPLICATION

Minor Variance - Proposed duplex dwelling with one additional dwelling unit requesting relief for reduced minimum lot width, reduced minimum lot area, and increased maximum gross floor area

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-law 8600	11.2.5.1.1	Minimum Lot Width	12.0 m	11.9 m
Zoning By-law 8600	11.2.5.1.2	Minimum Lot Area	360.0 m²	348.8 m²
Zoning By-law 8600	11.2.5.1.10	Maximum Gross Floor Area - Main Building	400 m²	415 m²

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

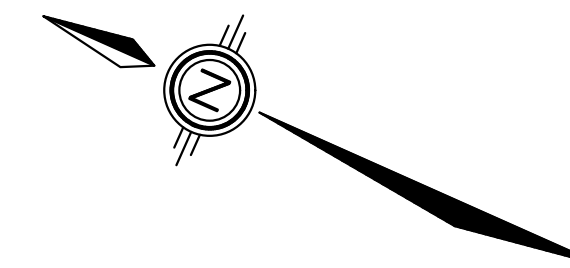
If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca

776



SCALE = 1:100

SCALE = 1:100

METRES

0 1.00 2.00 4.00 6.00 10.00

"METRIC" DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ELEVATIONS
ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES TO CAN-NET/SMARTNET
NETWORK (H.T.V. 2.0)

BENCH MARK
BENCH MARK 1130 ELEVATION 180.32
M.B. 4665 RIVERSIDE DRIVE EAST (HARBOUR TOWER); THE PLATE IS LOCATED
ON THE NORTH WALL, 0.3' FROM THE EAST WALL AND 1.6' ABOVE GRADE.

SITE BENCH MARK ELEVATION 181.38
AS SHOWN ON FACE OF PLAN

CAUTION

UNDERGROUND UTILITIES AND SERVICES SHOWN ON THIS PLAN
APPROXIMATE AND MUST BE VERIFIED BEFORE CONSTRUCTION

LEGEND

- | | | | |
|--------|---------------------------------|----------|----------------------------|
| ○ MHH | DENOTES HYDRO MANHOLE | ⬆ FH | DENOTES FIRE HYDRANT |
| ○ MHS | DENOTES SEWER MANHOLE | ⬆ WWS | DENOTES WATER METER |
| ○ MHT | DENOTES TELEPHONE MANHOLE | ⬆ WVS | DENOTES WATER VALVE |
| ○ MHTR | DENOTES TRAFFIC MANHOLE | ⬆ WWM | DENOTES WATER VALVE |
| ○ MHW | DENOTES WATER MANHOLE | ⬆ GM | DENOTES GAS METER |
| ▣ CB | DENOTES CATCH BASIN | ⬆ GV | DENOTES GAS VALVE |
| ▣ DSCB | DENOTES DOUBLE CATCH BASIN | ⬆ HM | DENOTES HYDRO METER |
| ● LsC | DENOTES LIGHT STANDARD CONCRETE | ▣ PedT | DENOTES TELEPHONE PED |
| ● LsS | DENOTES LIGHT STANDARD STEEL | ▣ PedCTV | DENOTES CABLE TV PED |
| ● LsW | DENOTES LIGHT STANDARD WOOD | ⬆ TrS | DENOTES TRAFFIC SIGN |
| ● UpC | DENOTES UTILITY POLE CONCRETE | ⬆ TrSS | DENOTES TRAFFIC SIGN |
| ● UpS | DENOTES UTILITY POLE STEEL | ⬆ TrTS | DENOTES TRAFFIC SIGN |
| ● UpW | DENOTES UTILITY POLE WOOD | ⬆ TH | DENOTES TESTHOLE |
| GP | DENOTES GUY POLE | ⬆ BM | DENOTES BENCH MARK |
| GW | DENOTES GUY WIRE | △ HCP | DENOTES HORIZONTAL CONTROL |
| ○ Bol | DENOTES BOLLARD | ○ VCP | DENOTES VERTICAL CONTROL |
| ● PM | DENOTES PARKING METER | ⊗ | DENOTES SHRUB |
| INV | DENOTES INVERT | ○ SC | DENOTES SEWER CLEANOUT |

DECIDUOUS AND CONIFEROUS TREES ARE DENOTED DT AND CT RESPECTIVELY. A PREFIX TO THE DESCRIPTION DESIGNATES THE NUMBER OF TREE TRUNKS WHEN TREES ARE CLUMPED TOGETHER AND A SUFFIX DENOTES THE TREE DIAMETER OR (NTS) NOT TO SCALE.

- | | | | |
|----|-------------|----|------------------------|
| C | C | C | DENOTES OVERHEAD CABLE |
| G | (pipe size) | G | DENOTES GAS LINE |
| H | H | H | DENOTES OVERHEAD HYDRO |
| CS | (pipe size) | CS | DENOTES COMBINED SEWER |
| SA | (pipe size) | SA | DENOTES SANITARY SEWER |
| ST | (pipe size) | ST | DENOTES STORM SEWER |
| T | T | T | DENOTES OVERHEAD TELEP |
| W | (pipe size) | W | DENOTES WATER LINE |

UNDERGROUND CABLE, HYDRO OR TELEPHONE LINES ARE PREFIXED WITH THE LET
(CABLE = uC HYDRO = uH TELEPHONE = uT)

LEGEND AND NOTES

BEARINGS ARE UTM GRID DERIVED FROM OBSERVED REFERENCE POINTS 'A' AND 'B' BY REAL TIME NETWORK OBSERVATIONS AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE) NAD83 (CSRS) (2010.0).

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY
BY THE COMBINED SCALE FACTOR OF 0.999904

ALL SET SSIB AND PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN
PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH
SECTION 11(4) OF O.REG. 525/91.

ALL MONUMENTS SHOWN THUSLY □ ARE IRON BARS (B) UNLESS OTHERWISE N.
 SIB DENOTES STANDARD IRON BAR ■ DENOTES SURVEY MONUMENT
 SSIB DENOTES SHORT STANDARD IRON BAR □ DENOTES SURVEY MONUMENT
 IB DENOTES IRON BAR
 B DENOTES ROUND IRON BAR WIT. DENOTES WITNESS I. DENOTES PERPETRATOR
 CC DENOTES CUT-CROSS (S) DENOTES SET (M) DENOTES MEASUREMENT
 CORP. DENOTES CORPUS PIN OBSERVED REFERENCE POINT
 PB DENOTES PLASTIC BAR (P) DENOTES PROPORTION
 (U) DENOTES ORIGIN UNKNOWN (CALC) DENOTES CALCULATED
 (N) DENOTES NOT DETERMINABLE (C) DENOTES INST. NO.
 NEWSP NORTH, EAST, SOUTH & WEST
 P DENOTES PLAN 128-28594
 (7744) DENOTES VERMONT DEPARTMENT OF CONSERVATION, INC., O.L.S.
 (JDB) DENOTES J.D. BARNES LIMITED, O.L.S.

SURVEYOR'S CERTIFICATE

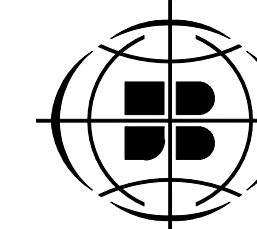
I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THIS SURVEY WAS COMPLETED ON THE 23rd DAY OF MARCH, 2026

DATE JUNE 10, 2026. 11/11/2025

SHAFIC HABEBUR RAHMAN
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-13327



VERHAEGEN
LAND SURVEYORS

A DIVISION OF J.D. BARNES LTD.

944 OTTAWA STREET, WINDSOR, ON, N8X 2E1

T: (519) 258-1772 F: (519) 258-1791 www.jdbarnes.com

DRAWN BY: GMM	CHECKED BY: OIS	REFERENCE NO.: 26-47-257-00
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	0mm	625	20 17 187 99
Rankin Plaza of Sunnyvale	868 Billello Road	Windsor 26	43 257 00 days

CAD Date: June 16, 2026 8:00 AM

34cm x 0.6	24.0"ln2
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE O.B.C TO BE A DESIGNER. QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.5.1. OF THE 2012 O.B.C (OR 2.17.5.1. OF THE 1997 O.B.C)

[illegible]

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DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE.

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DRAWING TITLE: FLOOR PLANS
SECTION A-A

SCALE: 1/8"=1'

PAPER SIZE: 18x24

ARCHITECTURAL DESIGN

HIRMAN ARCHITECTS INC.
UNIT 113, 9471 YONGE STREET,
RICHMOND HILL, ON, L4C 0Z5
Tel: (647) 401-3922
Email: hirman.studio@gmail.com

PROJECT:

868 PILLETTE ROAD, WINDSOR

A1



ENERGY EFFICIENCY COMPLIANCE OPTION

MAX. U-VALUE FOR WINDOWS & SLIDING GLASS DOORS AND R-52 INSULATION VALUES PER EDS TO PROVIDED BY MECH ENGINEER

WIN. WALLS TO BE COVERED WITH GRATE COVER WIN. WELL GRATE COVER AND ITS COMPONENTS MUST BE DESIGNED TO RESIST ITS WEIGHT PLUS A MINIMUM LIVE LOAD OF 1.9 kPa, ALLOWING TO ACT AS A WALKING SURFACE

TALL WALL CONSTRUCTION: 2 STOREY WALL 2-2x6@12" OC WITH SOLID BLOCKING @ 4" OC AND 2" PLYWOOD SCREWED TO DOUBLE STUDS USING 2" SCREWS@ 12" STAGGERED

W4b AND F9g HAVE MIN 50 STC, SO ALL UNITS ARE SEPARATE FROM EACH OTHER WITH AT LEAST 50 STC.

ALL FLOORS OR FLAT ROOFS IN CONTACT WITH OUTSIDE TO BE FILLED WITH R-31 FOAM, NO NEED TO BE VENTILATED

ALL DOOR SIZES ARE CLEAR OPENING

ALL DOORS IN FIRE SEPARATIONS TO BE EQUIPPED WITH THE SELF CLOSER

FLAT ROOF

PARAPET WALL AS PER ELEV. 2% SLOPE TO DRAIN, SCURPER & RAIL

SINGLE PLY EPDM RUBBER ROOFING MEMBRANE INSTALLED AS PER MANUF. SPECS. ON 1/2" THK. EXT. GRADE PLYWD. SHEATHING

ON TAPERED 2x6 STRAPPING (LAD FLAT) @ 16" OC'S FOR 2% DRAINAGE SLOPE (TYP.) ON ROOF JOISTS AS SPECIFIED

MIN 2 1/2-LBS SPRAY FOAM INSULATION BETWEEN ROOFS TO COMPLY WITH R-31, NO NEED TO VENTILATION. FOAM INSULATION IN CONFORMANCE WITH CAN/ULC-S705.1 THERMAL INSULATION-SPRAY APPLIED RGD POLYURETHANE FOAM, MEDIUM DENSITY

ALL FLOORS ARE FROM F9g, ALL LOAD BEARING ELEMENTS ARE PER ST DRAWINGS AND TO COMPLY WITH W4b UNLESS THEY JUST SUPPORT ROOF.

NO FIRE RATING IS NEEDED FOR ROOF. ALL WALLS ARE REGULAR WOODEN WALLS (2x4 OR 2x6 STUDS) DEPENDING ON THE DIMENSION ON THE DRAWINGS. UNLESS IT IS INDICATED ON THE DRAWINGS, SIDE SOUTH AND NORTH WALLS ARE FROM WE1 (NON COMBUSTIBLE, 1 H FRR)

W4b OBC REFERENCE 9.8.4.2

WOOD STUD, SINGLE ROW /NON-LOAD BEARING OR

LOAD BEARING /2X4 or 2X6 WOOD STUDS SPACED 610MM OC, 89MM THICK ABSORPTIVE MATERIAL, RESILIENT METAL CHANNEL ON ONE SIDE, 2 LAYERS OF 15.9 MM TYPE X GYPSUM BOARD ON RESILIENT METAL CHANNEL SIDE AND 1 LAYER OF 15.9 MM TYPE X GYPSUM BOARD ON THE OTHER SIDE /1 H FRR & 54 STC

F9g OBC REFERENCE 9.10.9.14

F9g FROM SB3

SUB FLOOR OF 15.5MM PLYWOOD, OSB OR WAFER BOARD ON WOOD JOISTS OR WOOD I-JOISTS SPACED NOT MORE THAN 460 MM OC., ABSORPTIVE MATERIAL IN CAVITY, RESILIENT METAL CHANNELS SPACED 610MM OC, 2 LAYERS OF 12.7 MM TYPE X GYPSUM BOARD ON CEILING SIDE /1 H FRR & 51 STC

WE1 OBC REFERENCE 9.10.14.4 & 9.10.14.5

FOR MEMBER SIZE REFER TO ST DRAWINGS

R22 INSULATION WHICH CONFIRMS TO CAN/ULC-S702, 1 LAYER OF 15.9 MM TYPE X GYPSUM BOARD ON BOTH SIDE AND NON COMBUSTIBLE STUCCO ON THE EXTERIOR /1 H FRR NON-COMBUSTIBLE WALL & CLADDING

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