

Notice of Public Hearing – Committee of Adjustment Application

File # A-079/26 - 918 RANDOLPH AVE

Date Mailed: September 23, 2026

Electronic hearing:

By videoconference on October 8, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on September 23, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 1578 N PT LOT 20;RP 12R343 PART 1;

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential District 2.1 (RD2.1)

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: JUSTIN MURER Applicant Name: Justin Murer		918 RANDOLPH AVE

PURPOSE OF APPLICATION

Minor Variance - Proposed detached Additional Dwelling Unit at the rear of the property requesting relief for increased maximum lot coverage for an accessory building having a lot area of less than 400.0m2

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-law 8600	5.10.9.15	Maximum lot coverage of an accessory building for a lot having a lot area of less than 400.0m²	40.0m²	49.1m²

Type of Consent Application Transaction:

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca

DRAWING NOTES

The Ontario Building Code, Latest Edition shall be the basis of design and construction. Any inconsistencies on the drawings must be reported to the designer before proceeding with the work.

The contractor or owner shall notify the designer of any discrepancies prior to construction.

All footings shall be placed on natural undisturbed soil capable of sustaining an allowable pressure of 3000 psf.

Concrete strength to be 20 MPa for footings and walls, 25 MPa for floor slabs, 30 MPa minimum for outside concrete.

Concrete cover for reinforcing steel shall be 3 inches for concrete cast against earth and 2 inches for walls.

All concrete exposed to weather shall have between 5% to 7% air entrainment.

Mechanically vibrate all concrete.

Pre-engineered floor system to be certified by lumber provider.

TJI blocking to be installed 4'-0" o.c. for rim board support parallel with floor system.

Truss supplier/designer to confirm all point loads over windows and doors. Truss or Floor designer to provide LVL shop drawings as required.

Windows are representative due to the many styles and sizes available, therefore the contractor and the window supplier are to ensure size, fit and OBC compliance of doors and windows conforming to the energy performance evaluation standard CAN/CSA-A440.2.

Dimensions always take precedence over scaled measurements.

All interior doors are 32" x 80" UNO.

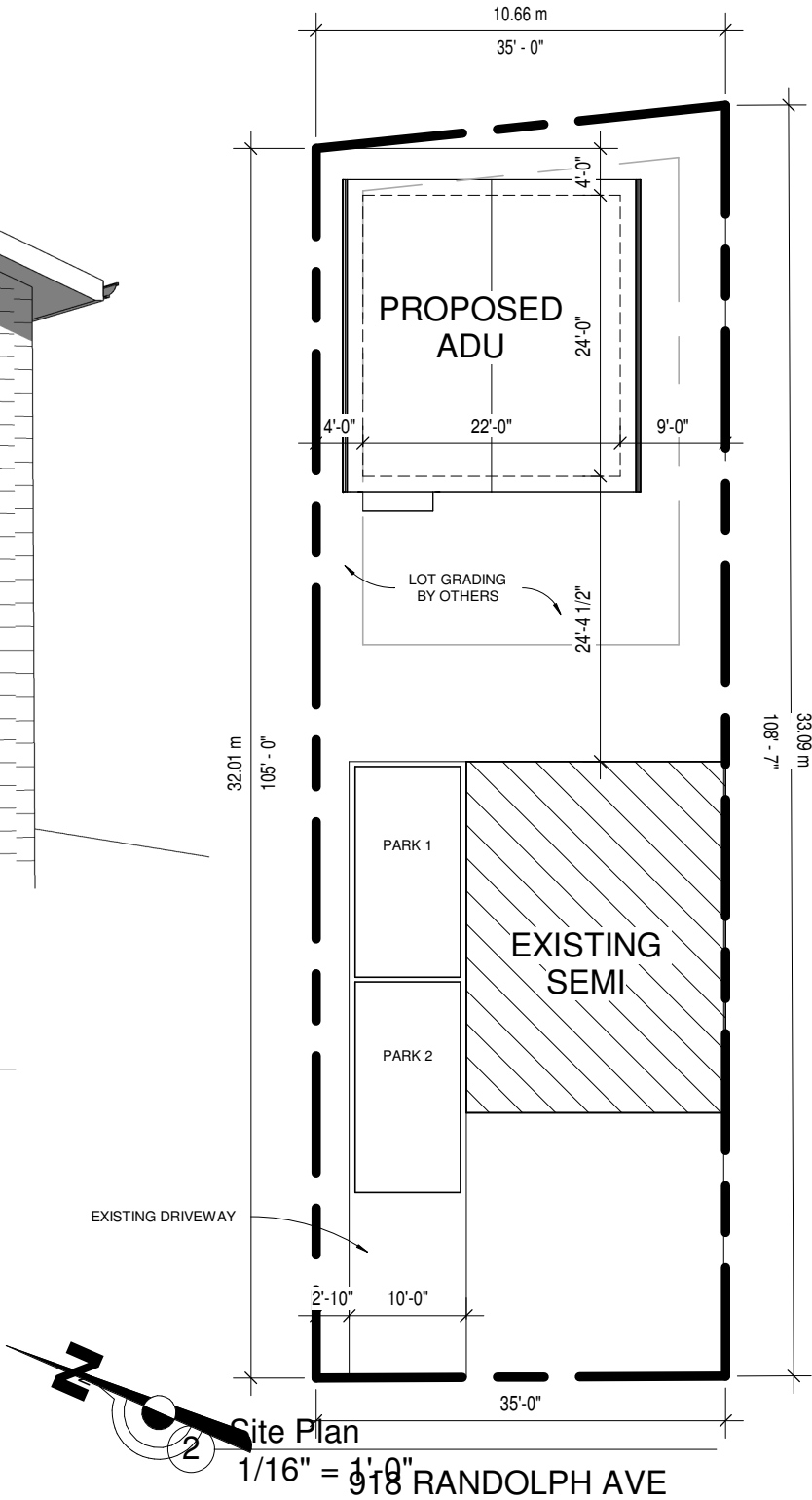
These plans may not be re-used or copied without the written permission in whole or in part from GA Designs.

TABLE 3.1.1.2.A ZONE 1 - COMPLIANCE PACKAGE
FOR SPACE HEATING EQUIPMENT WITH AFUE 92% OR GREATER

COMPONENT	A1	COMPONENT	A1
CEILING WITH ATTIC SPACE MINIMUM RSI (R)-VALUE	R-60	HEATED SLAB OR SLAB LESS THAN 2" BELOW GRADE MINIMUM RSI (R)-VALUE	R-10
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R)-VALUE	R-31		
EXPOSED FLOOR MINIMUM RSI (R)-VALUE	R-31		
WALLS ABOVE GRADE MINIMUM RSI (R)-VALUE	R-22	WINDOWS AND SLIDING GLASS DOORS MAXIMUM U-VALUE	0.28
BASEMENT WALLS (LESS THAN 50% ABOVE GRADE) MINIMUM RSI (R)-VALUE	R-20 ci. OR (R-10 ci. + R-12 BATT)	SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
		HRV MINIMUM EFFICIENCY	75%
		DOMESTIC HOT WATER HEATER MINIMUM EF	0.8
AREA OF EXTERIOR WALL = 1 542 sf. AREA OF WINDOWS & SLIDING DOORS = 88 sf. RATIO OF EXTERIOR WALLS = 5.7 %			



3 3D View 1



SITE DATA		
AREA OF ADU	528 SF.	14 %
EXISTING SEMI BUILD AREA	665 SF.	
TOTAL BUILD AREA	1 193 SF.	
LOT SIZE AND LOT COVERAGE TOTAL	3 738 SF.	31.9 %

Site Plan and 3d View

Project number	26	Date	2026-08-18	Scale	As indicated

Date

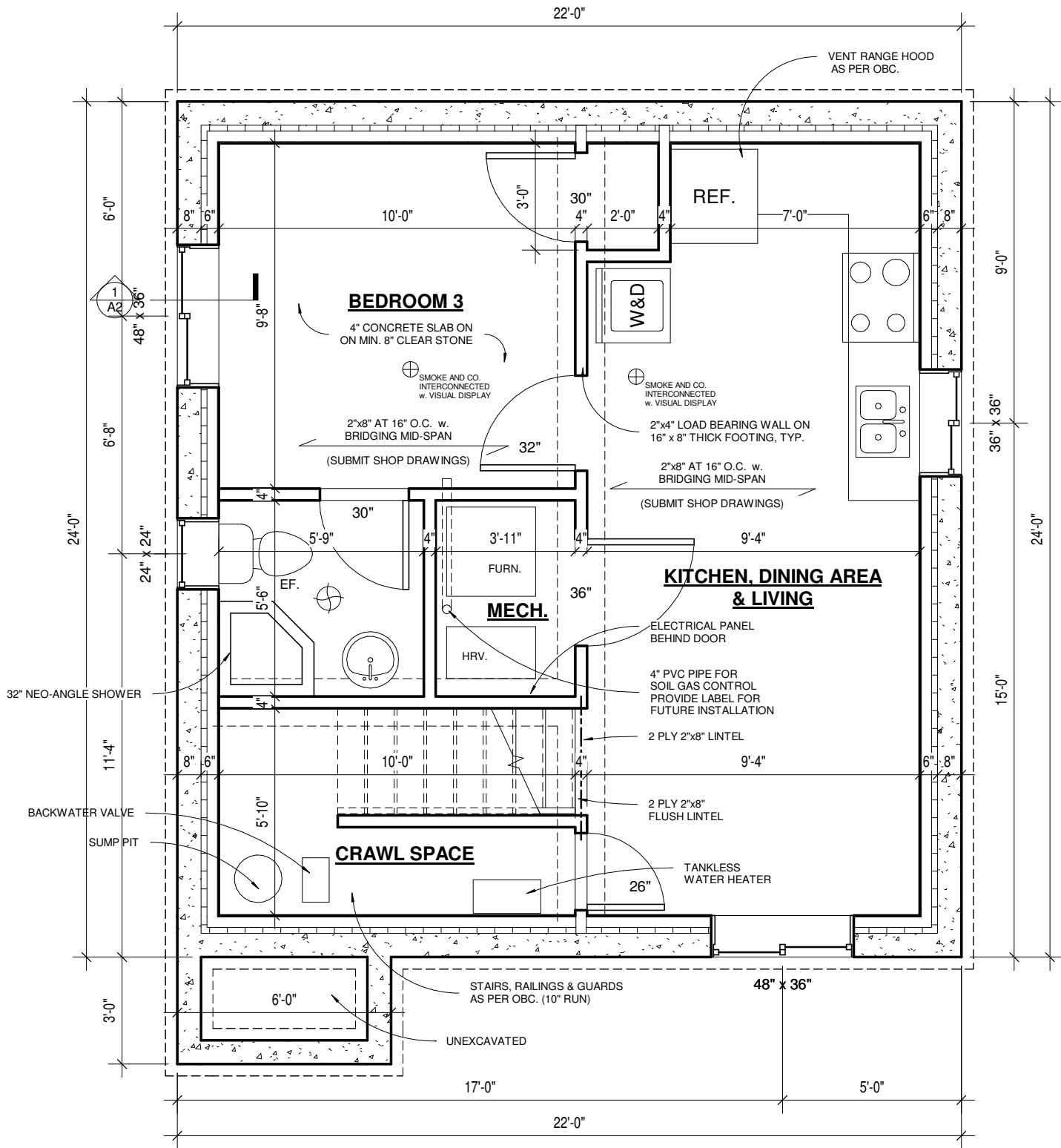
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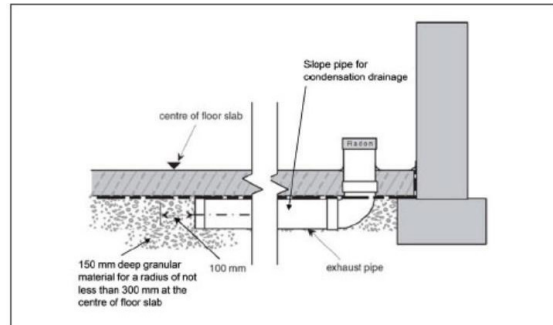


Justin Murer ADU

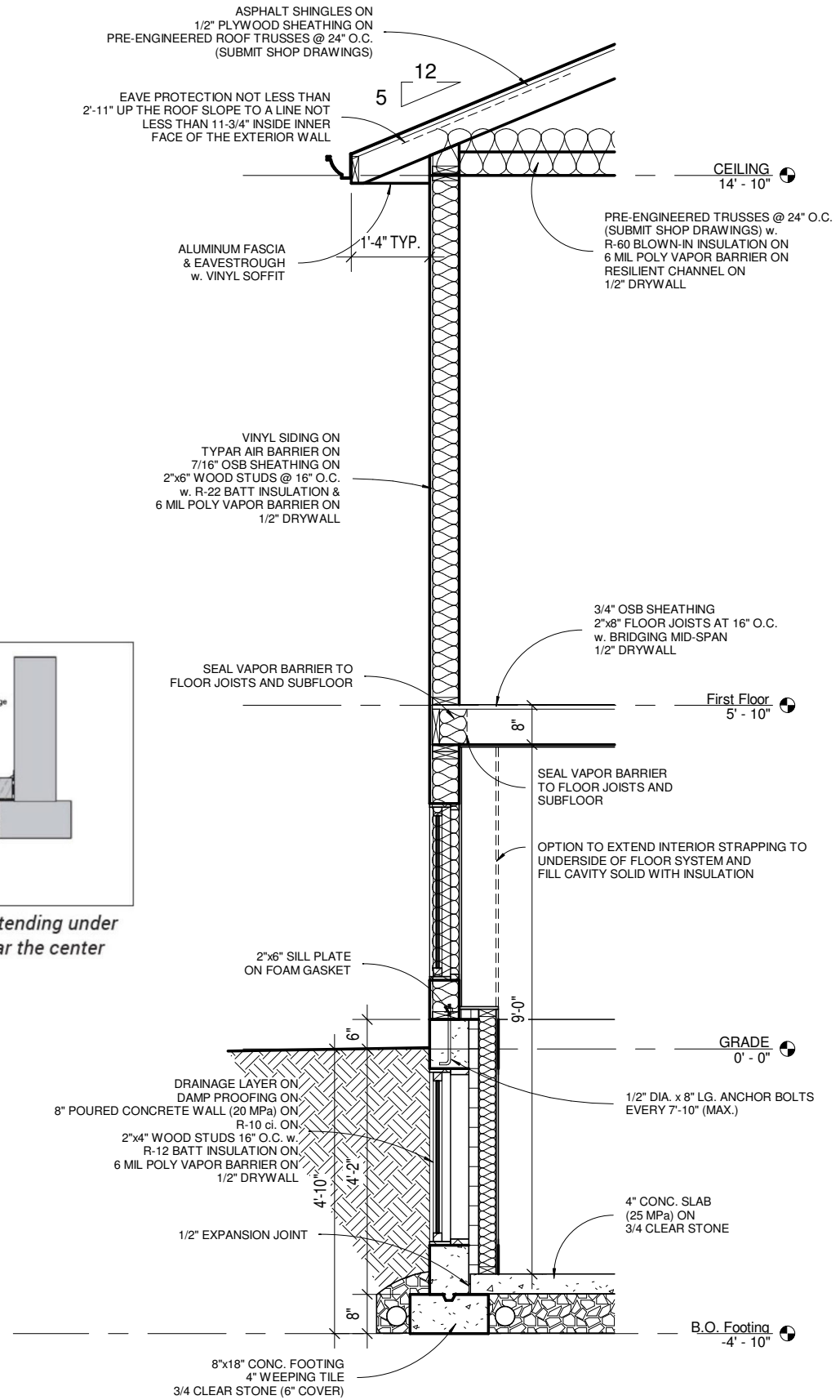
918 Randolph Ave
Windsor, On.



2 Foundation
1/4" = 1'-0"



Adjacent to an exterior wall and extending under the slab and terminating at or near the center



1 Typ. Section
3/8" = 1'-0"

Foundation and Typ. Section

Project number

26

Date

2026-08-18

Scale

As indicated

Date

Description

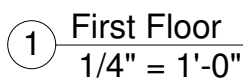
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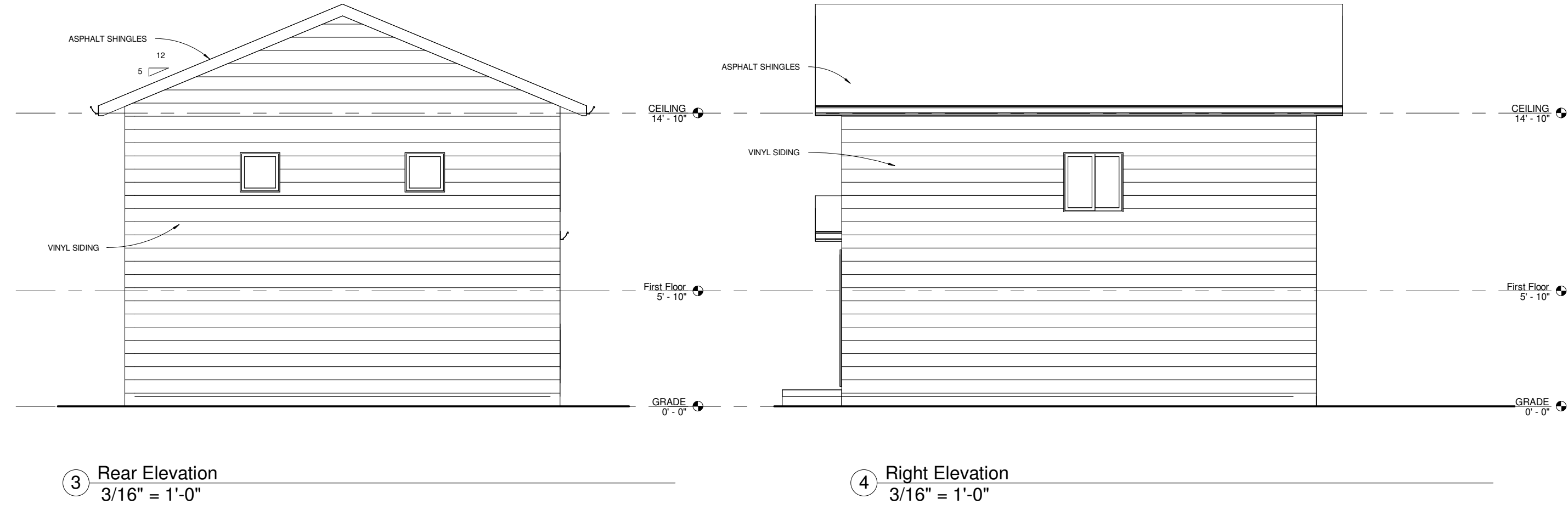
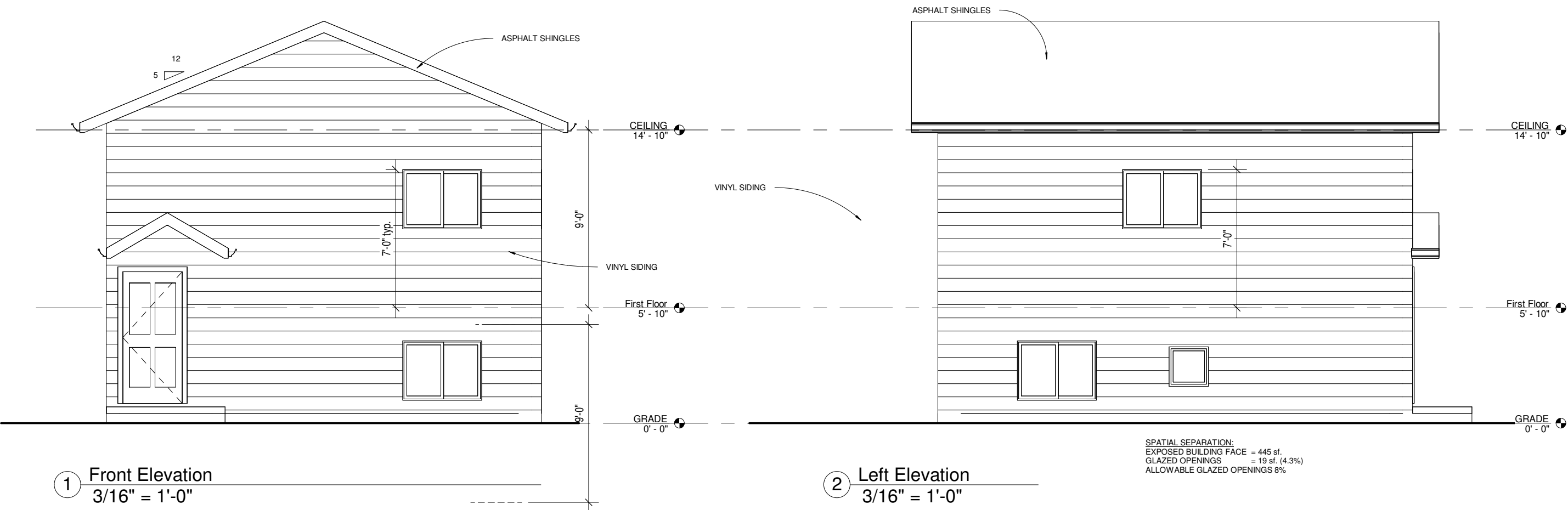
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SPECIFIED SNOW LOAD 1.5 kPa
MAXIMUM SUPPORTED JOIST OR RAFTER LENGTH 16'-0"
MAXIMUM SUPPORTED TRUSS LENGTH 32'-4"

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Elevations	A4	
	Project number	26
	Date	2026-08-18
Scale 3/16" = 1'-0"		

No.	Description	Date



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