

Notice of Public Hearing – Committee of Adjustment Application

File # A-078/26 - 7945 WYANDOTTE ST E

Date Mailed: September 23, 2026

Electronic hearing:

By videoconference on October 8, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on September 23, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 1112 PT LOTS 231 232;233 LOTS 234 TO 237 PT ALLEY;RP 12R7862 PT PART 1 PARTS;2 AND 4;

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Commercial	Commercial CD2.1

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: PETRO-CANADA INC SUNCOR ENERGY INC Applicant Name: ARG PETROLEUM WINDSOR INC		7945 WYANDOTTE ST E

PURPOSE OF APPLICATION

Minor Variance - Applicant seeking relief for the required number of stacking spaces and the required parking area separation from a street for the proposed redevelopment of a service station.

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-Law 8600	24.50.1.1.5	Required number of stacking spaces in advance of fuel pump island	12 spaces	10 spaces
Zoning By-Law 8600	25.5.20.1.2	Parking area separation from a street	3.00 m	0.39 m

Type of Consent Application Transaction: N/A

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

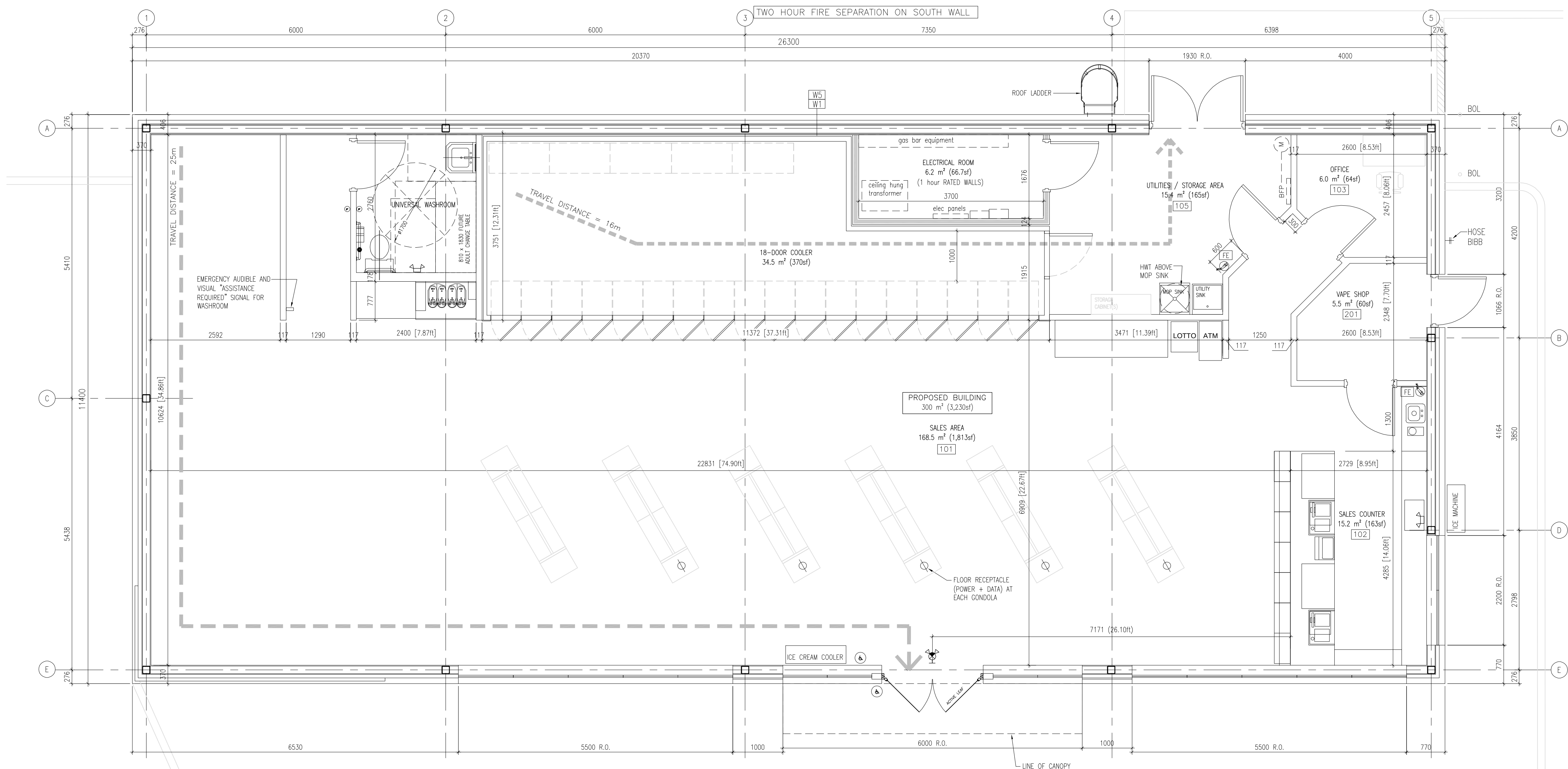
Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca



FLOOR PLAN

SCALE : 1:50

NOTES:

- EMERGENCY LIGHTING OF AISLES IN THE SALES AREA TO BE REVIEWED BY TOWN INSPECTOR AT TIME OF OCCUPANCY.
- MERCHANDISING LAYOUT AND ALL COMPONENTS (MILLWORK, FURNITURE, EQUIPMENT, ETC.) ARE BY OWNER AND INSTALLED BY GENERAL CONTRACTOR.
- GENERAL CONTRACTOR TO CONFIRM DIMENSIONS OF ALL ALCOVES FOR ABOVE MERCHANDISING WITH EQUIPMENT MANUFACTURER.

COOLER NOTES:

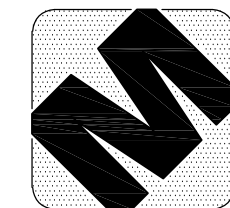
- GLUE 13mm MOISTURE RESISTANT GYPSUM BOARD TO FACE OF COOLER.
- COOLER FRAMES AND DOOR TO BE FITTED OVER GYPSUM BOARD.
- PROVIDE CONTINUOUS SEALANT BEAD AT JUNCTION OF ALL DISSIMILAR MATERIALS.
- MAINTAIN A MINIMUM OF 25mm AIRSPACE BETWEEN OUTSIDE FACE OF COOLER WALL AND BUILDING WALL INTERIOR FINISH.

WALL TYPES:

WALL TYPE W1	WALL TYPE W2	WALL TYPE W3 2-HOUR FIRE RATING	WALL TYPE W4 2-HOUR FIRE RATING	WALL TYPE W5
WALL TYPE W6	WALL TYPE W7	WALL TYPE W8	WALL TYPE W9 1-HOUR FIRE RATING	

FIRE ALARM LEGEND

- WALL / CLG. MOUNTED EXIT SIGN W/ BATTERY BACK UP EMERGENCY LIGHTS
 - WALL / CLG. MOUNTED EXIT SIGN W/ BATTERY BACK UP EMERGENCY LIGHTS & DIRECTIONAL ARROWS
 - WALL / CLG. MOUNTED EMERGENCY LIGHTS C/W BATTERY BACK UP
 - FIRE EXTINGUISHER
- * SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIFE SAFETY REQUIREMENTS

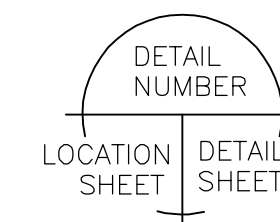


d.c. mcloskey engineering ltd.
200-545 wyandotte street east, windsor, ontario n9a 1m6 tel (519) 977 6800



general notes:

- THIS PRINT IS AN INSTRUMENT OF SERVICE ONLY AND IS THE PROPERTY OF THE ENGINEER.
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DATE (dd/mm/yy)	ISSUED FOR
25/04/08	STAGE 2 SPA
16/06/26	REVISED FOR SPA

PROJECT

COMMERCIAL DEVELOPMENT

7945 WYANDOTTE STREET EAST
WINDSOR, ONTARIO

CLIENT

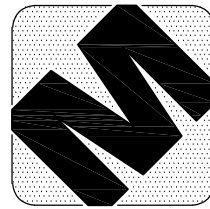
ARG PETROLEUM

DRAWING TITLE

FLOOR PLAN

DATE :	AUG 2025
SCALE :	AS NOTED
DRAWN BY :	JLD
CHECKED BY :	MEM
PROJECT FILE NO.	M25-231
DRAWING NO.	

A1.1

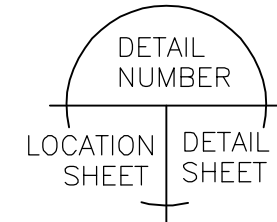


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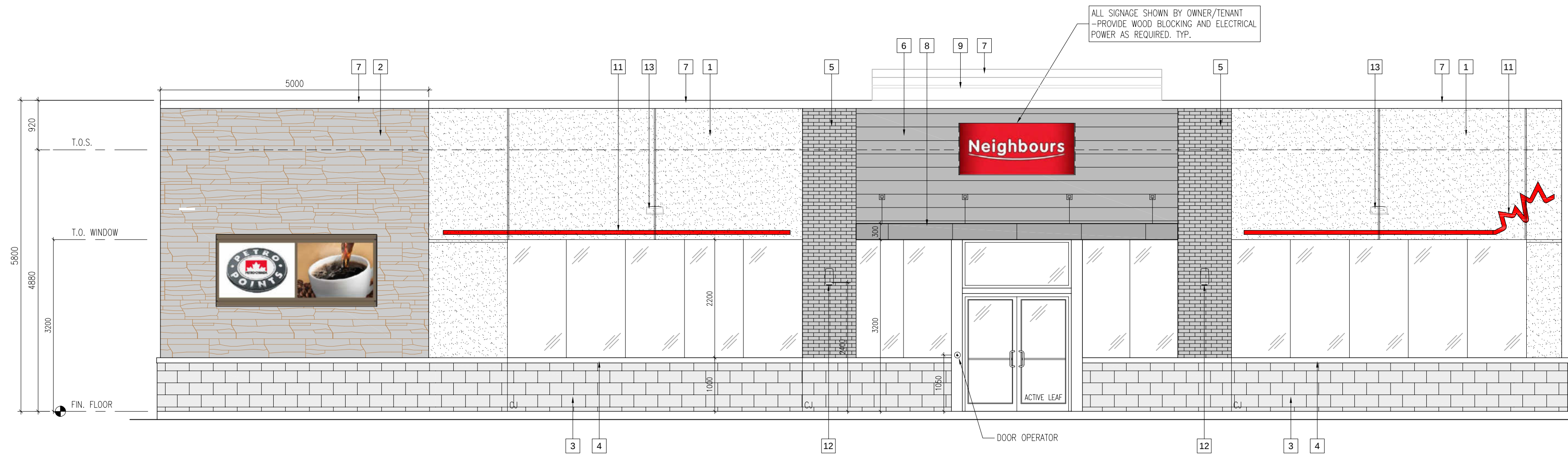
7945 WYANDOTTE STREET EAST
WINDSOR, ONTARIO

CLIENT
ARG PETROLEUM

DRAWING TITLE
BUILDING ELEVATIONS

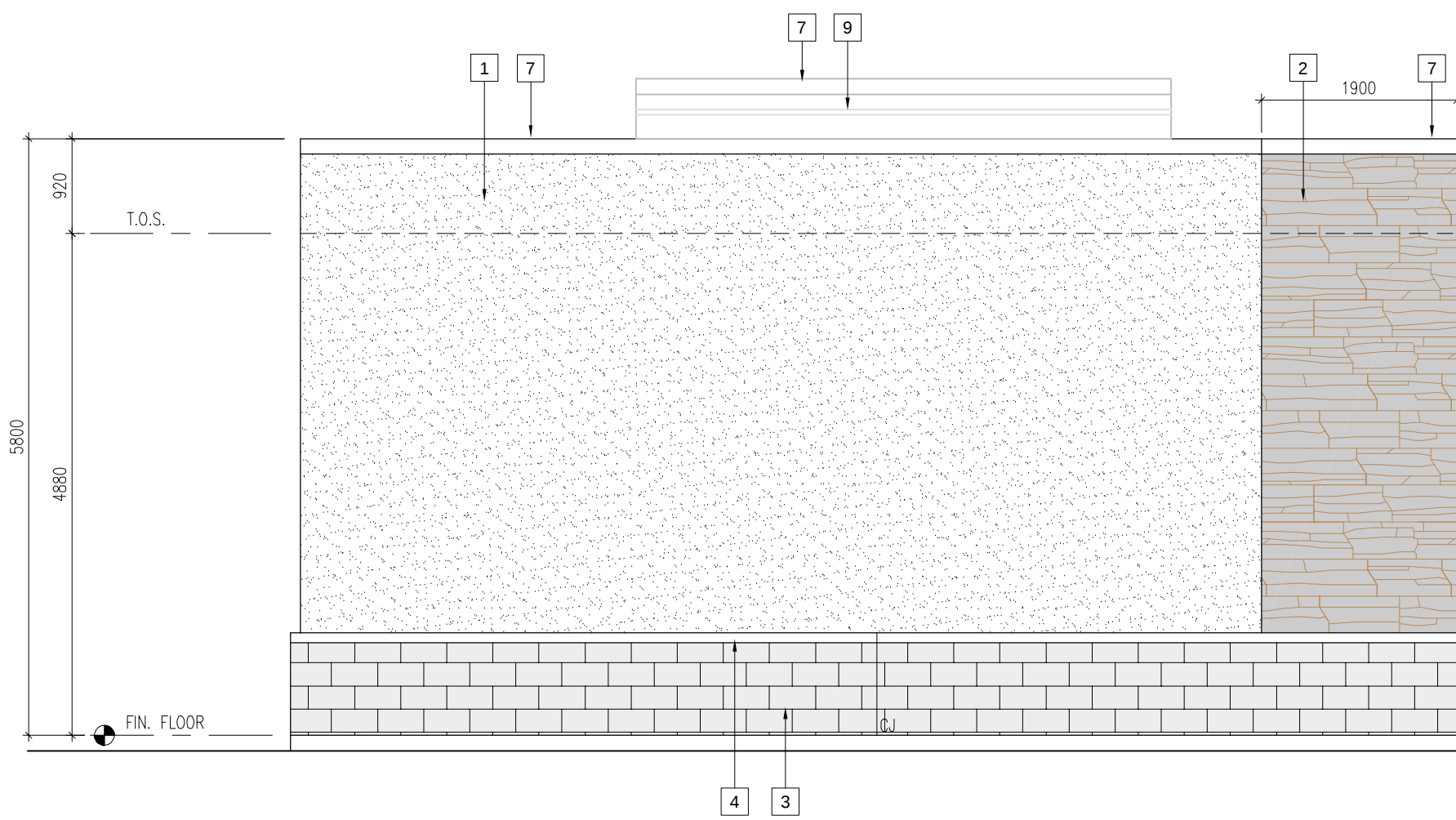
DATE : AUG 2025
SCALE : AS NOTED
DRAWN BY : JLD
CHECKED BY : MEM
PROJECT FILE NO. M25-231
DRAWING NO.

A3.1



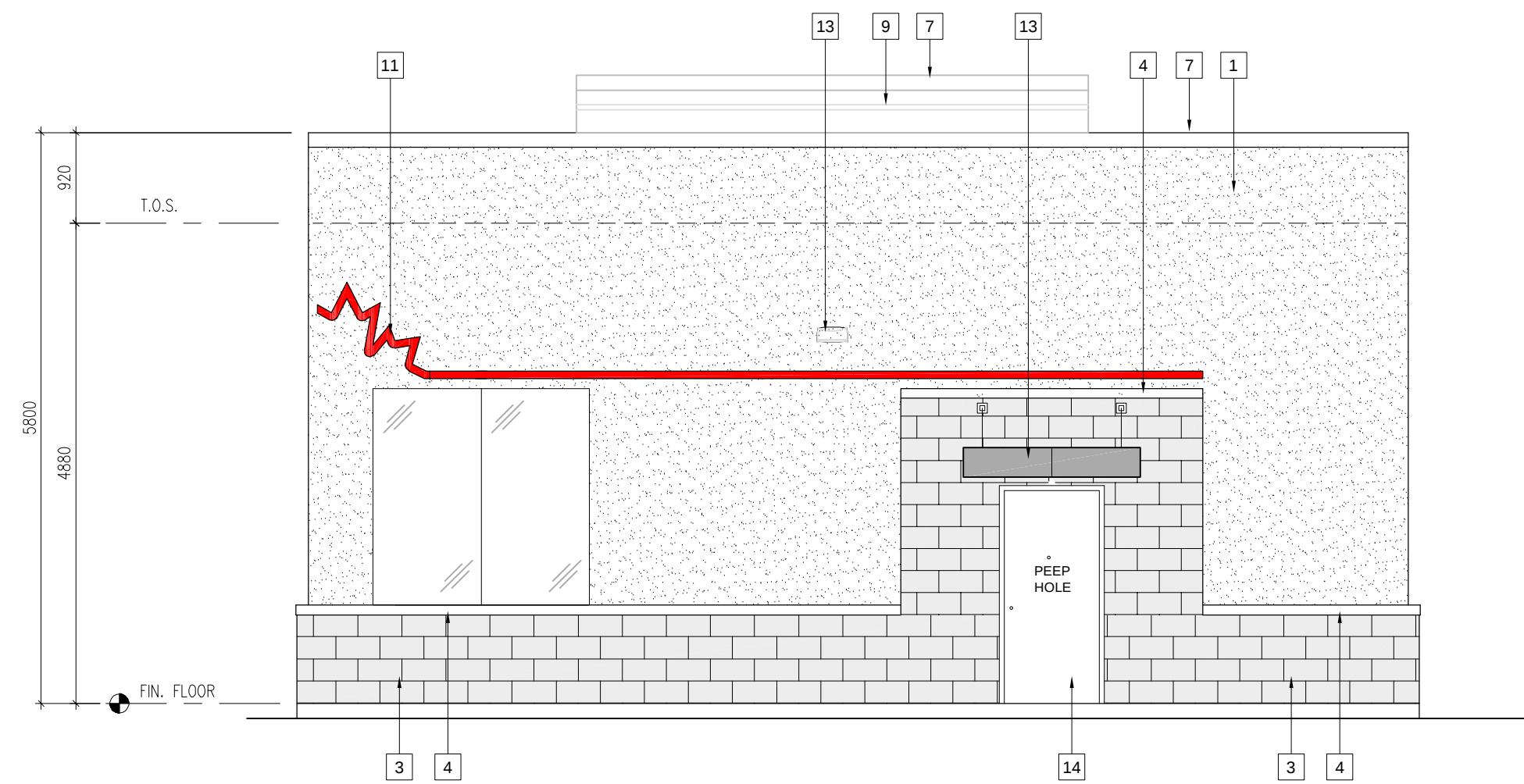
NORTH BUILDING ELEVATION

SCALE : 1:60



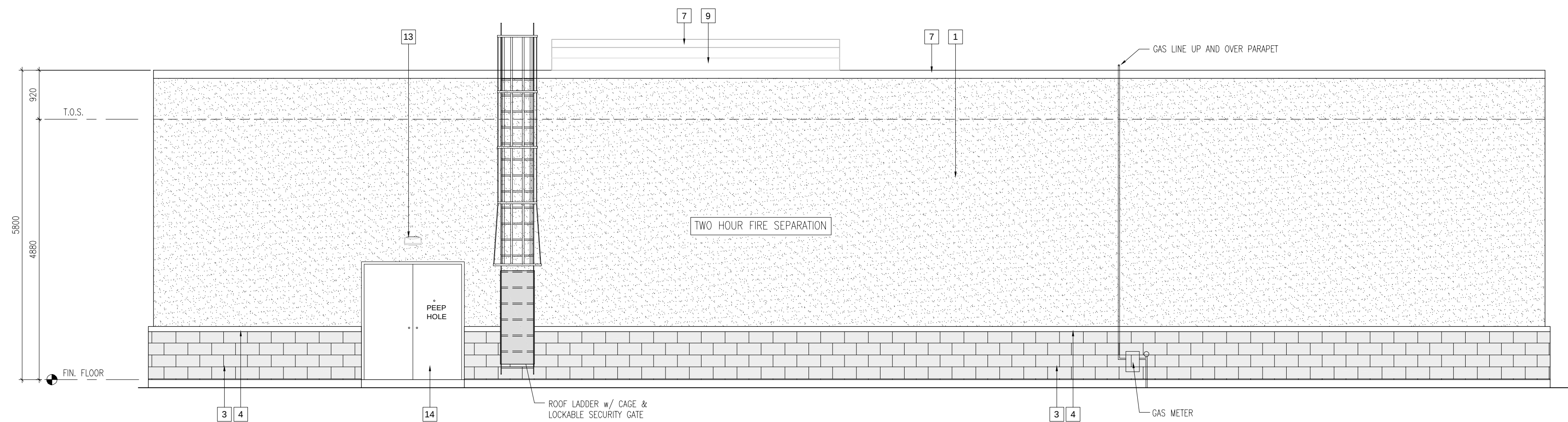
EAST BUILDING ELEVATION

SCALE : 1:60



WEST BUILDING ELEVATION

SCALE : 1:60

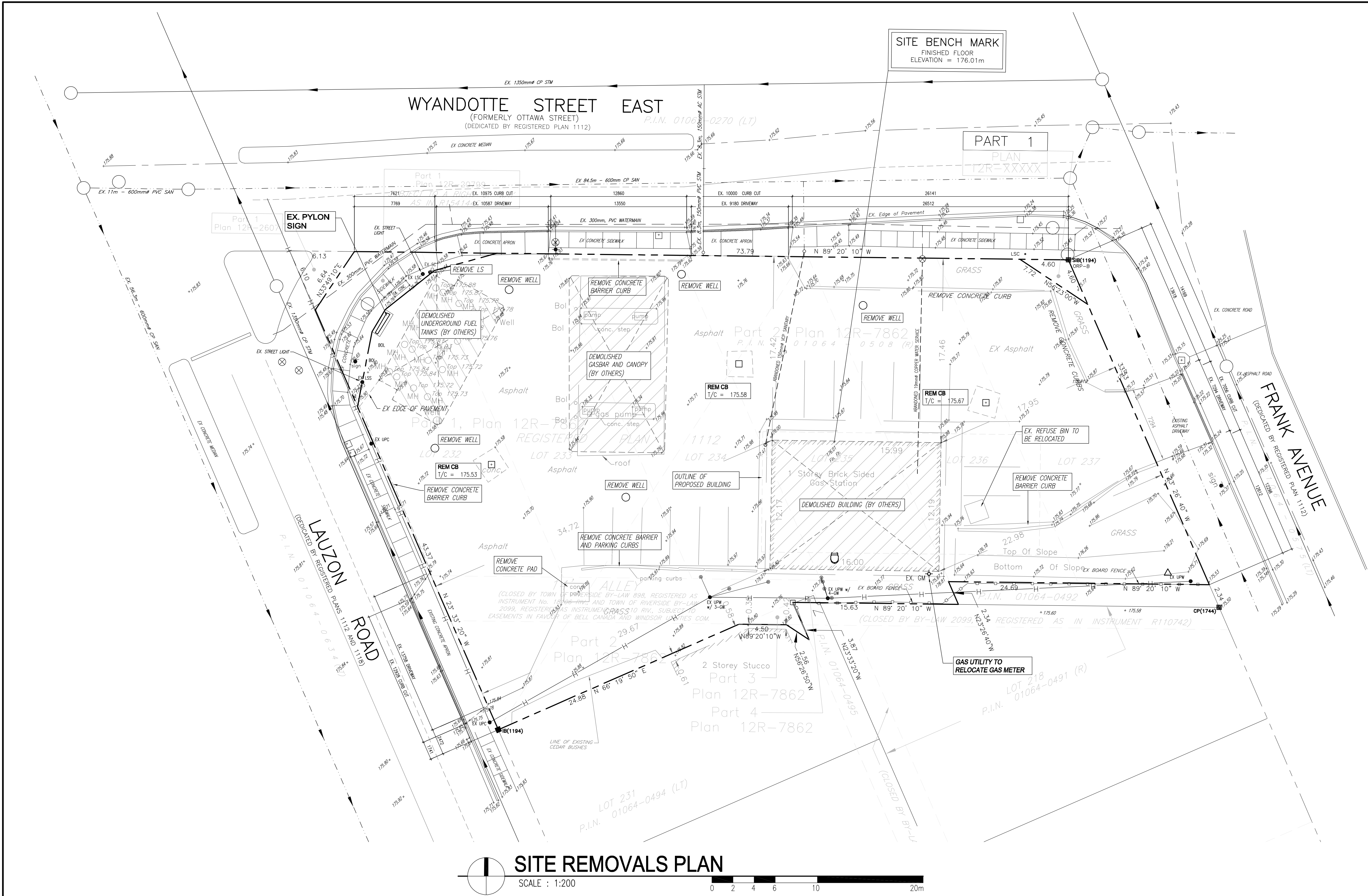


SOUTH BUILDING ELEVATION

SCALE : 1:60

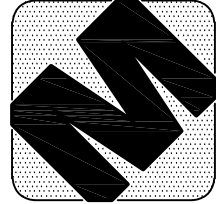
EXTERIOR FINISH NOTES		
TAG	PRODUCT	SPECIFICATIONS
1	E.I.F.S.	DRYVIT. CONSTRUCT 50x25 HORIZONTAL REVEALS AND 25x25 VERTICAL V-GROOVES AS SHOWN. COLOUR FROM STANDARD COLOUR CHART, SELECTED BY OWNER
2	CULTURED STONE	OWENS CORNING, ALPINE PRO-FIT LEDGESTONE, COLOUR PHEASANT 420117
3	BLOCK/STONE	RICHVALE DOVER GREY IN A CUT FACE, OR EQUIVALENT MANUFACTURER.
4	SILL	4" PROFILE, SPLIT FACE, STONE GREY
5	BRICK	SHOULDICE GALAXY IN A CUT FACE, OR EQUIVALENT MANUFACTURER.
6	MORTAR	ALL JOINTS ARE TO BE RAKED 6mm DEEP. ALL MORTAR TO MATCH COLOUR OF BLOCK / BRICK.
7	FIBRE CEMENT BOARD	PREFINISHED METAL FLASHING TO MATCH "CHARCOAL GREY" (MCD 44)
8	METAL FLASHING	FIRESTONE FLASHING AT STONE FEATURE : COLOUR: TO MATCH BENJAMIN MOORE HC-85 FAIRVIEW TAUPE AT MAIN PARAPETS : COLOUR: TO MATCH "CHARCOAL GREY" (MCD 44) AT FOUNDATION: COLOUR: BLACK ANODIZED AT WINDOWS: COLOUR: BLACK ANODIZED
9	PREFAB CANOPY	PREFINISHED METAL FLASHING TO MATCH "CHARCOAL GREY" (MCD 44) WITH BLACK TURNBUCKLES
10	RTU SCREENING	PREFINISHED METAL TO MATCH "CHARCOAL GREY" (MCD 44)
11	LADDER	PAINT SAFETY YELLOW
12	MAPLE LEAF BANDING	75mm ILLUMINATED MAPLE LEAF, RED 75mm CONTINUOUS NON-ILLUMINATED BANDING, RED
13	LIGHTING	DECORATIVE WALL LUMINAIRE, LED, BLACK FINISH.
14	LIGHTING	WALL PACK LIGHTING, LED, BLACK FINISH.
15	MISC. PAINT (DOORS)	TO MATCH "CHARCOAL GREY" (MCD 44)

NOTE:
1. ALL FINISHES AND COLOURS TO BE CONFIRMED BY OWNER, PRIOR TO ORDERING FINISH MATERIALS, THE CONTRACTOR SHALL SUBMIT TO THE OWNER AN ACTUAL SAMPLE OF THE MATERIAL SPECIFIED. FAILURE TO DO SO WILL RENDER THE CONTRACTOR RESPONSIBLE FOR ANY RESULTING CHANGES.



- SITE REMOVAL NOTES:**
- 1.1 REMOVAL OF
 - a) CONCRETE CURBS
 - b) MISC. PAVING
 - c) GRANULAR SUB-BASE AND SUB-GRADE TO SUIT NEW PAVEMENT DESIGN ELEVATIONS.
 - d) CATCHBASINS
 - 1.2 REMOVAL OF EXISTING BUILDING, GASBAR AND UNDERGROUND TANKS (INCLUDING FOUNDATIONS AND FOOTINGS) ARE BY OTHERS.
 - 1.3 ALL MATERIALS REMOVED FROM THIS SITE TO BE DISPOSED OF ACCORDING TO THE CURRENT MUNICIPAL AND PROVINCIAL BY-LAWS AND REGULATIONS.

- EROSION AND SEDIMENT CONTROL:**
- 2.1 SILT CONTROLS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS
 - 2.2 ALL SEDIMENT CONTROL DEVICES TO BE ROUTINELY INSPECTED AND MAINTAINED IN PROPER WORKING ORDER UNTIL AREA IS STABILIZED.
 - 2.3 IF NECESSARY, TRUCKS WILL BE WASHED DOWN BEFORE LEAVING THE SITE.
 - 2.4 THE SITE WILL BE WET DOWN IF NECESSARY TO CONTROL DUST.
 - 2.5 ALL CONSTRUCTION EQUIPMENT MUST BE PARKED ON-SITE.
 - 2.6 ALL CONSTRUCTION ACTIVITY WILL COMPLY WITH LOCAL NOISE BYLAWS.
 - 2.7 ALL CONSTRUCTION VEHICLES TO ENTER AND EXIT SITE FROM CONSTRUCTION ACCESS AS SHOWN.
 - 2.8 ALL TOPSOIL STOCKPILES TO BE SURROUNDED WITH SEDIMENT CONTROL FENCING.
 - 2.9 FILTER FABRIC TO BE PLACED UNDER GRATES ON ALL CATCHBASINS TO TRAP SEDIMENT. SILT TRAPS ARE TO BE CLEANED REGULARLY. FILTER FABRIC FOR SILT CONTROL TO BE TERRA FIX 270R OR APPROVED EQUIVALENT.



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200-5145 wyandotte street east, windsor, ontario n9a 1n6 tel (519) 917 6800



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DETAIL NUMBER	
LOCATION SHEET	DETAIL SHEET
DATE (dd/mm/yy)	ISSUED FOR
18/08/25	STAGE 1 SPC
03/02/26	MINOR VARIANCE
25/04/08	STAGE 2 SPA & M.V.
16/06/26	REVISED FOR SPA

PROJECT
COMMERCIAL DEVELOPMENT

7945 WYANDOTTE STREET EAST
WINDSOR, ONTARIO

CLIENT
ARG PETROLEUM

DRAWING TITLE
SITE REMOVALS PLAN

DATE :	AUG 2025
SCALE :	AS NOTED
DRAWN BY :	JLD
CHECKED BY :	MEM
PROJECT FILE NO.	M25-231
DRAWING NO.	

ELEVATIONS
ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES TO CANADIAN GEODETIC VERTICAL DATUM (1928)

BENCH MARK
BENCH MARK #315, ELEVATION 176.29
409 LAUZON ROAD; THE PLATE IS LOCATED ON THE NORTH WALL. 0.15m WEST OF THE EAST WALL AND 0.58m ABOVE GROUND

SITE BENCH MARK
AS SHOWN ON FACE OF PLAN

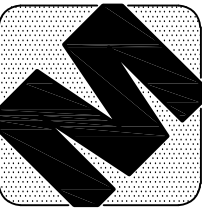
AREA
0.256 Hectares

INTEGRATION DATA

COORDINATES ARE DERIVED FROM GRID OBSERVATIONS USING THE CAN-NET NETWORK SERVICE AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE) NAD83 (CSRS) (2010.0).		
COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) O.REG 216/10		
POINT ID	NORTHING	EASTING
ORP-A	4688530.29	339912.07
ORP-B	4688615.27	339948.37
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.		
THE RESULTANT TIE BETWEEN ORP-A AND ORP-B IS N23°08'00"E, 92.41		

WYANDOTTE STREET EAST
(FORMERLY OTTAWA STREET)
(DEDICATED BY REGISTERED PLAN 1112)

LOTS 233 TO 237 (INCLUSIVE),
PART OF LOTS 231 AND 232,
PART OF ALLEY (CLOSED)
REGISTERED PLAN 1112
DESIGNATED AS PARTS 1, 2, 3 AND 4, PLAN 12R-7862
IN THE
CITY OF WINDSOR
COUNTY OF ESSEX

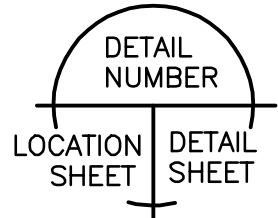


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03/02/26	MINOR VARIANCE
26/04/08	STAGE 2 SPA & M.V.
16/06/26	REVISED FOR SPA

PROJECT

COMMERCIAL
DEVELOPMENT

7945 WYANDOTTE STREET EAST
WINDSOR, ONTARIO

CLIENT

ARG PETROLEUM

DRAWING TITLE

SITE PLAN

DATE : AUG 2025

SCALE : AS NOTED

DRAWN BY : JLD

CHECKED BY : MEM

PROJECT FILE NO. M25-231

DRAWING NO.

C1.2

LAUZON ROAD
(DEDICATED BY REGISTERED PLANS 1112 AND 1118)

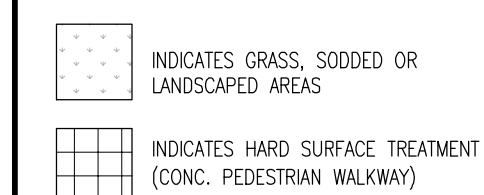
FRANK AVENUE
(DEDICATED BY REGISTERED PLAN 1112)

SITE PLAN
SCALE : 1:150

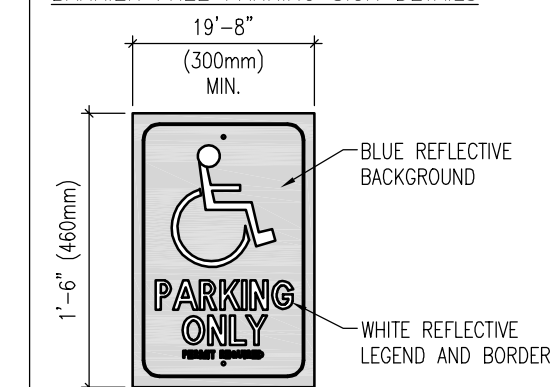
MINOR VARIANCE RELIEF REQUESTED FOR:

1. **REDUCED BUFFER (25.5.20.1)**
REQUIRED: 3m
PROVIDED: VARIES FROM 0.5m TO 3.0m ALONG LAUZON AND WYANDOTTE STREETS
2. **FUEL STACKING (24.50.1.1.5)**
REQUIRED: 1 IN ADVANCE / 1 AT TERMINUS
12 TOTAL
PROVIDED: 10 TOTAL

SURFACE TREATMENT LEGEND



BARRIER FREE PARKING SIGN DETAILS



-SIGN MOUNTING HEIGHT: 5'-0" (1.5m) MIN.
-SEE TOWN TRAFFIC AND PARKING BY-LAW AND/OR SITE PLAN CONTROL BY-LAW FOR ADDITIONAL DETAILS.

SITE STATISTICS:

ZONING	CO2.1 COMMERCIAL DISTRICT		
BUILDING CLASSIFICATION	GROUP "E"		
15.1.5 ZONE REGULATIONS			
	REQUIRED:	PROVIDED:	
MAX. BUILDING HEIGHT	14.0m	<8m	
MAX. GROSS FLOOR AREA	550 m ²	300 m ²	
PARKING AREA SEPARATION (25.5.20.1)	3.0m	0.8m	
SITE DATA			
SITE AREA	2,480 m ²		
BUILDING AREAS			
EXISTING BUILDING TO BE DEMOLISHED	~195 m ²		
PROPOSED BUILDING - CONVENIENCE STORE	300 m ²		
TOTAL BUILDING AREA	300 m ² (12.1%)		
OTHER STRUCTURE DATA			
GAS BAR CANOPY	170 m ²		
PARKING/PAVED AREA	1,602 m ² (64.6%)		
LANDSCAPED/OPEN SPACE	578 m ² (23.3%)		
LINEAR CURBING	= 202 m		
24.20.5 PARKING REQUIREMENTS			
	REQUIRED:	PROVIDED:	
PARKING SPACES REQUIRED : (MIN. 2.50m x 5.5m)			
FOR CONVENIENCE STORE:			
1 PER 22.5m ² OF GFA (300m ²)		14	
STANDARD SPACES		0	
PARALLEL PARKING SPACE			
BARRIER FREE SPACES			
TOTAL PARKING REQUIRED	14 SPACES	15 SPACES	
24.24.1 BARRIER FREE PARKING REQUIRED : (3.5m x 5.5m)			
FOR 1 TO 25 SPACES	1 TYPE A	1 TYPE A	
24.50.1.1.5 FUEL STACKING REQUIRED : (3.5m x 5.5m)			
1 IN ADVANCE / 1 AT TERMINUS	12 SPACES	10 SPACES	
24.30.1 BICYCLE SPACES : (0.6m x 2.5)			
FOR 10 TO 19 PARKING SPACES	2 SPACES	2 SPACES	
24.40.1 LOADING SPACES : (3.0m x 7.5m x 3.5m HIGH)			
FOR 275m ² TO 2,500m ² BUILDING AREA	1 SPACE	1 SPACE	



The Corporation of the City of Windsor
Transportation Planning
1266 McDougall Street
Windsor, ON N8X 3M7

16 June 2026
Project No. M25-231

Attention: Aashvi Sarvaiya,
Development Review Technician

**Re: Gas Bar Stacking Space Assessment,
7945 Wyandotte Street East, Windsor, Ontario**

The former gas bar operated successfully at this location for over 50 years without providing stacking spaces that would meet current design standards. Under today's criteria, any meaningful queuing at the previous facility would have extended into both Wyandotte Street driveways and obstructed internal aisles. Despite these constraints, no documented operational issues related to queuing or circulation were reported during its long period of operation.

The proposed redevelopment significantly improves on-site circulation and vehicle accommodation compared to the existing gas bar development.

Figure 1 shows the current and proposed site plans and Table 1 identifies the required and provided stacking spaces for each site plan.

Table 1:

	Fuel Spaces	Stacking Required	Stacking Provided
Existing Development	8	16	3
Proposed Development	6	12	10

The design provides stacking spaces both in advance of and at the terminus of four of the six fueling positions, along with one stacking space at each end pump for a total of ten (10). A continuous 6.0 m clear travel path is also maintained throughout the site to support safe and efficient vehicle movement.



The proposed 300 m² building is classified as Group 9 with a maximum occupant load of nine persons. Although the public retail area is limited to 168.5 m², parking was calculated based on total area of building generating a parking requirement of 14 spaces, all of which are provided on-site. Given the low occupant load, modest retail area, and surplus parking supply, the site can readily accommodate any temporary vehicle queuing if required.

Considering the site's long history of successful operation, the improved circulation layout, the dedicated fuel stacking provisions, and the availability of excess parking that can absorb temporary queuing, we submit that a stacking space study would offer limited additional value. We therefore respectfully request the stacking space assessment requirement be removed as a condition of the site plan approval.

We trust the above is satisfactory. Please contact our office if you have any questions regarding the above.

Yours truly,

D.C. McCLOSKEY ENGINEERING LTD.

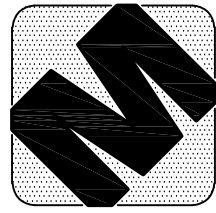

Mark E. McCloskey, P. Eng.



MEM/amk

CC: Amarjit Singh – ARG Petroleum

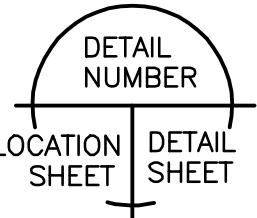
Attachments: Figure 1 – Stacking Space Justification



d.c. mccloskey engineering ltd.
200-5145 wyandotte street east, windsor, ontario n9a 1m6 tel (519) 917 6800

general notes:

1. THIS PRINT IS AN INSTRUMENT OF SERVICE ONLY AND IS THE PROPERTY OF THE ENGINEER.
2. DRAWINGS SHALL NOT BE SCALED.
3. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.
4. ATTENTION IS DIRECTED TO PROVISIONS IN THE GENERAL CONDITIONS REGARDING CONTRACTOR'S RESPONSIBILITIES IN REGARDS TO SUBMISSION OF SHOP DRAWINGS.
5. IN THE EVENT THE DESIGNER IS RETAINED TO REVIEW SHOP DRAWINGS, SUCH REVIEW IS ONLY TO CHECK FOR CONFORMANCE WITH DESIGN CONCEPT AND WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS.
6. CONTRACTORS SHALL PROMPTLY NOTIFY THE DESIGNER IN WRITING OF THE EXISTENCE OF ANY OBSERVED VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND ANY APPLICABLE CODES OR BY-LAWS.
7. THE DESIGNER IS NOT RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS AND OR TECHNIQUES IN THE CONSTRUCTION OF THIS FACILITY.



DATE (dd/mm/yy) ISSUED FOR

PROJECT

COMMERCIAL DEVELOPMENT

7945 WYANDOTTE STREET EAST
WINDSOR, ONTARIO

CLIENT

ARG PETROLEUM

DRAWING TITLE

STACKING SPACE JUSTIFICATION

DATE : AUG 2025

SCALE : AS NOTED

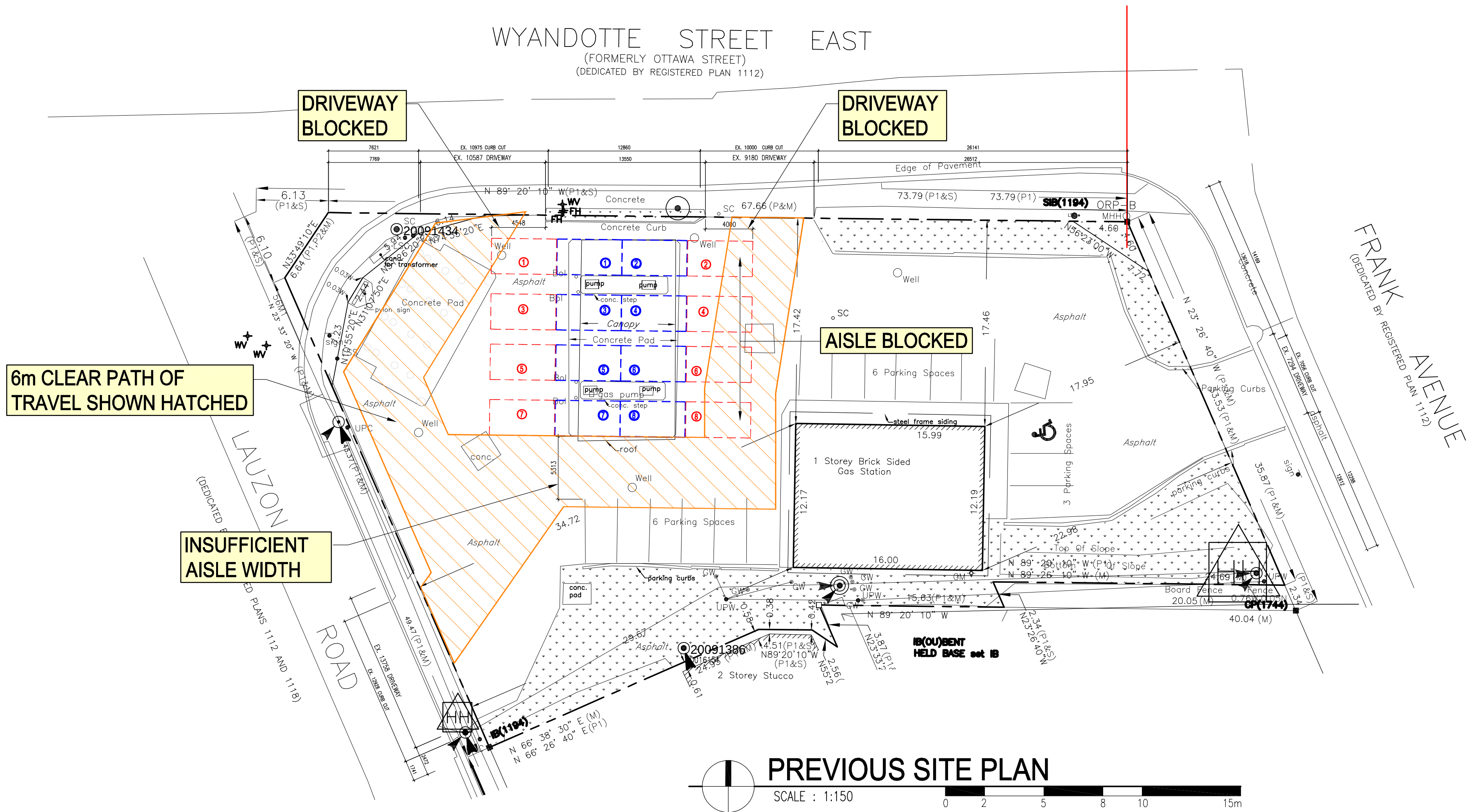
DRAWN BY : JLD

CHECKED BY : MEM

PROJECT FILE NO. M25-231

DRAWING NO.

FIG.1



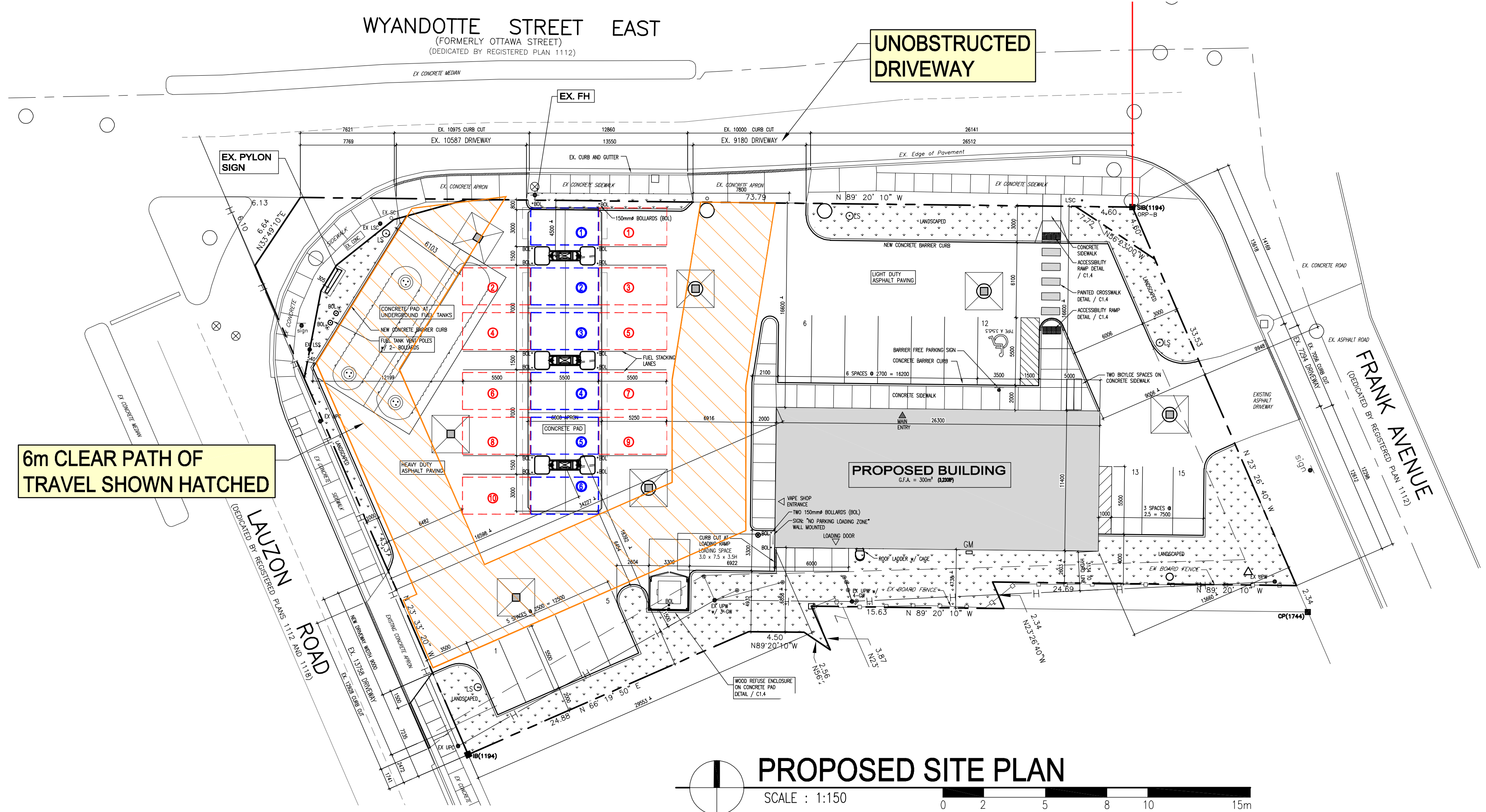
PREVIOUS FUEL STACKING :

8 FUELLING SPACES

1 IN ADVANCE / 1 AT TERMINUS
REQUIRED: 16 SPACES
PROVIDED: 8 SPACES

SITE STATISTICS :

BUILDING AREAS		
EXISTING BUILDING (DEMOLISHED)	195 m ²	
PARKING SPACES :		
REQUIRED:	16 SPACES	
PROVIDED:	8 SPACES	
TOTAL PARKING		
REQUIRED:	16 SPACES	
PROVIDED:	8 SPACES	



PROPOSED FUEL STACKING :

6 FUELLING SPACES

1 IN ADVANCE / 1 AT TERMINUS
REQUIRED: 12 SPACES
PROVIDED: 10 SPACES

SITE STATISTICS :

ZONING		
BUILDING CLASSIFICATION	CD2.1 COMMERCIAL DISTRICT	
GROUP 'E'		
15.1.5 ZONE REGULATIONS		
MAX. BUILDING HEIGHT	REQUIRED: < 8m	PROVIDED: < 8m
MAX. GROSS FLOOR AREA	REQUIRED: 550 m ²	PROVIDED: 300 m ²
PARKING AREA SEPARATION (25.5.20.1)	REQUIRED: 3.0m	PROVIDED: 0.8m
SITE DATA		
SITE AREA	2,480 m ²	
BUILDING AREAS		
EXISTING BUILDING TO BE DEMOLISHED	195 m ²	
PROPOSED BUILDING - CONVENIENCE STORE	300 m ²	
TOTAL BUILDING AREA	300 m ² (12.1%)	
OTHER STRUCTURE DATA		
GAS BAR CANOPY	170 m ²	
PARKING/PAVED AREA		
LANDSCAPED/OPEN SPACE	1,602 m ² (64.6%)	
LINEAR CURBING	578 m ² (23.3%)	
LINEAR CURBING	= 202 m	
24.20.5 PARKING REQUIREMENTS		
PARKING SPACES REQUIRED : (MIN. 2.50m x 5.5m)	REQUIRED:	PROVIDED:
FOR CONVENIENCE STORE:		
1 PER 22.5m ² OF GFA (300m ²)	14	0
STANDARD SPACES		
PARALLEL PARKING SPACE	0	1
BARRIER FREE SPACE		
TOTAL PARKING REQUIRED	14 SPACES	15 SPACES
24.24.1 BARRIER FREE PARKING REQUIRED : (3.5m x 5.5m)		
FOR 1 TO 25 SPACES	1 TYPE A	1 TYPE A
24.50.1.1.5 FUEL STACKING REQUIRED : (3.5m x 5.5m)		
1 IN ADVANCE / 1 AT TERMINUS	12 SPACES	10 SPACES
24.30.1 BICYCLE SPACES : (0.6m x 2.5)		
FOR 10 TO 19 PARKING SPACES	2 SPACES	2 SPACES
24.40.1 LOADING SPACES : (3.0m x 7.5m x 3.5m HIGH)		
FOR 275m ² TO 2,500m ² BUILDING AREA	1 SPACE	1 SPACE