

Notice of Public Hearing – Committee of Adjustment Application

File # A-078/25

Date Mailed: September 3 2025

Electronic hearing:

By videoconference on September 18, 2025 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on September 3, 2025. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 1526; LOT 41 & W PT LOT 42

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential RD1.6

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: EDWIN ANTON COPE Applicant Name: Edwin Cope		4347 RIVERSIDE DR E

PURPOSE OF APPLICATION

Minor Variance - Request for relief from the minimum front yard depth requirement for a single unit dwelling

By-Law	Provision	Provision Description	Requirement	Existing	Proposed
8600	Minimum Front Yard Depth	10.6.5.5	9.0 m or the average front yard depth of the main building located on the abutting lots, whichever is greater	14.0 m	10.6 m

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAAdjustment@citywindsor.ca

SITE PLAN NOTES	
1.	THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, APPROVALS AND DEVELOPMENTAL SITE CONDITIONS, AND LOT RESTRICTIONS.
2.	THIS PLAN IS NOT A LEGAL SURVEY. ALL DIMENSIONS SHOULD BE VERIFIED BY AN O.L.S. THIS SITE PLAN IS PROVIDED AS A GUIDE TO LOCATE THE BUILDING.

SITE PLAN LEGEND

	SETBACKS		Proposed Build To be removed
	PROPERTY LINES		

SITE INFORMATION TAKEN FROM mappymcity.ca. ANY DISCREPANCIES HERE AFTER ARE RESPONSIBILITY OF OWNER

INDEX OF DRAWINGS	
A001	SITE PLAN & NOTES
A002	SECTIONS
A011	FOUNDATION AND MAIN FLOOR PLAN
A012	UPPER AND ROOF PLAN
A021	ELEVATIONS
A022	ELEVATIONS

4347 RIVERSIDE DR. E. WINDSOR, ON	SITE INFO	
	ADDRESS	
	LOT NUMBER	LOT AREA
	PART LOTS 41 & 42 ZONING RD1.6	12226 SF ALLOWABLE COVERAGE 5591.7 SF (45%) PROPOSED COVERAGE 2421 SF (19.5%)

LOT COVERAGE	
EXISTING HOUSE	816± SF
EXISTING SHED	293 SF
PROPOSED ADDITION (FRONT)	84 SF
PROPOSED FRONT PORCH	165 SF
PROPOSED GARAGE/STORAGE ADDITION	542 SF
PROPOSED ADDITION (REAR)	482 SF
PROPOSED SIDE PORCH	39 SF
TOTAL LOT COVERAGE	2421 SF

BUILDING AREAS	
MAIN FLOOR	1245 SF
UPPER FLOOR	1381 SF
GARAGE	542 SF
FRONT PORCH	165 SF
SIDE PORCH	39 SF
REAR STORAGE	139 SF

ENERGY EFFICIENCY		Compliance Package	3.1.1.11
SUPPLEMENTARY STANDARD SB-12 TABLE 3.1.1.11 (IP) - ZONE 1			
THERMAL INSULATION			
CEILING WITH ATTIC SPACE		R60	
CEILING WITHOUT ATTIC SPACE		R31	
EXPOSED FLOOR		R31	
WALLS ABOVE GRADE		R19 + 5 ci	
BASEMENT WALLS		R10ci + R12	
SLAB (ALL >60mm BELOW GRADE)		R10	
SLAB EDGE ONLY <= 600mm BELOW GRADE		R10	
SLAB (ALL ONLY <= 600mm BELOW GRADE OR HEATED)		R10	
WINDOWS & DOORS	U value or ER rating		
WINDOWS AND SLIDING GLASS DOORS (Maximum U Value)		.28	
NUMBER OF SHOWERS		2	

SITE PLAN LEGEND

	SETBACKS
	PROPERTY LINES
	Proposed Build
	Exist. to remain



4347 RIVERSIDE E.

1 PROPOSED SITE PLANS
A00.1 SCALE 3/32" = 1'-0"
Existing

late.	issued for.
24JAN2025	ISSUED FOR BUILDING PERMIT
sheet no.	CHANGES as per Windsor Building Control
A00.1	Site Mod's as per Windsor Building Control

date.	rev.	client/project.
18FEB2025	0	COPE RESIDENCE
18MAR2025	2	4347 RIVERSIDE DR E
18AUG2025	5	WINDSOR, ON

drawing

SITE PLAN AND NOTES

comments	
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LINTEL SCHEDULE (INTERIOR)						
LINTEL SIZE	MAX SPAN					
	ROOF + CEILING	ROOF + CEILING AND 1 STOREY	ROOF + CEILING AND 2 STOREY	ROOF + CEILING AND 3 STOREY	ROOF + CEILING AND 4 STOREY	ROOF + CEILING AND 5 STOREY
2-2"x4"	3'-0"	①	2'-5"	⑥	2'-0"	⑬
2-2"x6"	4'-0"	②	3'-3"	⑦	2'-10"	⑭
2-2"x8"	5'-4"	③	3'-11"	⑧	3'-5"	⑮
2-2"x10"	6'-7"	④	4'-9"	⑨	4'-2"	⑯
2-2"x12"	7'-7"	⑤	5'-5"	⑩	4'-9"	⑰

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS OR ELEVATIONS

STUD LENGTH	SUPPORTING 9.54' OF ROOF	SUPPORTING 19.55' OF ROOF
12.46'	2"x6" at 16"	2"x6" at 16"
13.77'	2"x6" at 12"	2"x6" at 12"
15.09'	2-2"x6" at 16"	2-2"x6" at 16"
16.4'	2-2"x6" at 16"	2-2"x6" at 16"
17.39'	2-2"x6" at 12"	2-2"x6" at 12"
18.37'	2-2"x6" at 12"	2-2"x6" at 12"

ASSUMES 0.6 kPa HOURLY WIND PRESSURE AND 1.0 kPa SNOW LOAD,
BASED ON A-30 & A-31 O.B.C.

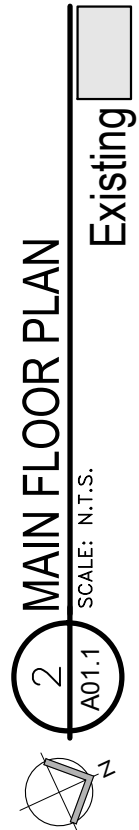
STUD LENGTH	SUPPORTING 9.5" OF ROOF	SUPPORTING 19.5" OF ROOF
12.46"	2x6" at 16"	2x6" at 16"
13.77"	2x6" at 12"	2x6" at 12"
15.09"	2-2x6" at 16"	2-2x6" at 16"
16.41"	2-2x6" at 16"	2-2x6" at 16"
17.39"	2-2x6" at 12"	2-2x6" at 12"
18.37"	2-2x6" at 12"	2-2x6" at 12"

ASSUMES 6.0 KPA HOURLY WIND PRESSURE AND 1.0 KPA SNOW LOAD, BASED ON A-30 & A-31 D.B.C.

STEEL LINTEL SCHEDULE	
FOR STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK STONE (NO FLOOR LOAD)	
MAX CLEAR SPAN	LINTEL SIZE
0'-0" OR LESS	3" x 3½" x ½"
0'-0" OR LESS	4" x 3½" x ½"
0'-0" OR LESS	5" x 3½" x ½"
0'-0" OR LESS	6" x 3½" x ½"
0'-0" OR LESS	6" x 3½" x ½"

NOTE THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE WALL OR ELEVATIONS

LEGEND	
P. STL	3 1/2" x 3 1/2" HSS STEEL POST
P.	SUPPORT REQUIRED (3) 2x6 OR (4) 2x4
☒	GRAB BAR SUPPORT REQ'D
F.	EXHAUST FAN w/ NON-COMBUSTABLE DUCTWORK



Cantilever w/R31 Insul.

date.
24JAN2025
sheet no.
A01.1

issued for.	date.	rev.	client/project.
ISSUED FOR BUILDING PERMIT	18FEB2025	0	COPE RESIDENCE 4347 RIVERSIDE DR E WINDSOR, ON
CHANGES as per Windsor Building Control	18MAR2025	2	
Site Mod'd as per Windsor Building Control	18AUG2025	5	

drawing

FOUNDATION AND MAIN FLOOR PLANS

comments



LINTEL SCHEDULE (EXTERIOR)						
LINTEL SIZE	MAX. SPAN					
	ROOF + CEILING	ROOF + CEILING AND 1 STOREY	ROOF + CEILING AND 2 STOREY	ROOF + CEILING AND 3 STOREY	ROOF + CEILING AND 4 STOREY	ROOF + CEILING AND 5 STOREY
2'-2"x4"	4'-1"	(A)	3'-5"	(F)	3'-0"	(L)
2'-2"x6"	6'-4"	(B)	4'-10"	(G)	4'-6"	(M)
2'-2"x8"	7'-8"	(C)	5'-11"	(H)	5'-4"	(N)
2'-2"x10"	9'-5"	(D)	7'-3"	(I)	6'-6"	(O)
2'-2"x12"	10'-11"	(E)	8'-5"	(J)	7'-6"	(P)

NOTE THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS OR ELEVATIONS

LINTEL SCHEDULE (INTERIOR)						
	MAX. SPAN					
LINTEL SIZE	ROOF = CEILING		ROOF = CEILING AND 1 STOREY		ROOF = CEILING AND 2 STOREY	
2-2"x4"	3'-0"	(1)	2'-5"	(7)	2'-1"	(3)
2-2"x6"	4'-5"	(2)	3'-3"	(8)	2'-10"	(4)
2-2"x8"	5'-4"	(3)	3'-11"	(9)	3'-5"	(5)
2-2"x10"	6'-7"	(4)	4'-9"	(10)	4'-2"	(6)
2-2"x12"	7'-7"	(5)	5'-5"	(11)	4'-9"	(7)

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS OR ELEVATIONS

STUD LENGTH	SUPPORTING 9.54' OF ROOF	SUPPORTING 19.05' OF ROOF
12.46"	2x6 ^s at 12"	2x6 ^s at 16"
13.77"	2x6 ^s at 12"	2x6 ^s at 12"
15.09"	2-2x6 ^s at 16"	2-2x6 ^s at 16"
16.4"	2-2x6 ^s at 16"	2-2x6 ^s at 16"
17.39"	2-2x6 ^s at 12"	2-2x6 ^s at 12"
18.37"	2-2x6 ^s at 12"	2-2x6 ^s at 12"

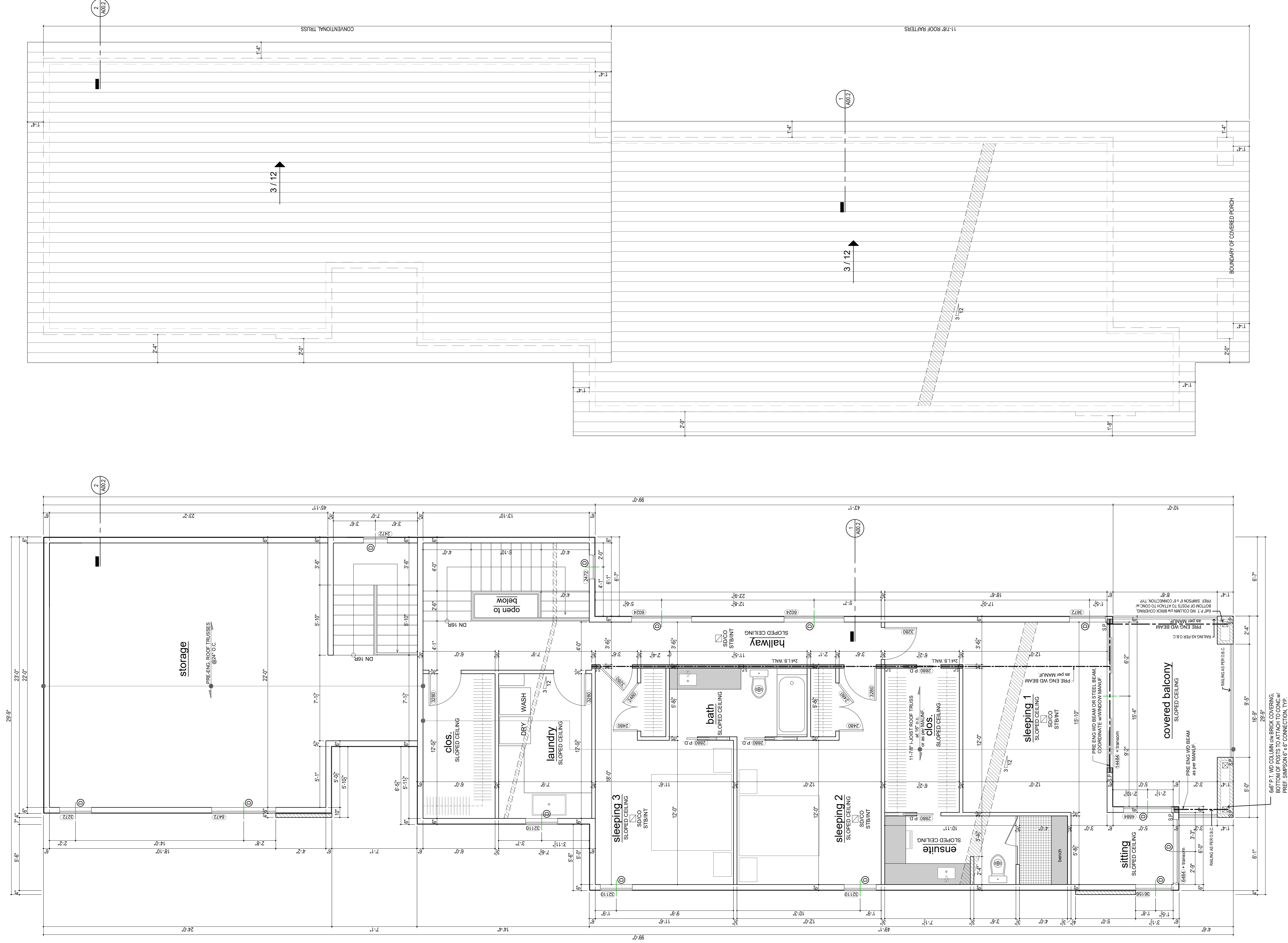
ASSUMES 0.5 KPa HOURLY WIND PRESSURE AND 1.0 KPa SNOW LOAD
BASED ON A-S0 & A-S1 O.B.C.

EXTERIOR WALL STUDS w/SIDING		
STUD LENGTH	SUPPORTING 9.5# OF ROOF	SUPPORTING 19.5# OF ROOF
12.46"	2x6" @ 16"	2x6" @ 16"
13.77"	2x6" @ 12"	2x6" @ 12"
15.09"	2-2x6" @ 16"	2-2x6" @ 16"
16.41"	2-2x6" @ 16"	2-2x6" @ 16"
17.73"	2-2x6" @ 12"	2-2x6" @ 12"
18.37"	2-2x6" @ 12"	2-2x6" @ 12"

ASSUMES 0.5 KPA HOURLY WIND PRESSURE AND 1.0 KPA SNOW LOAD.
BASED ON A-S0 & A-S1 0.8 C.

STEEL LINTEL SCHEDULE	
LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (AND FLOOR LOAD)	
MAX CLEAR SPAN	LINTEL SIZE
5'-0" OR LESS	3" x 3½" x ½"
7'-0" OR LESS	4" x 3½" x ½"
8'-0" OR LESS	5" x 3½" x ½"
9'-0" OR LESS	6" x 3½" x ½"
10'-0" OR LESS	6" x 3½" x ½"
NOTE THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS OR ELEVATIONS	

LEGEND	
S.P. STL	3 1/2" x 3 1/2" HSS STEEL POST
S.P.	SUPPORT REQUIRED (3) 2x6 OR (4) 2x4
	GRAB BAR SUPPORT REQ'D
E.F.	EXHAUST FAN w/ NON-COMBUSTABLE DUCTWORK

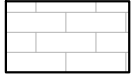


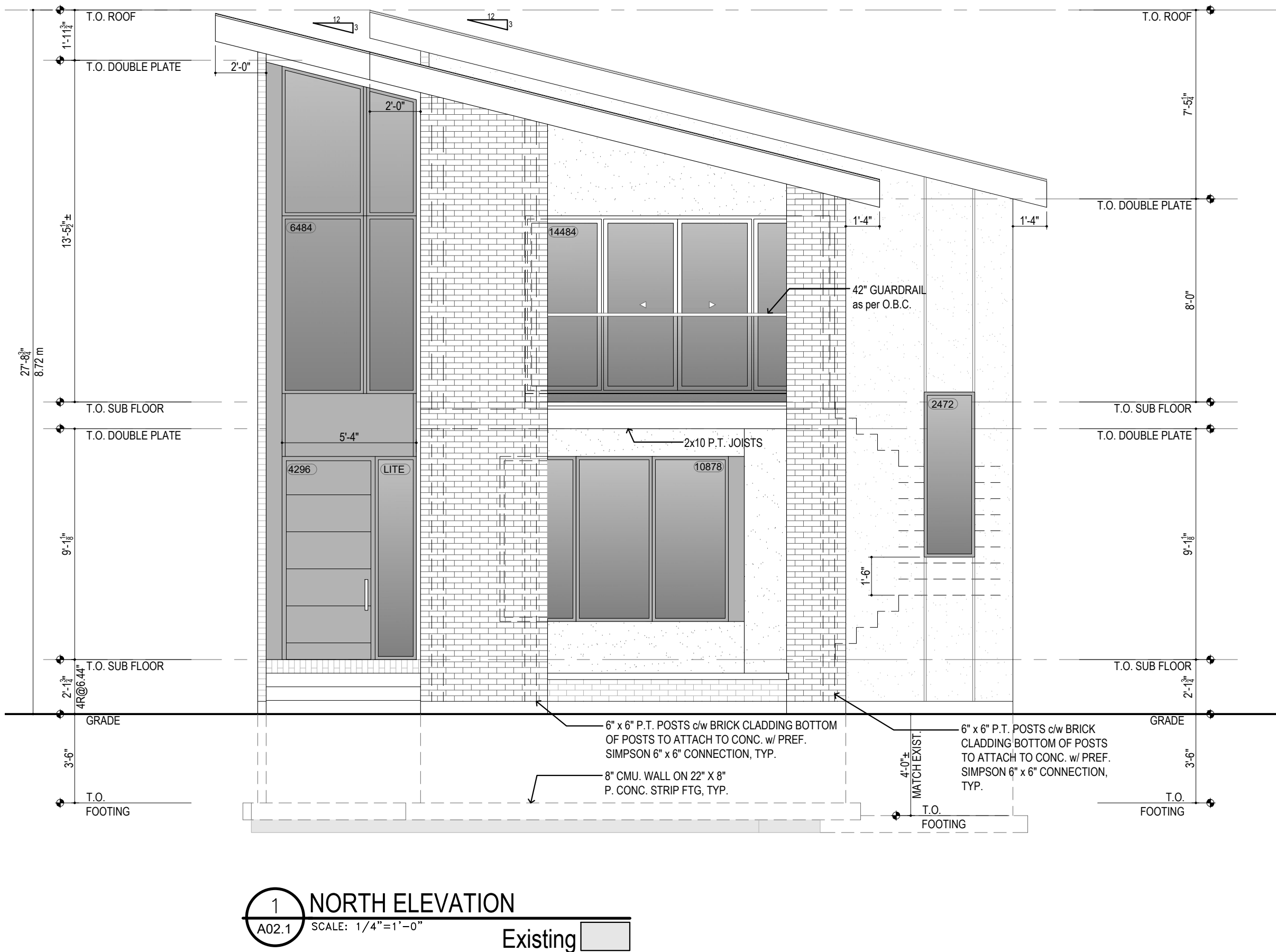
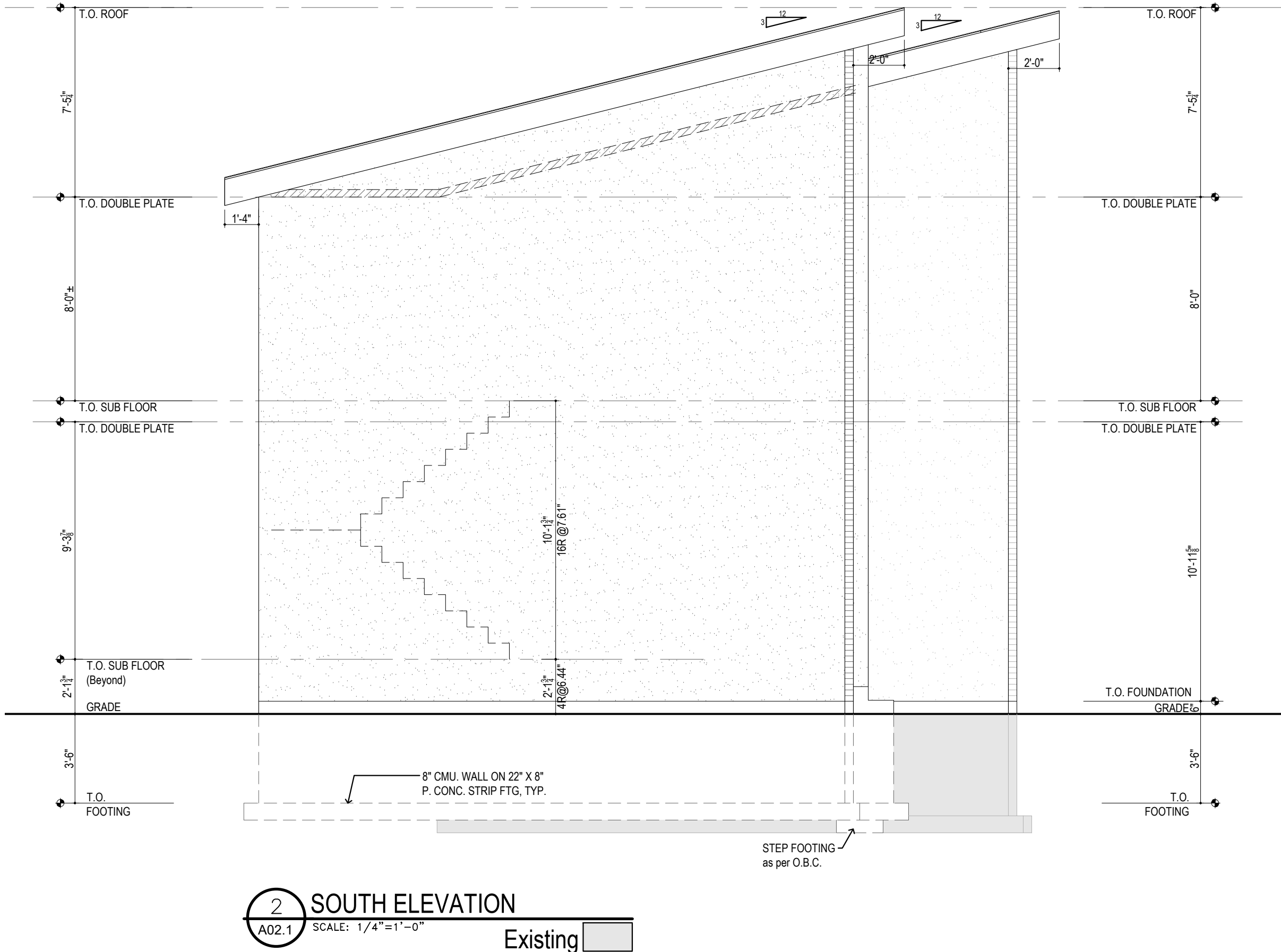
1 UPPER FLOOR PLAN
A01.2 SCALE: 1/4" = 1'-0"
Existing

2 ROOF PLAN
A01.2 SCALE: 1/4" = 1'-0"
Existing

GLAZING OPENINGS IN BUILDING FACE			
ELEVATION	BUILDING FACE (SF)	GLAZING (SF)	GLAZING %
NORTH	609 SF	188SF	
EAST	2372 SF	245 SF	
SOUTH	609 SF	0 SF	
WEST	1825 SF	109 SF	5.9 % @1.2m
TOTAL	5415 SF	542 SF	10 %

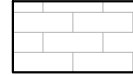
EXTERIOR ELEVATION NOTES	
1.	ALL EXTERIOR FINISHES AS PER EXTERIOR MATERIAL FINISHES SCHEDULE OR EQUAL APPROVED.
2.	ALL EXTERIOR FINISHES INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS
3.	ALL EXTERIOR TRIMS, SILLS AND FLASHING TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
4.	EXISTING GRADING TO BE COORDINATED w/OWNER/G.C.
5.	NEW OPENING ELEVATION TO BE SET BY TOWNSHIP

EXTERIOR MATERIAL FINISHES SCHEDULE		
		
Shingles	E.I.F.S.	Brick



GLAZING OPENINGS IN BUILDING FACE			
ELEVATION	BUILDING FACE (SF)	GLAZING (SF)	GLAZING %
NORTH	609 SF	188SF	
EAST	2372 SF	245 SF	
SOUTH	609 SF	0 SF	
WEST	1825 SF	109 SF	5.9 % @1.2m
TOTAL	5415 SF	542 SF	10 %

EXTERIOR ELEVATION NOTES	
1.	ALL EXTERIOR FINISHES AS PER EXTERIOR MATERIAL FINISHES SCHEDULE OR EQUAL APPROVED.
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4.	EXISTING GRADING TO BE COORDINATED w/OWNER/G.C.
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EXTERIOR MATERIAL FINISHES SCHEDULE		
		
Shingles	E.I.F.S.	Brick

