

Notice of Public Hearing – Committee of Adjustment Application

File # A-077/25

Date Mailed: September 17, 2025

Electronic hearing:

By videoconference on October 2, 2025 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on September 17, 2025. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 1328 LOT 106 PT LOTS;105 107 TO 109 AND PT BLK Z;RP 12R21162 PART 2

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Mixed Use	CD2.1

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: 13209342 CANADA INC Applicant Name: Architecttura Inc. Architects		160 EUGENIE ST W

PURPOSE OF APPLICATION

Minor Variance - Proposed commercial building and redeveloped parking area, requesting relief for increased maximum main building height, reduced number of loading spaces, reduced parking area separation from both a street and an interior lot line.

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-law 8600	15.1.5.4	Maximum Main Building Height	14.0 m	15.4 m
Zoning By-law 8600	24.40.1.9	Required Number of Loading Spaces	2	1

Zoning By-law 8600	25.5.20.1.2	Parking Area Separation from a street.	3.00 m	1.95 m
Zoning By-law 8600	25.5.20.13	Parking area Separation from an Interior Lot Line and Alley	0.90 m	0.00 m

Type of Consent Application Transaction:

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

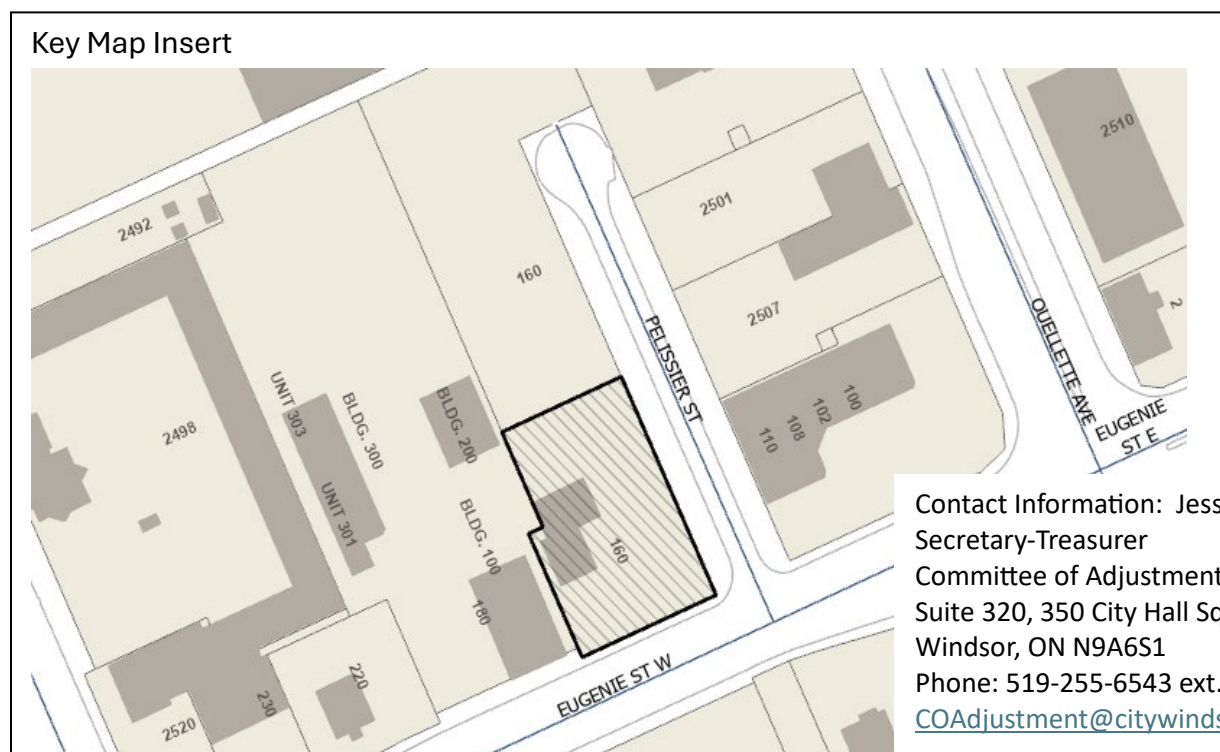
Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



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ZONING CHART - (WINDSOR BYLAW 8600)

No.	DESCRIPTION	REQUIRED	PROVIDED	BY-LAW REF.	ADDITIONAL NOTES
1.	ZONING CLASSIFICATION	CD2.1	CD2.1	15.1	
2.	PERMITTED USE	COMMERCIAL SCHOOL	COMMERCIAL SCHOOL	15.1.1	
3.	MINIMUM LOT AREA	N/A	EXIST = 4860.88m ² (1.20 acres)	N/A	NOT REQUIRED IN ZONING REG.
4.	MINIMUM LOT FRONTAGE	N/A	N/A	N/A	NOT REQUIRED IN ZONING REG.
5.	SETBACK - FRONT YARD	N/A	3.5m (11.42ft)	N/A	NOT REQUIRED IN ZONING REG.
6.	SETBACK - SIDE YARD	N/A	-	N/A	NOT REQUIRED IN ZONING REG.
7.	SETBACK - REAR YARD	N/A	-	N/A	NOT REQUIRED IN ZONING REG.
8.	LOT COVERAGE	N/A	-	N/A	NOT REQUIRED IN ZONING REG.
9.	LANDSCAPED AREA	N/A	N/A	N/A	NOT REQUIRED IN ZONING REG.
10.	BUILDING HEIGHT	14.0m (45.93ft)	15.42m (50.53ft)	15.1.5.4	HIGH POINT OF TENNIS FACILITY ROOF
11.	PARKING SPACE - SIZE	MIN. WIDTH 2.5m (8.2ft) MIN. LENGTH 5.5m (18.0ft)	MIN. WIDTH 2.74m (9.0ft) MIN. LENGTH 5.64m (18.6ft)	24.20.10	
12.	PARKING SPACE - COUNT	91	SEE PARKING LOT SUMMARY	24.20.5.1	SEE PARKING LOT SUMMARY

PARKING SUMMARY - (WINDSOR BYLAW 8600)

No.	DESCRIPTION	REQUIRED	PROVIDED	BY-LAW REF.	ADDITIONAL NOTES
1.	COMMERCIAL SCHOOL: CLASSROOMS	2.5 * 16 CLASSROOMS = 40		24.20.5	
2.	COMMERCIAL SCHOOL: CAFETERIA	385.59m ² GFA / 22.5 = 18 (17.14 rounded up)		24.20.5	
3.	COMMERCIAL SCHOOL: OFFICES	464.07m ² GFA / 45 = 11 (10.31 rounded up)		24.20.5	
4.	OFFICE SPACE	972.68m ² GFA / 45 = 22 (21.61 rounded up)		24.20.5	
TOTAL		91	102		
5.	ACCESSIBLE PARKING SPACE : TYPE A	1.5% OF PARKING SPACES= 1.5% OF 91 = 2 (1.37 rounded up)	2	24.24.1	
6.	ACCESSIBLE PARKING SPACE : TYPE B	0.5 SPACE + 1.5% OF PARKING SPACES= 1.5% OF 91 = 2 (1.87 rounded up)	2	24.24.1	
7.	LOADING SPACE	GFA OVER 2500m ² TO 7500m ² = 2	2	24.40.1.9	
8.	BICYCLE PARKING SPACE	2 FOR FIRST 19 SPACES + 1 FOR EACH ADDITIONAL 20 PARKING SPACES = 2 + ((109-19)/20) = 7 (6.5 rounded up)	7	24.30.1.1	

SITE DATA MATRIX

BUILDING INFORMATION		ZONING DATA	REQUIRED	PROVIDED
BUILDING CLASSIFICATION	3.2.2.24. - Group A Div 2	MINIMUM LOT AREA	N/A	4,860.88 m ² (52322.05 ft ²)
FACING STREET(S)	2 STREETS	MINIMUM LOT FRONTAGE	N/A	36.57m
PRINCIPAL ENTRY	SEE PLAN	MINIMUM LOT DEPTH	N/A	145.08m
PRIMARY FIREFIGHTER'S ENTRY	SEE PLAN	SETBACKS		
BARRIER FREE ENTRY	SEE PLAN	FRONT YARD	N/A	3.5m
BUILDING AREA		INTERIOR SIDE YARD	N/A	6.15m
FIRST FLOOR (FOOTPRINT)	7508.11 SF / 697.53 SM	EXTERIOR SIDE YARD	N/A	1.19m
SECOND FLOOR	11717.18 SF / 1088.56 SM	REAR YARD	N/A	XXXX
THIRD FLOOR	11717.18 SF / 1088.56 SM	MAX. LOT COVERAGE	N/A	14.87%
FOURTH FLOOR	11717.18 SF / 1088.56 SM	LANDSCAPE OPEN SPACE	N/A	11.38%
TOTAL BUILDING	42,659.65 SF / 3,963.21 SM	MAX. BUILDING HEIGHT	14 m	15.24 m
SITE INFORMATION		PARKING		
CURRENT ZONING	CD2.1	COMMERCIAL SCHOOL	51	52
PROPOSED USE	CD2.1	CAFETERIA	18	25
		OFFICE	22	25
		BARRIER FREE	4	4
TOTAL CURB LENGTH	321.08 m	TOTAL PARKING	91	102
		LOADING SPACES	2	2
		BICYCLE SPACES	7	7

LEGEND

LANDSCAPING (SEE LANDSCAPE DRAWINGS)

CONCRETE SURFACE

ASPHALT SURFACE

NEW BUILDING COVERAGE

EXISTING BUILDING COVERAGE

DEMOLISHED BUILDING COVERAGE

PROPERTY LINE

PROPERTY LINE

B.F. - "BARRIER FREE PARKING" SIGN
F.R. - "FIRE ROUTE - NO PARKING" SIGN
B.O.O. - "BUS DROP OFF ZONE" SIGN
S.S. - "STOP" SIGN

REFER TO PLAN FOR LOCATION OF ALL SIGNAGE (REVIEW w/ ARCHITECT PRIOR TO FINAL PLACEMENT)

NOTES:
1. REFER TO CIVIL DRAWINGS FOR ALL PAVEMENT MATERIAL PROFILES AND BASE MATERIALS
2. REFER TO LANDSCAPE PLAN FOR LANDSCAPE INFORMATION.
3. REFER TO CIVIL DRAWINGS FOR ALL PROPOSED GRADES.
4. ALL CONCRETE APRONS AT EXTERIOR DOOR OPENINGS TO MEET FLUSH (BARRIER FREE).
5. PROVIDE BARRIER FREE CURB DROPS WHERE SIDEWALKS MEET ASPHALT PAVEMENT.

1 SITE PLAN AT GRADE
A401 SCALE: 1 : 250

architectura
160 Eugene Street West
Windsor, ON N8X 2X6
519.258.1390

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Issued For (YYYY.MM.DD)

Date
2024.07.19
2024.07.19

Revision Schedule
Description
No. 12 MINOR VARIATION - PARKING AREA SEPARATION
13 MINOR VARIATION - LOADING SPACES

SHEET NAME
ARCHITECTURAL SITE PLAN

Name of Client as Applicable
Campbellsville University
160 Eugene St W, Windsor, ON N8X 2X6

Drawn By
Ai

Checked By
Ai

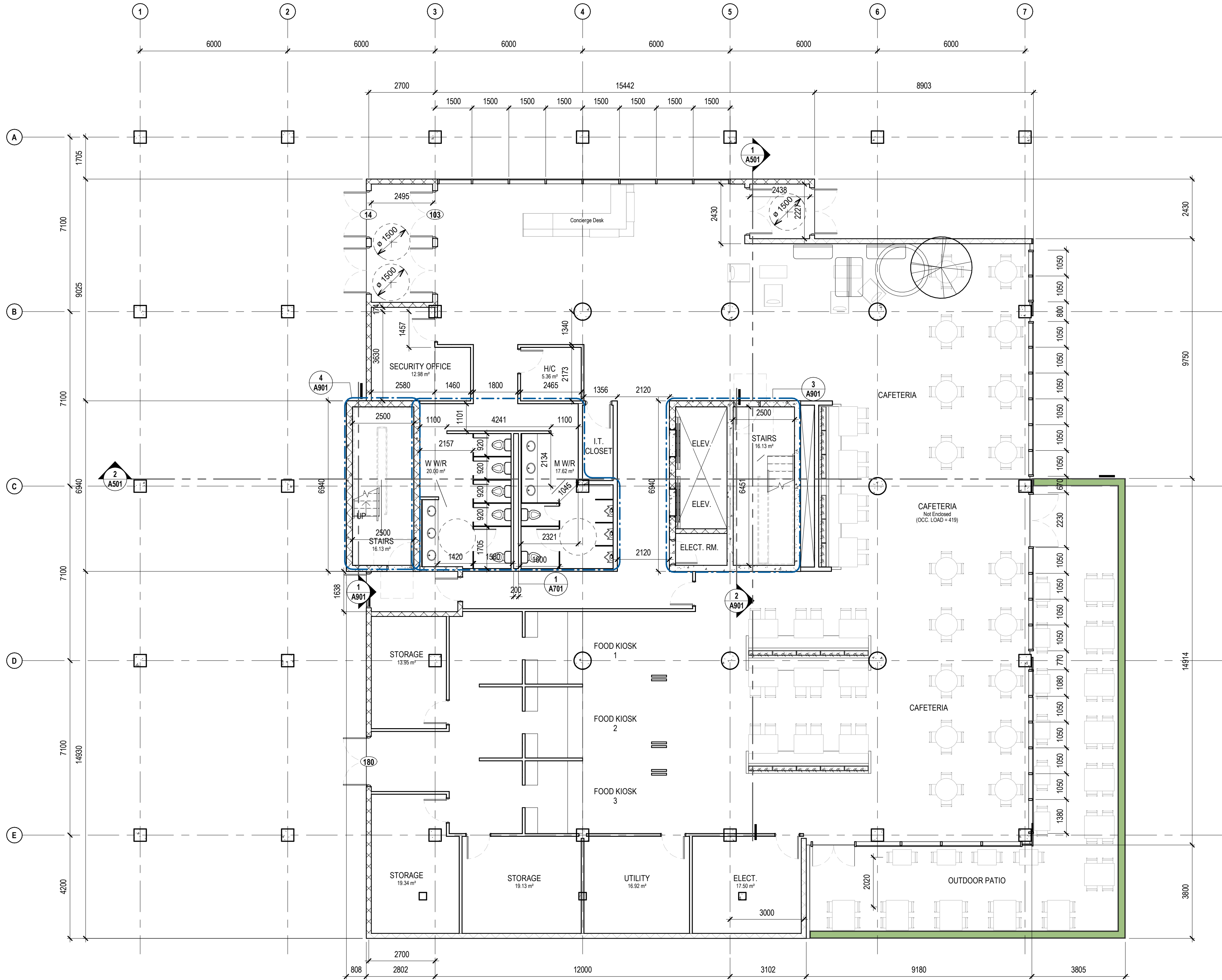
Project No
2346

Sheet No

A101

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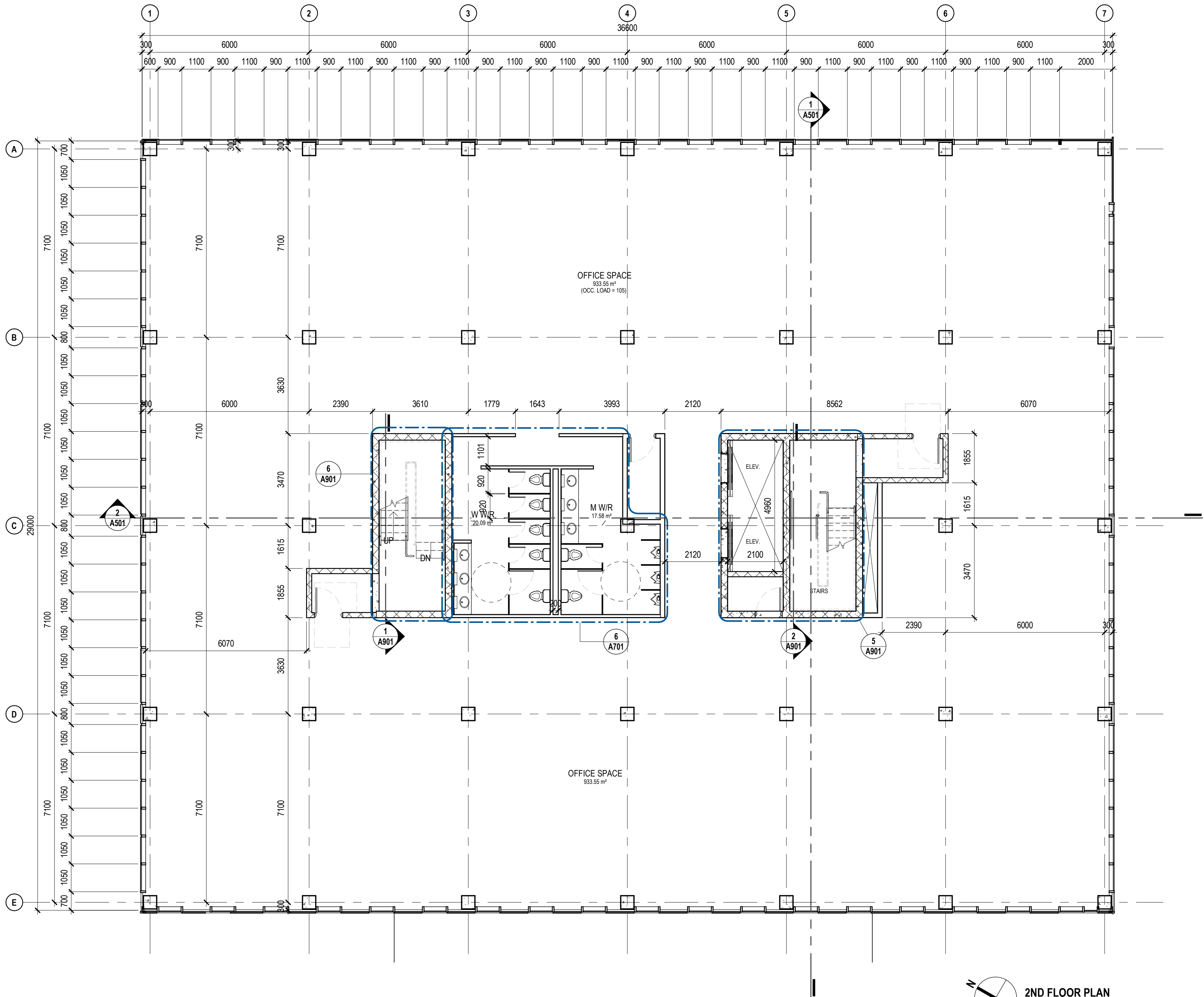
1ST FLOOR PLAN
SCALE: 1 : 100

GENERAL NOTES - CONSTRUCTION	
ALL PLUMBING PIPING AND ELECTRICAL CONDUITS THAT WERE DEMOLISHED LEAVING OPENINGS IN EXISTING CONCRETE SLAB MUST BE REPLACED WITH NEW CONCRETE ON 10 MIL POLY VAPOUR RETARDER AND PREPPED FOR NEW FINISHED FLOORING - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.	
ALL WALLS DAMAGED BY DEMOLITION TO BE PATCHED TO MATCH EXISTING AND PREPPED FOR PAINTING.	
AREAS OF EXISTING CONCRETE FLOOR SLABS THAT WERE REMOVED FOR INSTALLATION OR REMOVAL OF MECHANICAL AND ELECTRICAL ITEMS MUST BE REPLACED WITH NEW CONCRETE ON 10 MIL POLY VAPOUR RETARDER AND PREPPED FOR NEW FINISHED FLOORING - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.	
PATCH AND REPAIR ALL EXISTING PLASTER OR GYPSUM BOARD WALLS TO REMAIN AS REQUIRED TO PREPARE FOR PAINTING.	

KEYNOTES	
NO.	DESCRIPTION

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2ND FLOOR PLAN
SCALE: 1 : 100

GENERAL NOTES - CONSTRUCTION

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KEYNOTES

NO.	DESCRIPTION
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Issued For (YYYY.MM.DD)

Date

Revision Schedule
Description

No.

SHEET NAME
2ND FLOOR PLAN

Name of Client as Applicable
Campbellsville University

160 Eugene St W, Windsor, ON N8X 2X6

Drawn By Ai Checked By Ai

Project No 2346

Sheet No

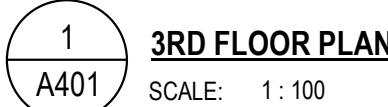
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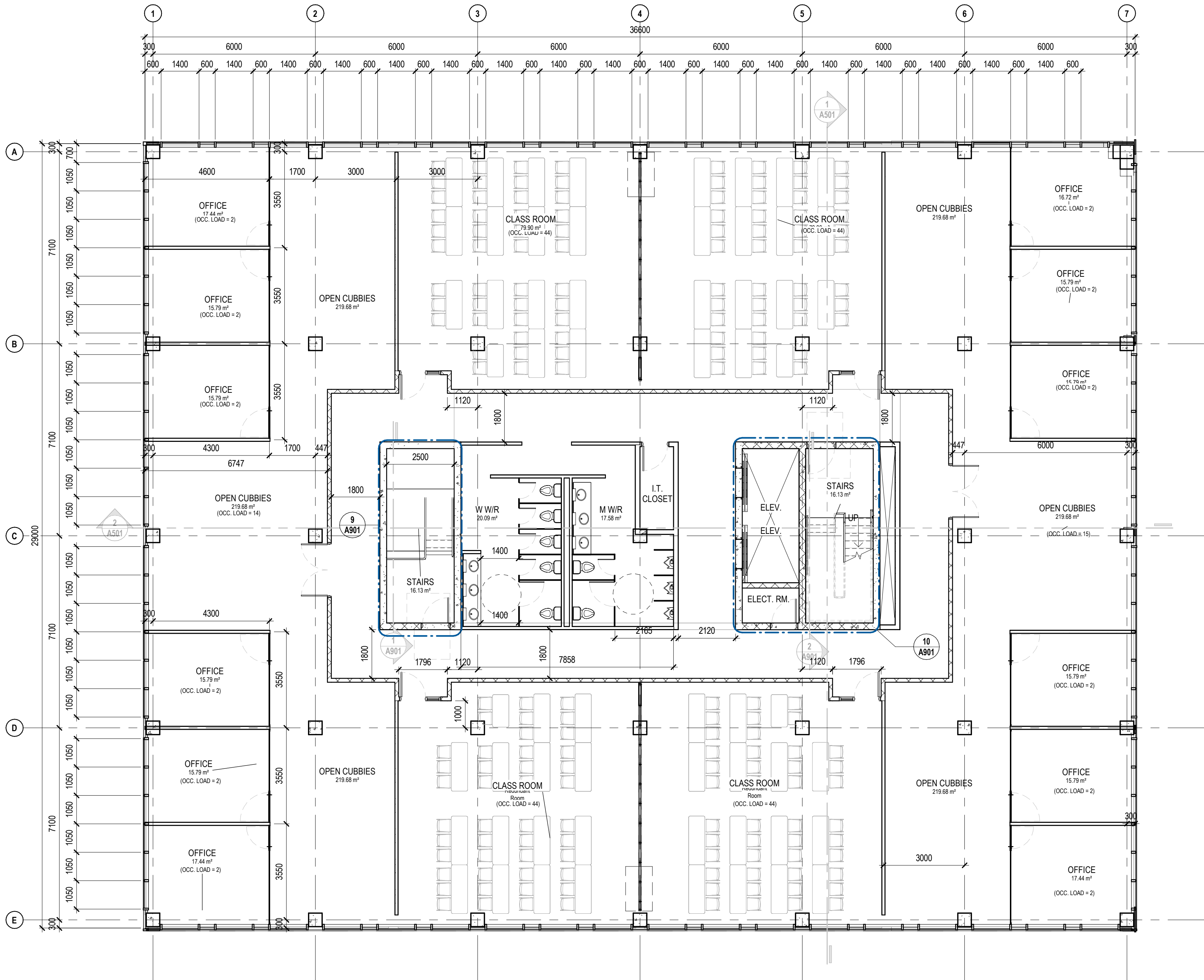


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KEYNOTES	
NO.	DESCRIPTION



1 4TH FLOOR PLAN
A401 SCALE: 1 : 100



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Issued For (YYYY.MM.DD)

Date

Revision Schedule Description

No.

SHEET NAME
4TH FLOOR PLAN

Name of Client as Applicable
Campbellsville University
160 Eugene St W., Windsor, ON N8X 2X6

Drawn By Author Checked By Checker

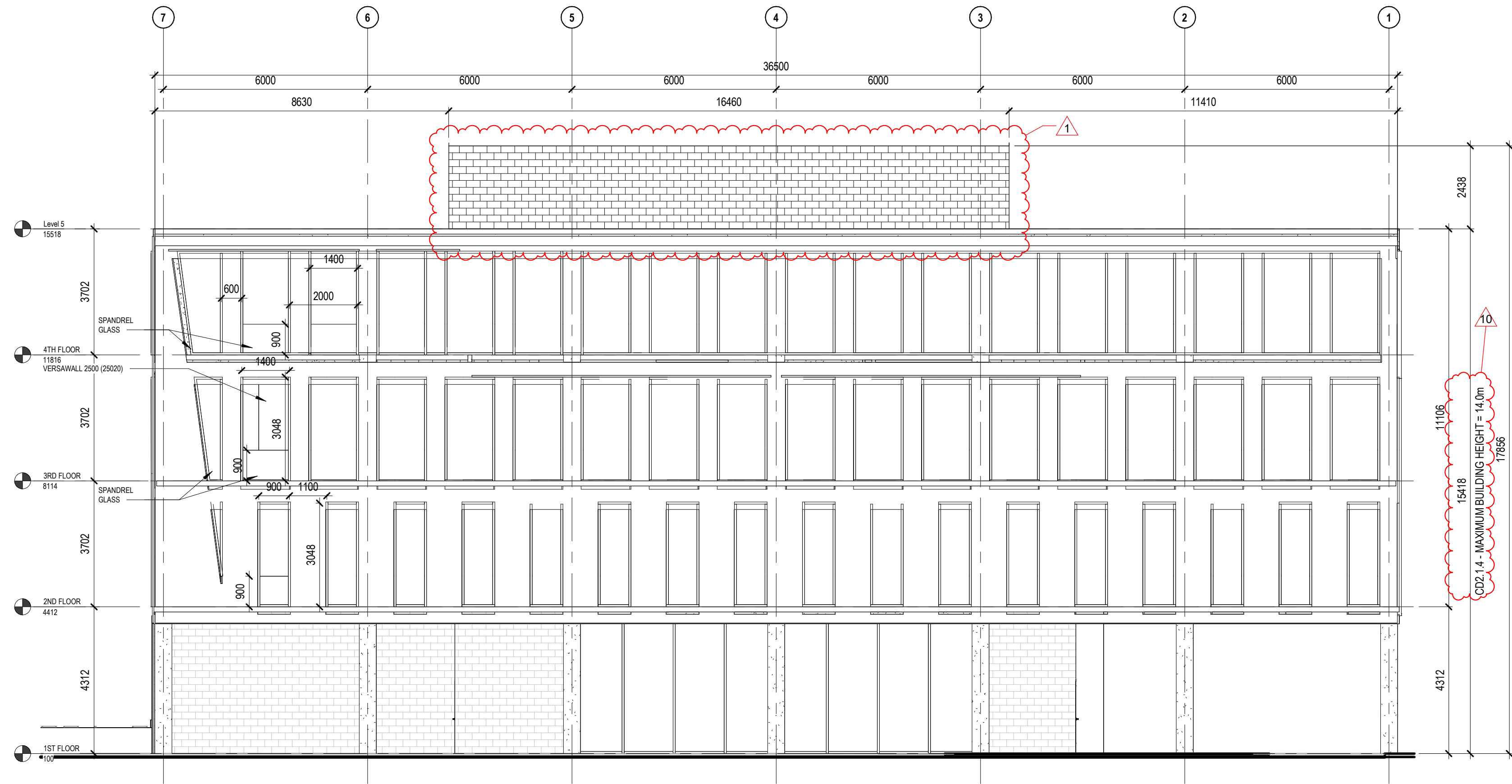
Project No 2346

Sheet No

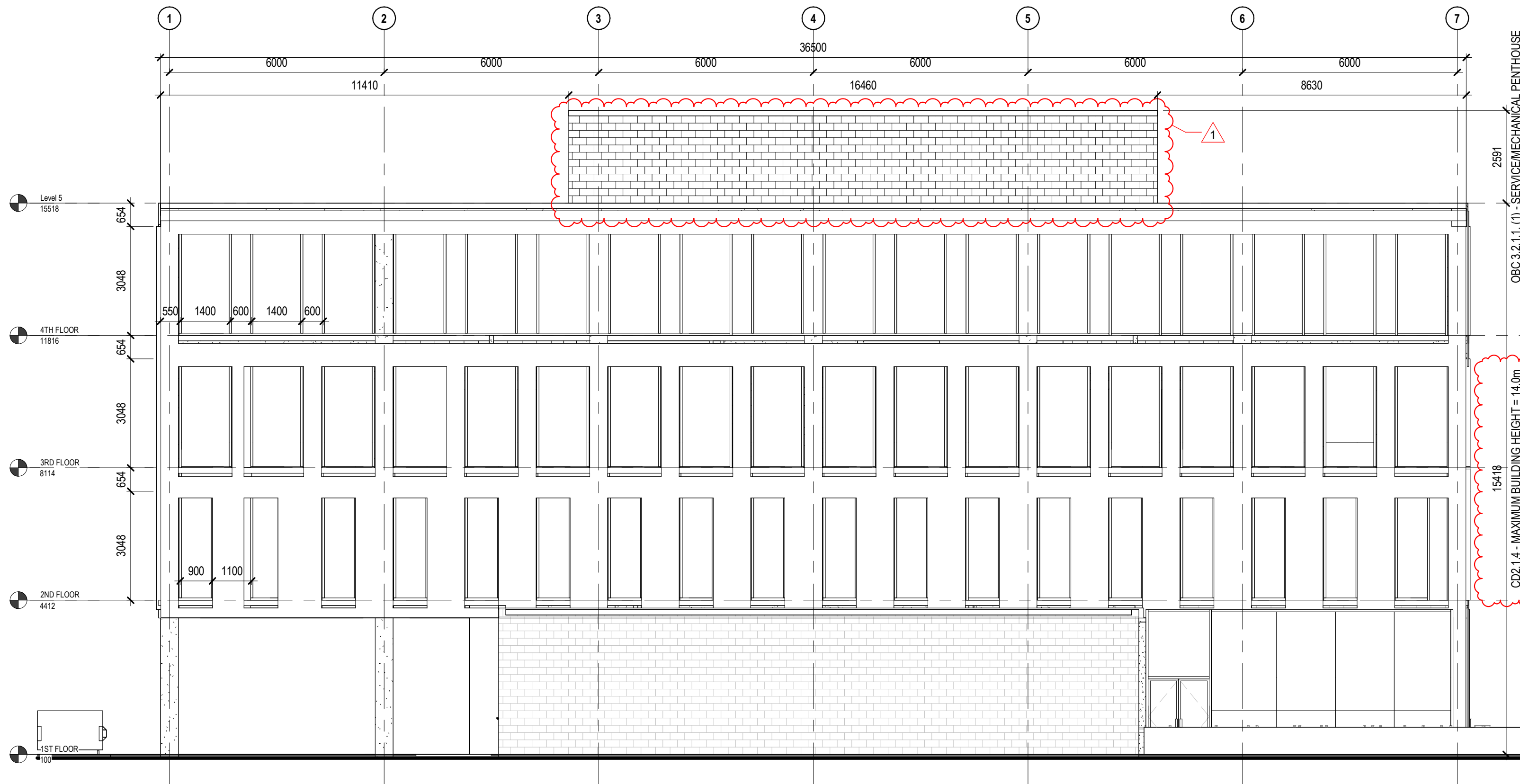
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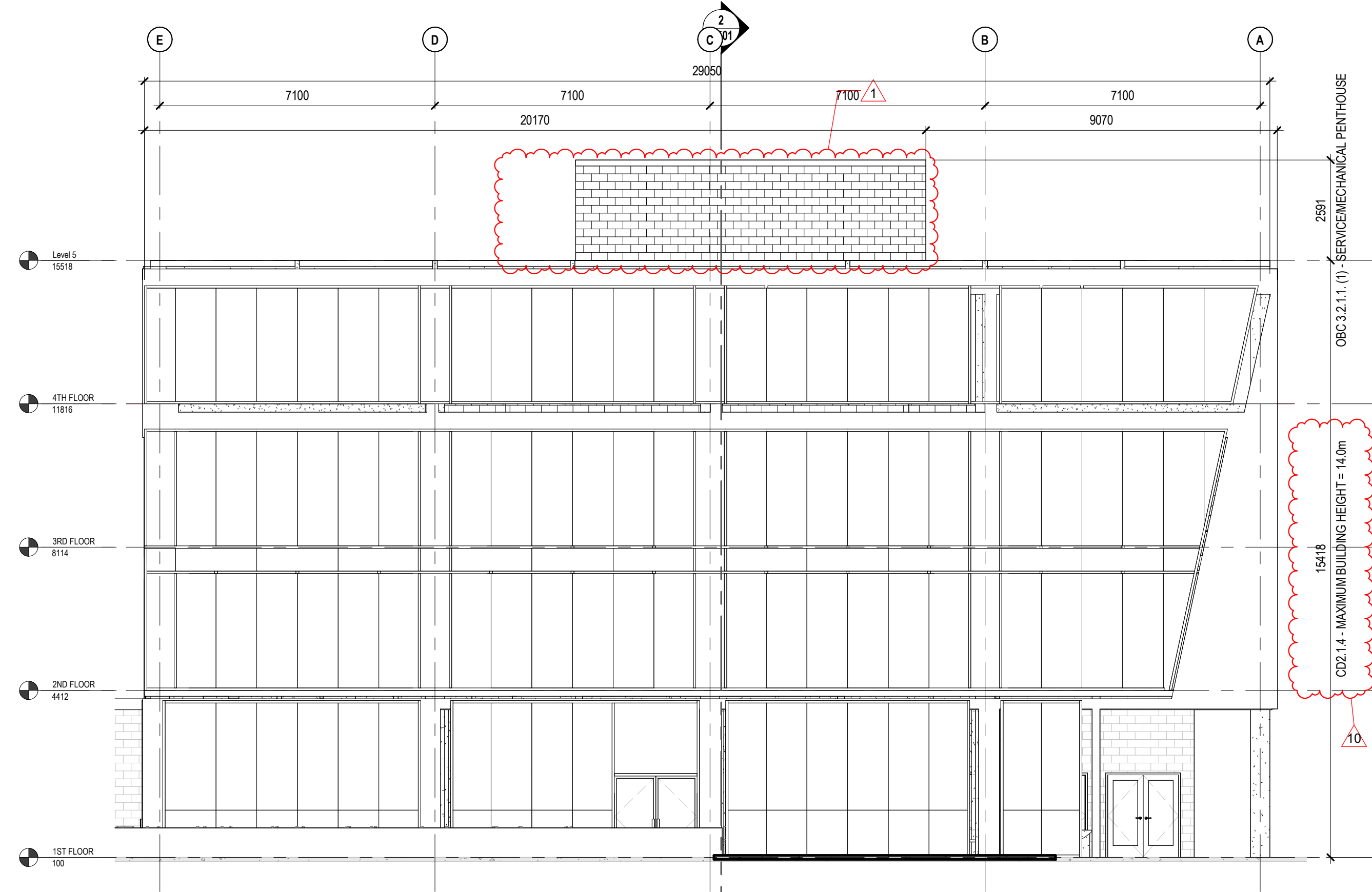
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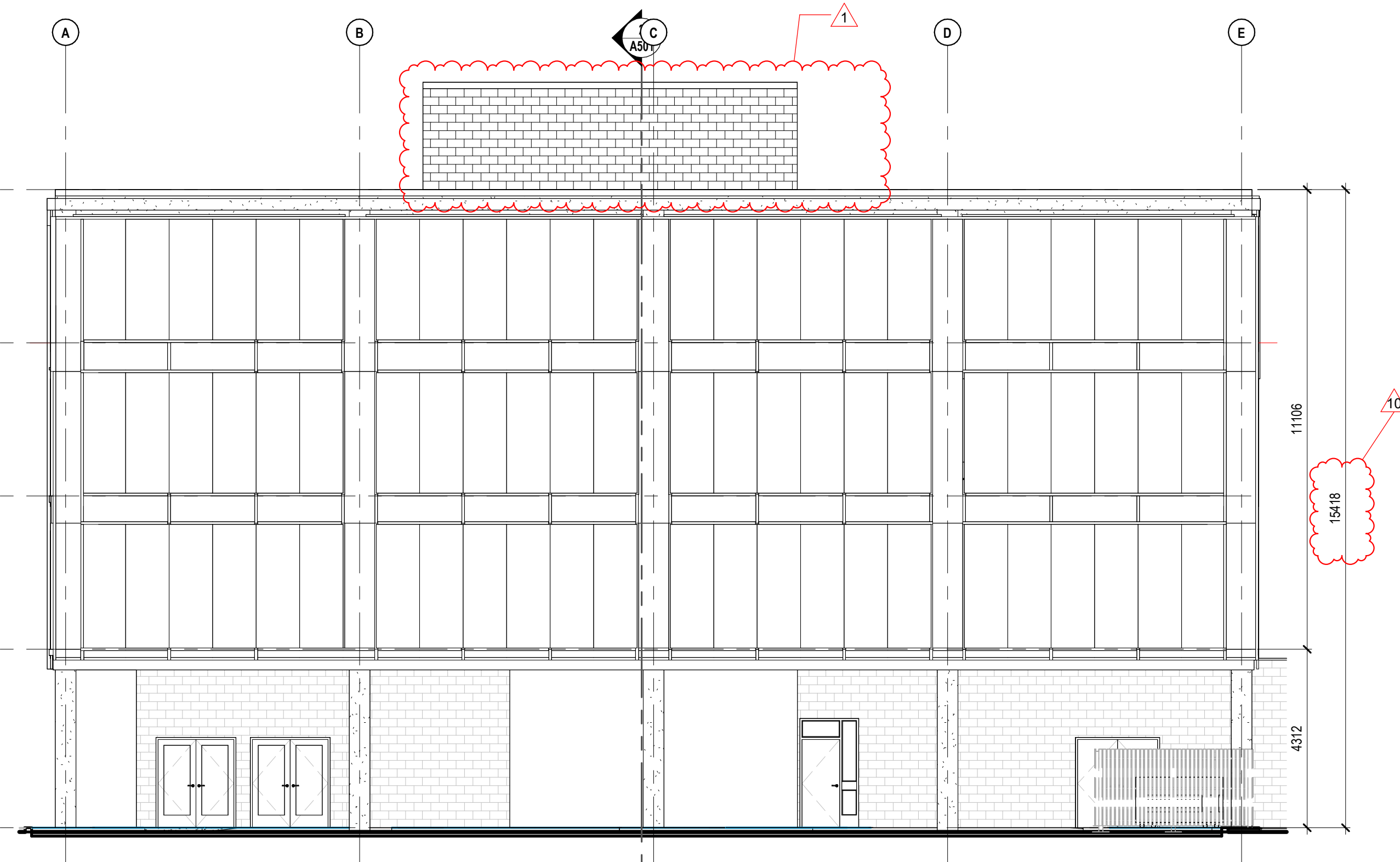
1 NORTH-EAST ELEVATION
SCALE: 1:100



2 SOUTH-WEST ELEVATION
SCALE: 1:100



3 SOUTH-EAST ELEVATION
SCALE: 1:100



4 NORTH-WEST ELEVATION
SCALE: 1:100

MATERIAL TYPE LEGEND	
TYPE	DESCRIPTION
<varies>	<varies>

No.	Revision Schedule	Description	Date
1	MECHANICAL PENTHOUSE LOCATED ON THE 5TH LEVEL		2024.07.18
10	MINOR VARIATION - BUILDING HEIGHT		2024.07.18