



COMMITTEE OF ADJUSTMENT

APPLICANT : ANDRE LAMPRON

ADDRESS : 1733 BALFOUR BOULEVARD

N.T.S.

Notice of Public Hearing – Committee of Adjustment Application

File # A-076/26 & B-040/26 - 1733 BALFOUR BLVD

Date Mailed: August 26, 2026

Electronic hearing:

By videoconference on September 10, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on August 26, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 1037 LOT 61;

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential District 1.2 (RD1.2)

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: ANDRE LAMPRON Applicant Name: IYAD ALASI		1733 BALFOUR BLVD

PURPOSE OF APPLICATION

Minor Variance & Consent (Severance) - Consent to create a new lot fronting Balfour Blvd. Requesting relief for reduced minimum lot width.

By-Law	Provision	Provision Description	Requirement	Proposed
By-Law 8600	10.2.5.1	Minimum Lot Width - Severed Lot	12.0 m	10.65 m

Type of Consent Application Transaction: New Lot**How do I participate if I have comments or concerns?****Submit written comments**

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

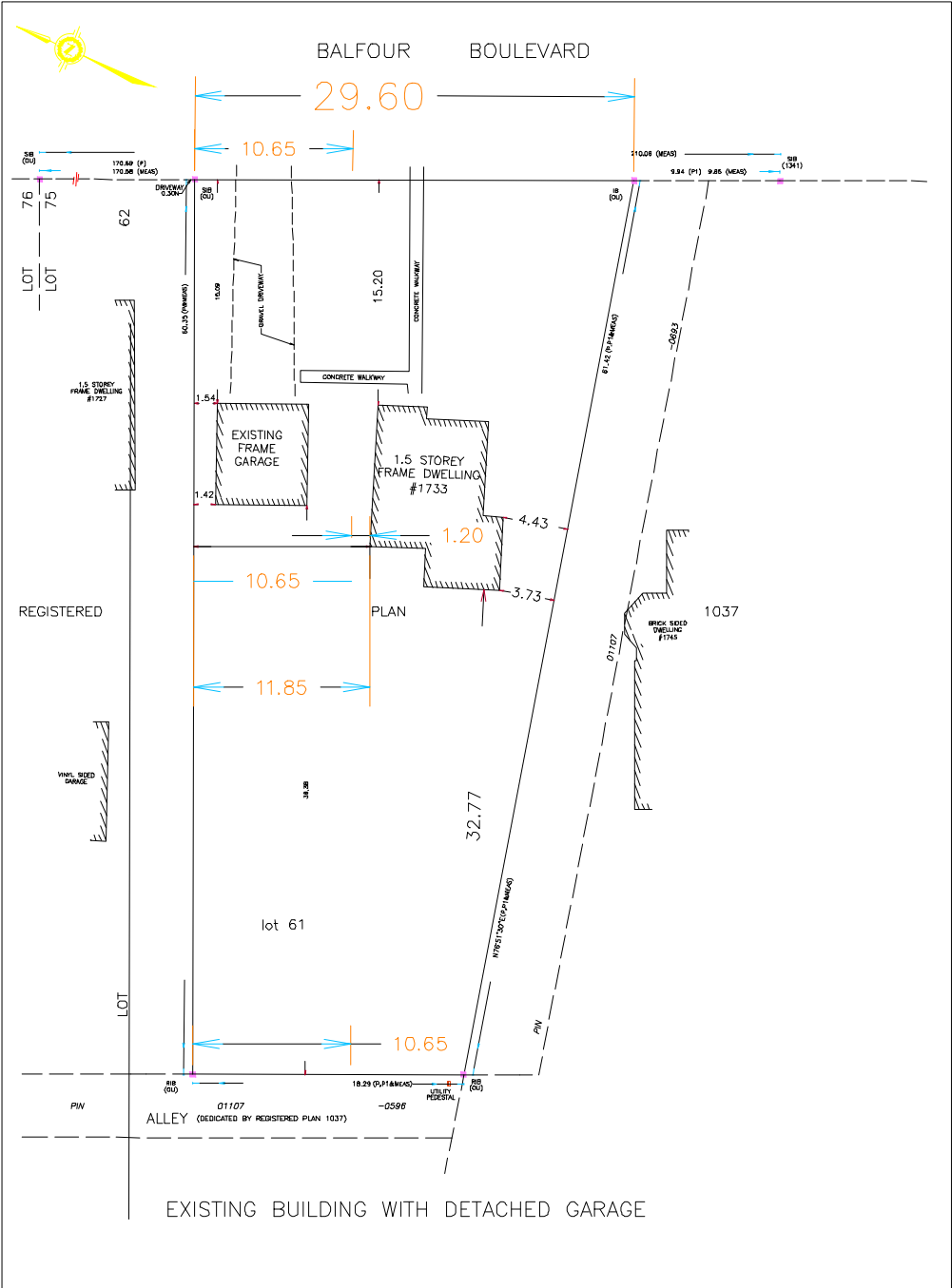
Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

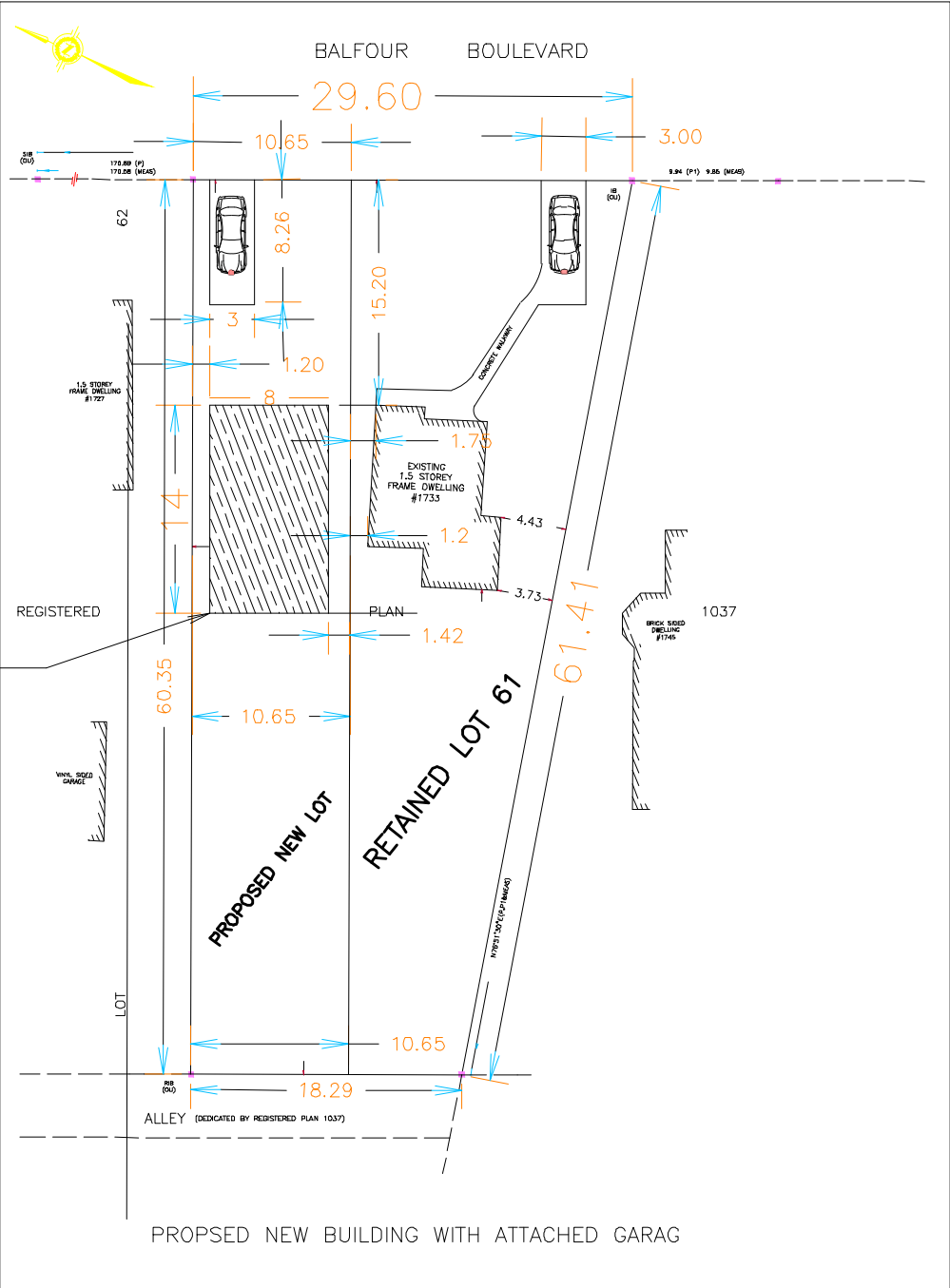
If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.

**Contact Information:**

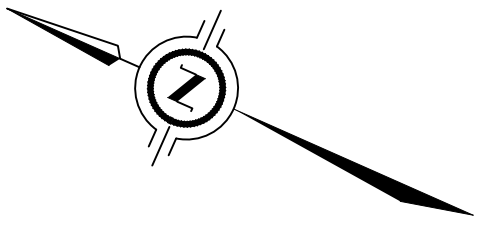
Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca



PROPOSED NEW 27' x 45' SINGLE-DETACHED DWELLING
APRX. 1,600 SQ. FT.
WITH ATTACHED GARAGE



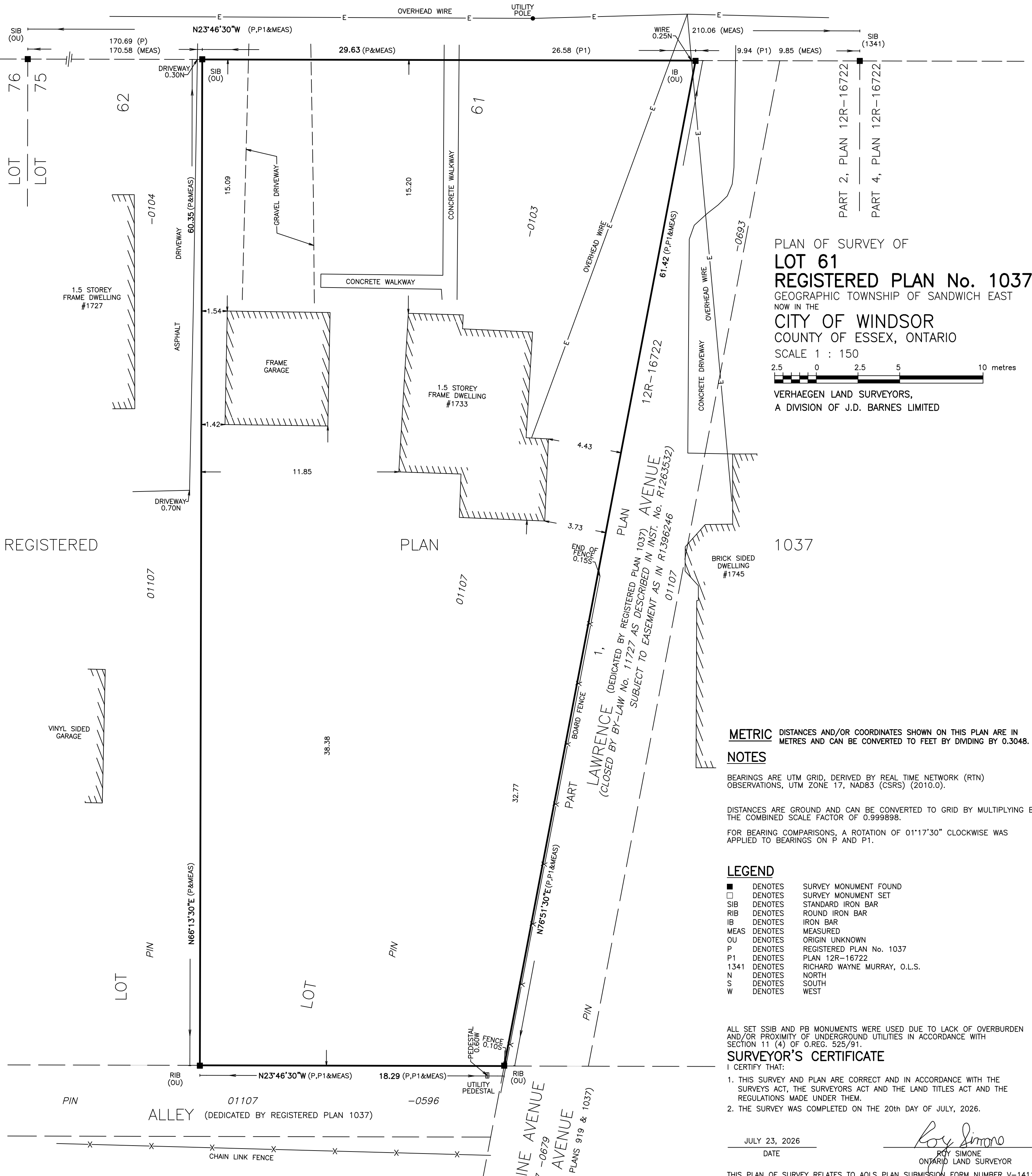
OWNER : ASI ARCHITECTRA METAL .		MAIN CONTRACTOR : ASI DEVELOPMENTS	
DRAWN BY: AHMED	CHECKED BY: IYAD	REFERENCE NO.: 1733 BALFOUR - 01	
CAD File: 1733 BALFOUR BLVD.	B-01	CAD Date: JULY 28 2026	



BALFOUR
PIN

(DEDICATED BY REGISTERED PLAN 1037)
01107

BOULEVARD
-0597



PLAN OF SURVEY OF
LOT 61
REGISTERED PLAN No. 1037
GEOGRAPHIC TOWNSHIP OF SANDWICH EAST
NOW IN THE
CITY OF WINDSOR
COUNTY OF ESSEX, ONTARIO
SCALE 1 : 150
2.5 0 2.5 5 10 metres
VERHAEGEN LAND SURVEYORS,
A DIVISION OF J.D. BARNES LIMITED

METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

BEARINGS ARE UTM GRID, DERIVED BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999898.

FOR BEARING COMPARISONS, A ROTATION OF 01°17'30" CLOCKWISE WAS APPLIED TO BEARINGS ON P AND P1.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
SIB	DENOTES	STANDARD IRON BAR
RIB	DENOTES	ROUND IRON BAR
IB	DENOTES	IRON BAR
MEAS	DENOTES	MEASURED
OU	DENOTES	ORIGIN UNKNOWN
P	DENOTES	REGISTERED PLAN No. 1037
P1	DENOTES	PLAN 12R-16722
1341	DENOTES	RICHARD WAYNE MURRAY, O.L.S.
N	DENOTES	NORTH
S	DENOTES	SOUTH
W	DENOTES	WEST

ALL SET SSIB AND PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.REG. 525/91.

SURVEYOR'S CERTIFICATE

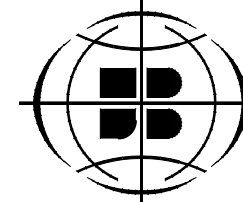
I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 20th DAY OF JULY, 2026.

JULY 23, 2026
DATE

Roy Simone
ROY SIMONE
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-141197.



VERHAEGEN
LAND SURVEYORS
A DIVISION OF J.D. BARNES LTD.

944 OTTAWA STREET, WINDSOR, ON, N8X 2E1
T: (519) 258-1772 F: (519) 258-1791 www.jdbarnes.com

SURVEYING
MAPPING
GIS

DRAWN BY:	AR	CHECKED BY:	RS	REFERENCE NO.:	26-47-336-00
				DATED:	07/22/2026

PLOT DATE: 7/23/2026

FILE: jdbwincjbarnes.com\Share1\Projects\26-47-336-00 - Plan of Survey & Reference Plan\CAD\26-47-336-00.dwg