

Notice of Public Hearing – Committee of Adjustment Application

File # A-074/26 - 1361 AUBIN RD Date Mailed: August 26, 2026

Electronic hearing:

By videoconference on September 10, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on August 26, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 754; LOTS 87 & 88 & PT CLOSED ALLEY; RP 12R23524; PARTS 19 & 47

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential RD1.3

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: MATTHEW HURAJT Applicant Name: Matthew Hurajt		1361 AUBIN RD

PURPOSE OF APPLICATION

Minor Variance - Requesting relief for decreased minimum front yard depth.

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-law 8600	10.3.5.5	Minimum Front Yard Depth	6.0 m	4.3 m

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

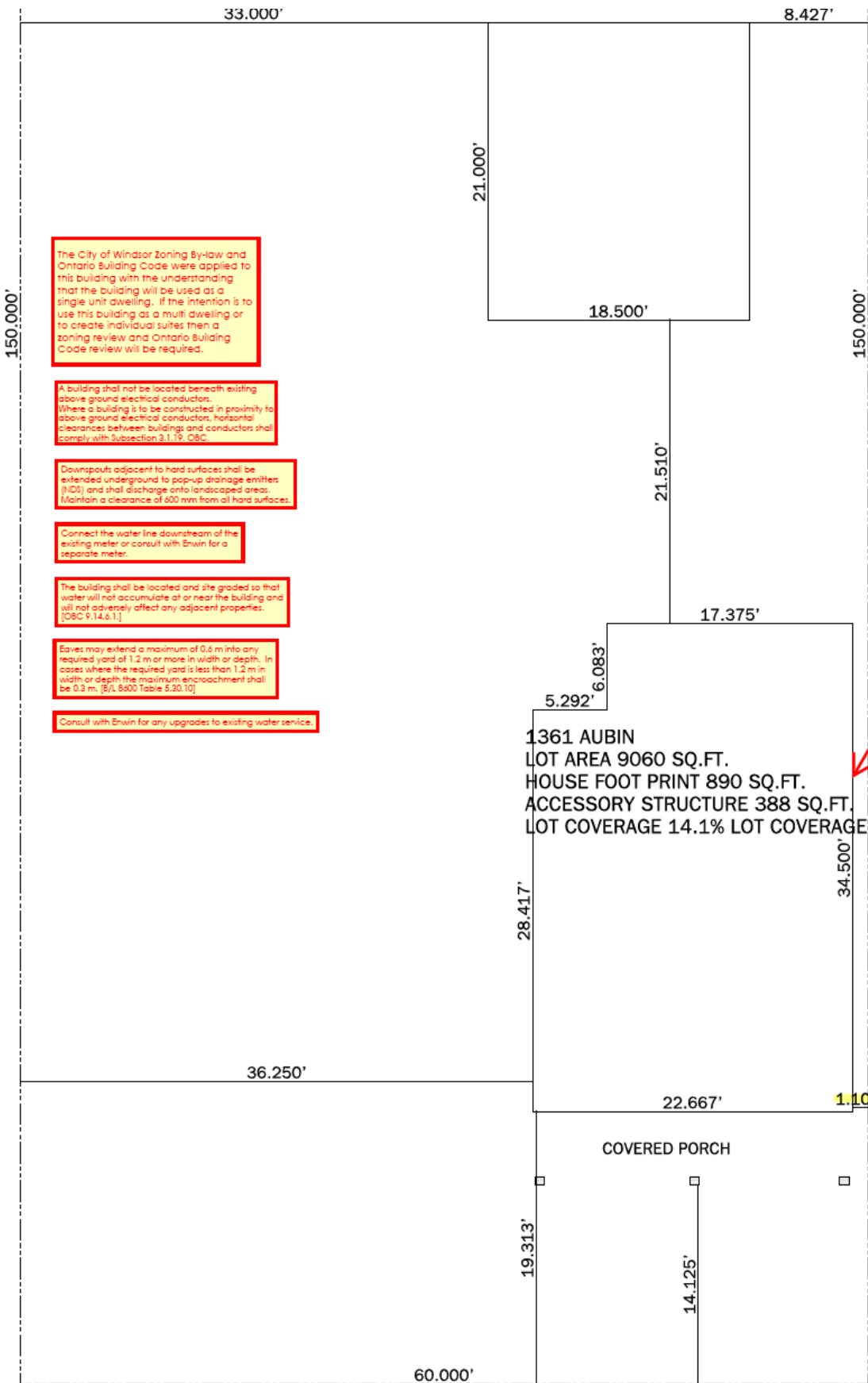
Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca



The City of Windsor Zoning By-law and Ontario Building Code were applied to this building with the understanding that the building will be used as a single unit dwelling. If the intention is to use this building as a multi dwelling or to create individual suites then a zoning review and Ontario Building Code review will be required.

A building shall not be located beneath existing above ground electrical conductors. Where a building is to be constructed in proximity to above ground electrical conductors, horizontal clearances between buildings and conductors shall comply with Subsection 3.1.19. OBC.

Downspouts adjacent to hard surfaces shall be extended underground to pop-up drainage emitters (HDS) and shall discharge onto landscaped areas. Maintain a clearance of 600 mm from all hard surfaces.

Connect the water line downstream of the existing meter or consult with Enwin for a separate meter.

The building shall be located and site graded so that water will not accumulate at or near the building and will not adversely affect any adjacent properties. [OBC 9.14.6.1.]

Decks may extend a maximum of 0.6 m into any required yard of 1.2 m or more in width or depth. In cases where the required yard is less than 1.2 m in width or depth the maximum encroachment shall be 0.3 m. [S/L 8500 Table 5.30.10]

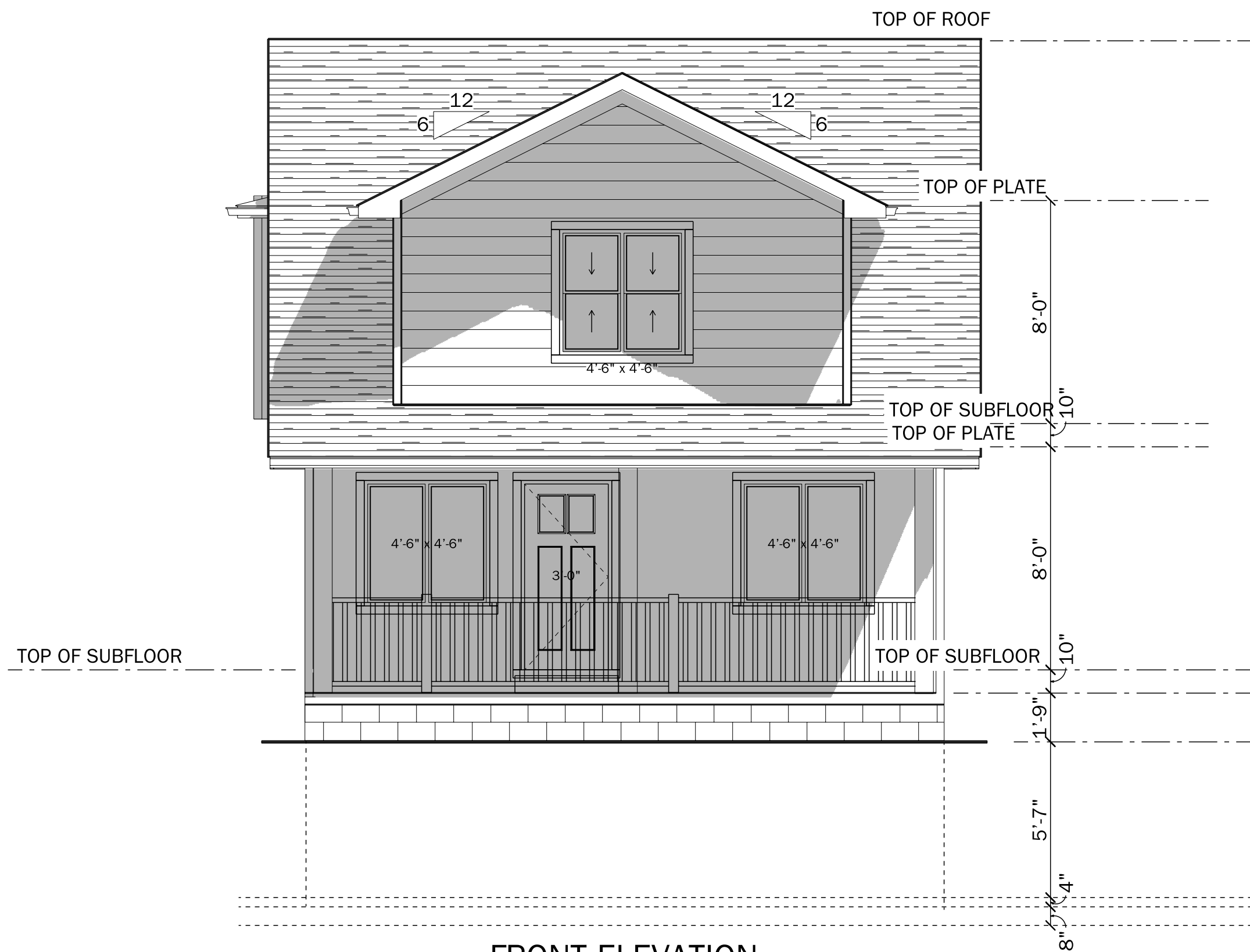
Consult with Enwin for any upgrades to existing water service.

No windows permitted on this elevation in basement O.B.C. Table 9.10.15.4.

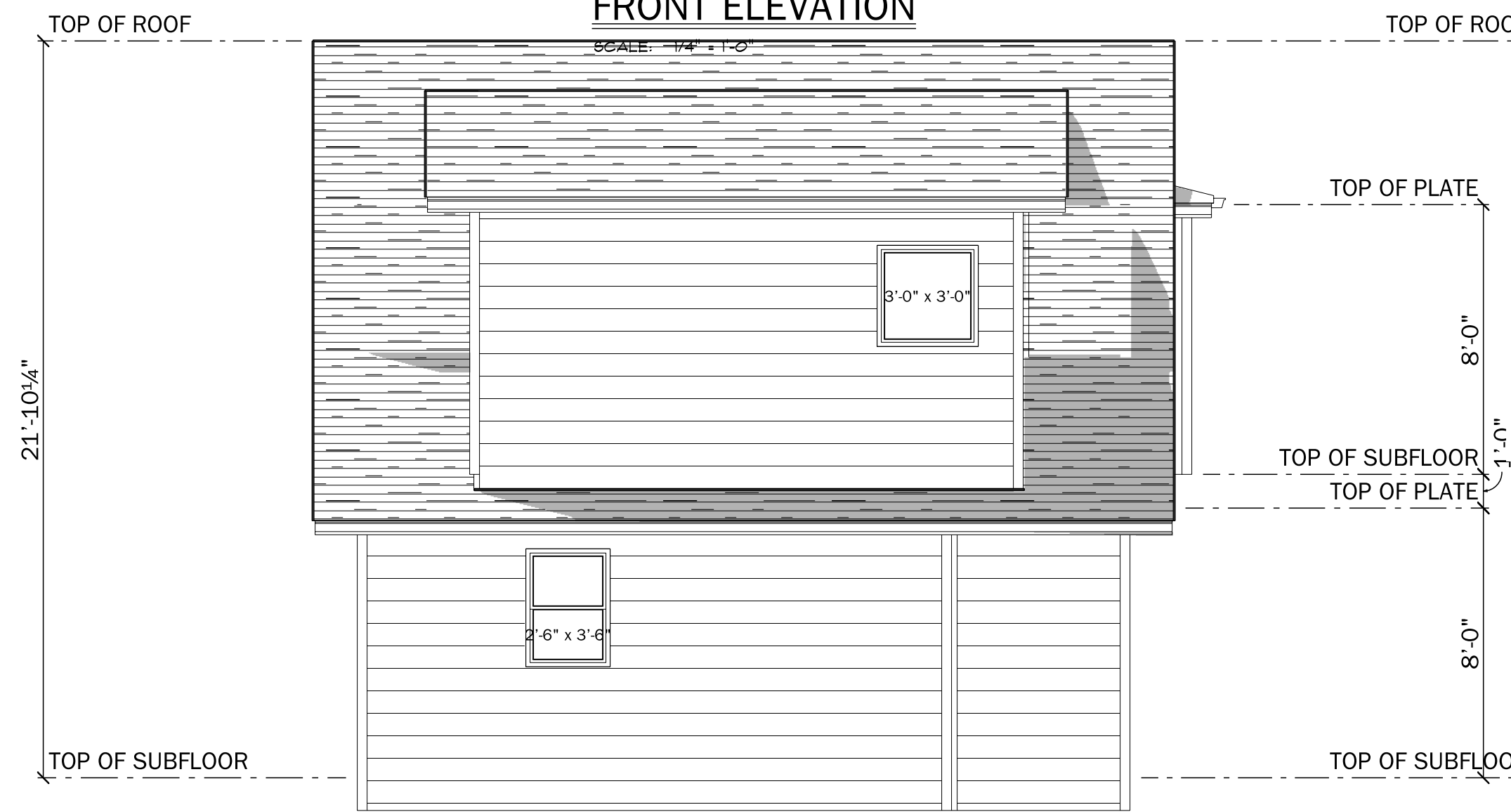
PROTECT ADJACENT PROPERTY DURING CONSTRUCTION/EXCAVATION

Follow all recommendations per Engineering Report Dated September 17, 2024- attached to protect adjacent property.

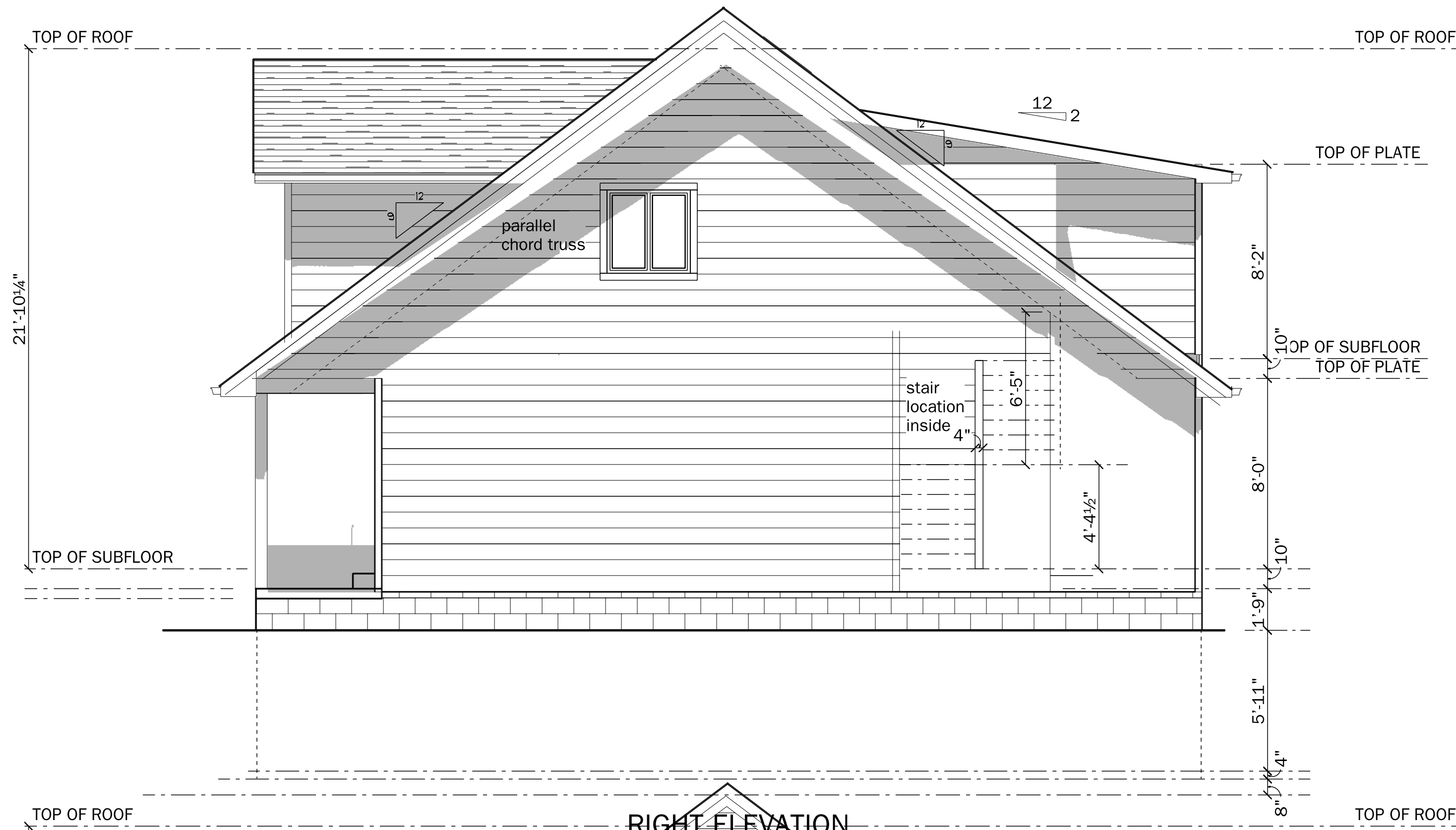
THESE PLANS WERE REVIEWED BY WENDY CALTO,
IF YOU HAVE ANY QUESTIONS
PLEASE CALL 519-255-4267 EXT 4531 OR EMAIL
wcalto@cityofwindsor.ca
WENDY CALTO, PLAN EXAMINER Sep 24, 2024



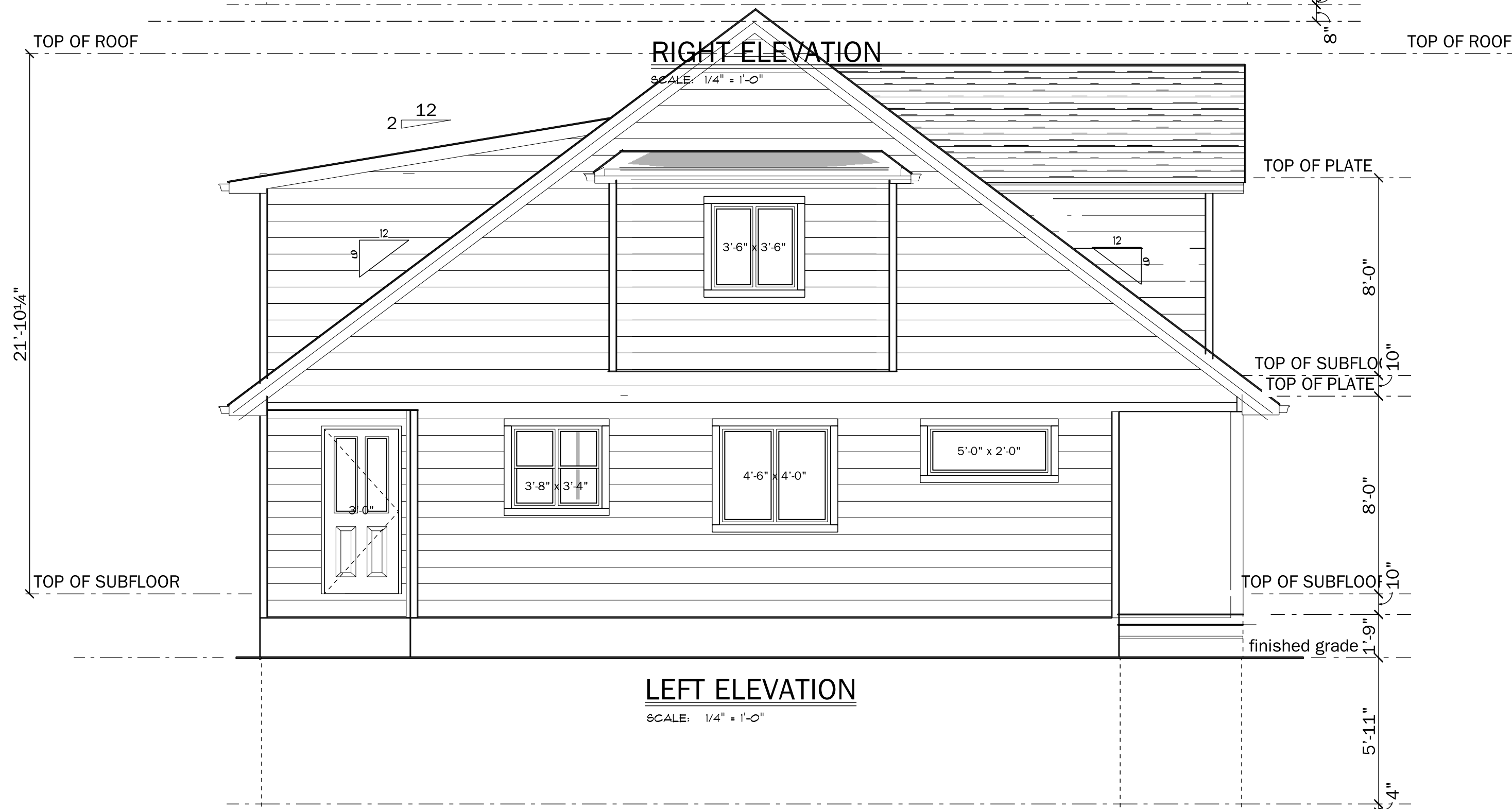
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

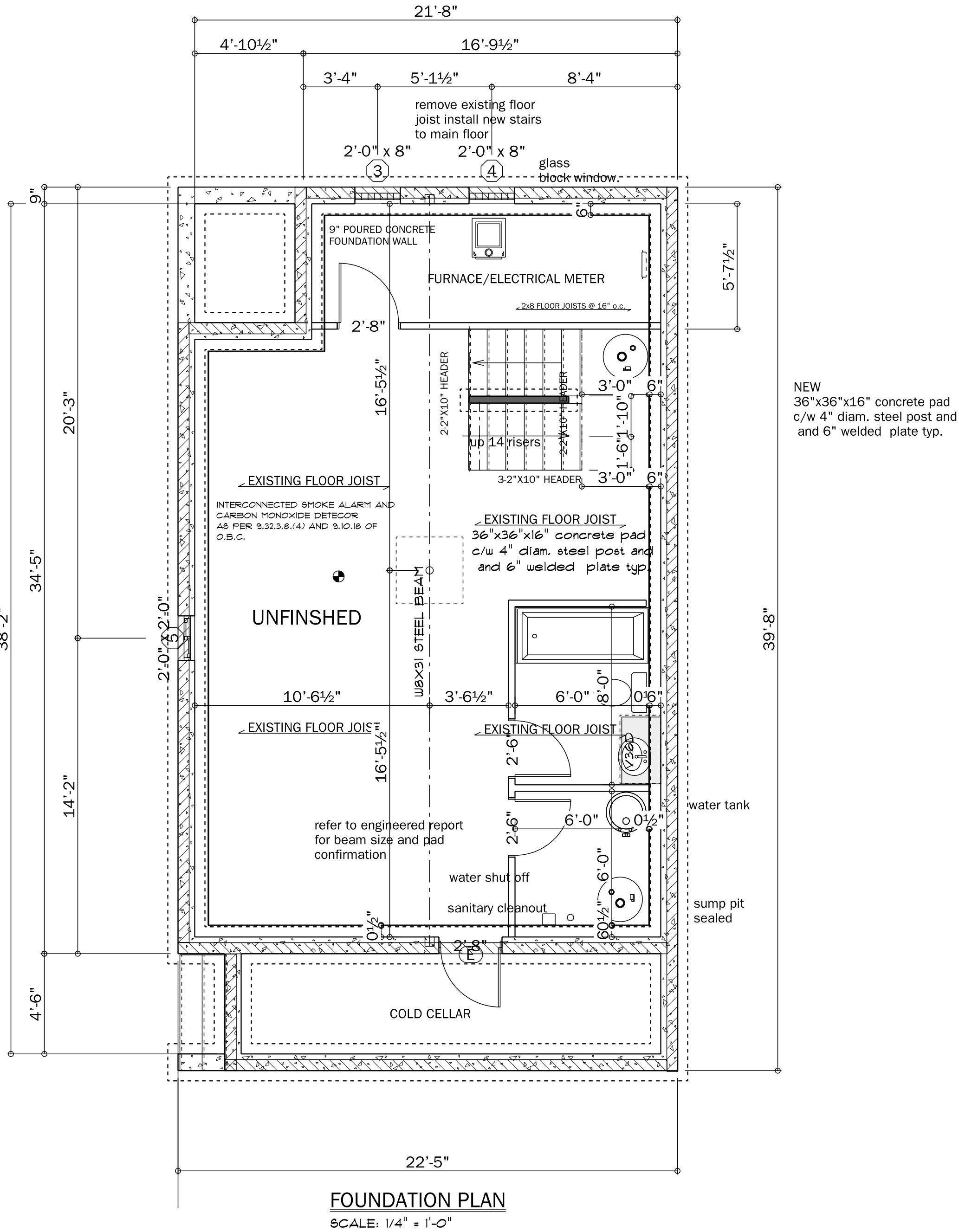
1361 AUBIN

PROPOSED
SECOND FLOOR
RENOVATIONS

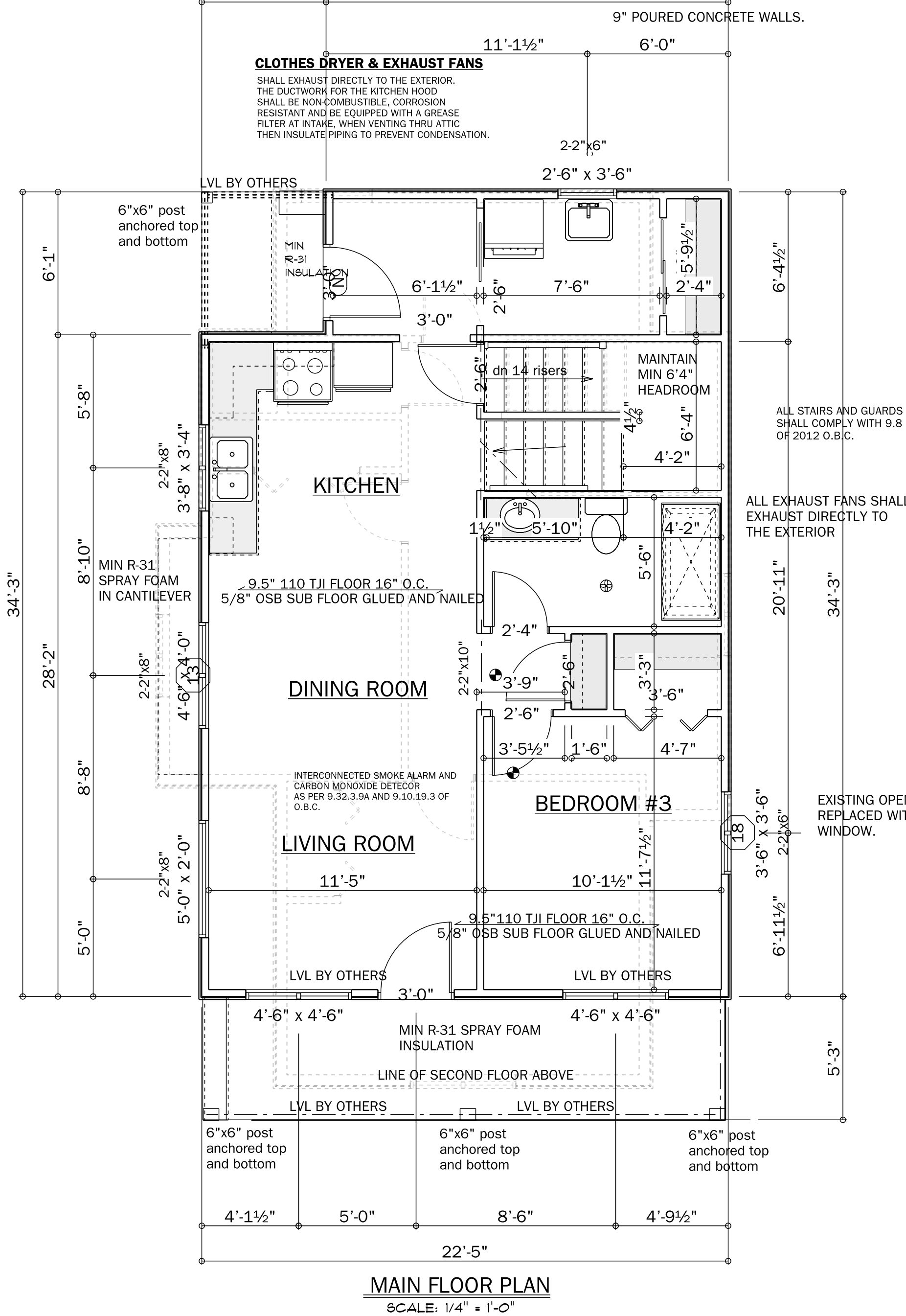
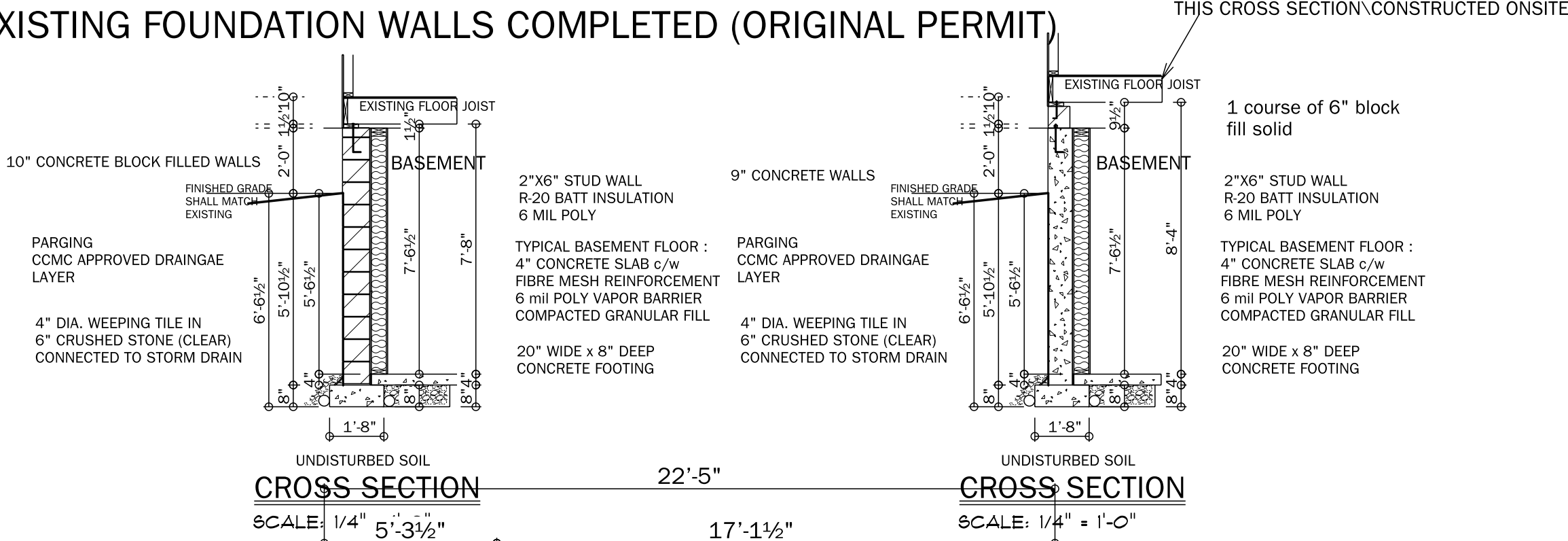
EXISTING/NEW
STRUCTURE

INTEGRA
RAFTING
SERVICES

BCIN
14724
31084



EXISTING FOUNDATION WALLS COMPLETED (ORIGINAL PERMIT)



1361 AUBIN

PROPOSED
NEW FOUNDATION
SECOND FLOOR

EXISTING/NEW
STRUCTURE

INTEGRA
RAFTING
SERVICES

BCIN
14724
31084