

Notice of Public Hearing – Committee of Adjustment Application

File # A-073/26 - 3865 KATHLEEN ST

Date Mailed: August 26, 2026

Electronic hearing:

By videoconference on September 10, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on August 26, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 1552 N PT LOT 147

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential District 1.4 (RD1.4)

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: ATHEER AL-SAHAR Applicant Name: Abdullah Hussein		3865 KATHLEEN ST

PURPOSE OF APPLICATION

Minor Variance - Proposed addition to single unit dwelling where a portion of the addition will include an additional dwelling unit, requesting relief for increased maximum gross floor area and reduced minimum separation from a lot line for steps having a height of greater than 0.30m.

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-law 8600	10.4.10.10	Maximum Gross Floor Area - Main Building	400 m ²	421 m ²
Zoning By-law 8600	5.30.10.76.ii	Maximum separation from any lot line for Steps having a height greater than 0.30m above ground	1.20 m	0.56 m

How do I participate if I have comments or concerns?**Submit written comments**

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

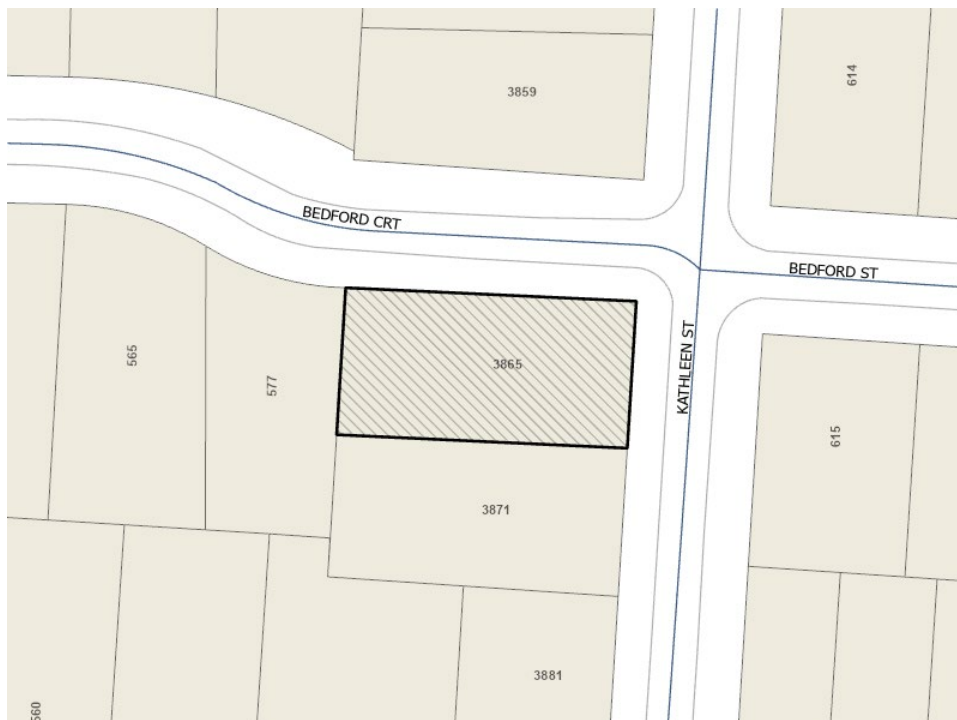
Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

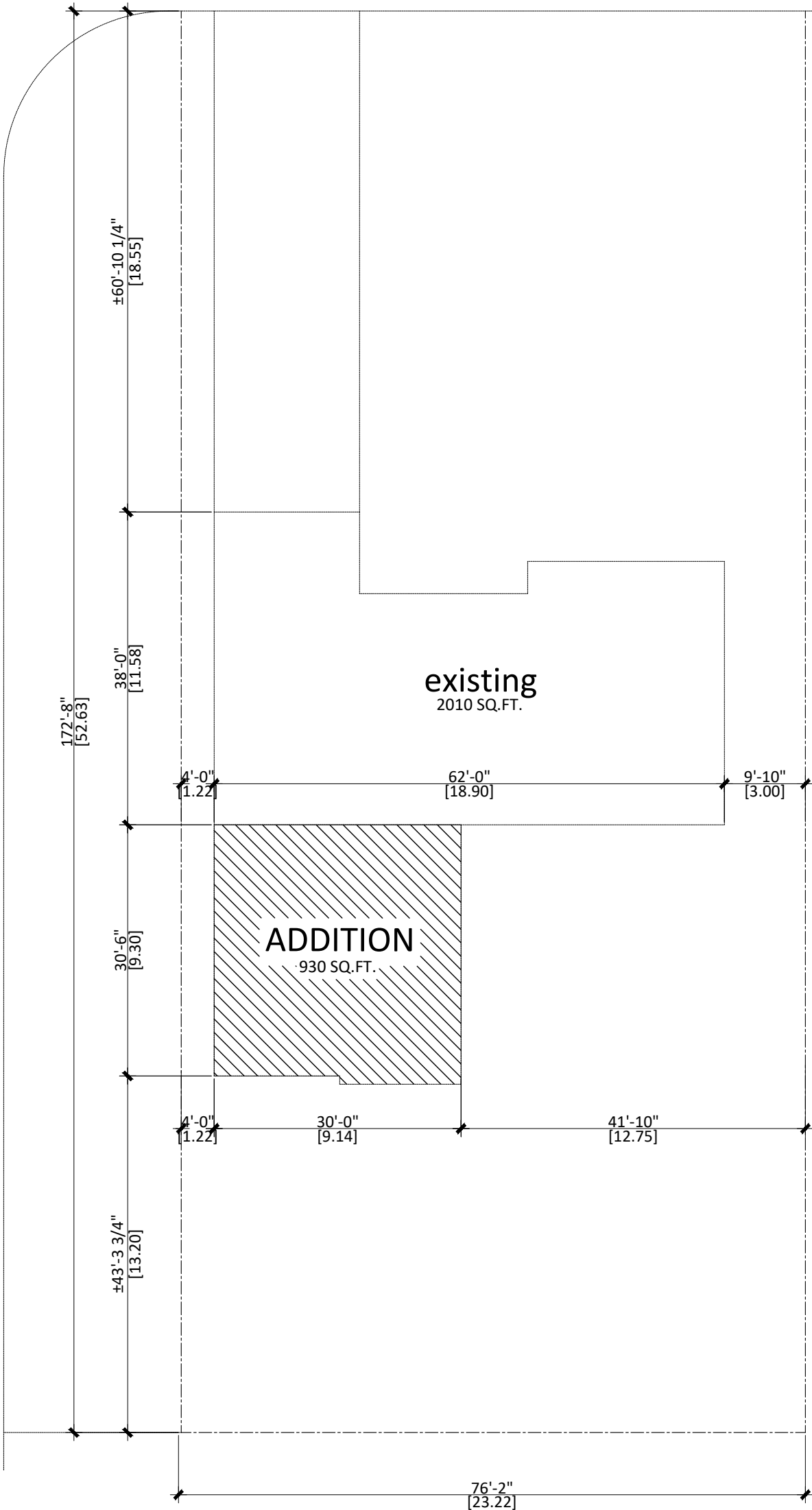
If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.

**Contact Information:**

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca

KATHLEEN

OWNER/G.C. TO APPLY FOR PERMIT PRIOR TO WORK TO VERIFY ZONING AND CONFORMANCE



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE

STACIE AMO TEASDALE 32999
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGNED IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE

CQ DESIGN GROUP 103384
FIRM NAME BCIN

GENERAL NOTES

._THESE GENERAL NOTES REFER TO ALL ARCHITECTURAL DRAWINGS
._THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE SOLE PROPERTY OF CQ DESIGN GROUP
._BUILDING CLASSIFICATION UNDER THE BUILDING CODE IS PART 9

._ALL WORK SHALL COMPLY OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, FIRE CODE, PLUMBING CODE, ELECTRICAL CODE AND/OR LOCAL BY-LAWS
._THESE DRAWINGS ARE FOR MIN. BUILDING PERMIT ONLY AND DO NOT GIVE ALL DETAILS FOR COMPLETE BUILDING PROCESS G.C. IS RESPONSIBLE FOR ALL OTHER DETAILS, INFORMATION, ENG. STAMPS FOR CONC. REINFORCING FORCES OR POINT LOADING DIAGRAM, UNTEL DESIGNS, BEAM REINFORCEMENT NEEDED FOR BUILDING PERMIT PROCESS IF REQUESTED BY LOCAL MUNICIPAL AUTHORITIES.
._DO NOT SCALE DRAWINGS

._ALL DIMENSIONS ON PLANS ARE SHOWN IN NOMINAL DIMENSIONS FOR EASE OF CONSTRUCTION AND ADDING OF FRACTIONS
._SITE CHECK ALL DIMENSIONS AND EXISTING CONDITIONS AS REQUIRED, PRIOR TO BIDDING AND COMMENCEMENT OF WORK

._G.C. OR OWNER IS TO COORDINATE ALL APPLICABLE ARCHITECTURAL AND MECHANICAL DRAWINGS OR SUB-TRADES DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION - THIS DESIGNER IS NOT RESPONSIBLE FOR MECHANICAL DUCT INTERFERENCES OR DUCT LAYOUTS, ELECTRICAL LAYOUTS OR ELECTRICAL REQUIREMENTS

._SHOULD ANY CONFLICTS ARISE, NOTIFY THE DESIGNER IMMEDIATELY, IN WRITING, PRIOR TO PROCEEDING WITH ANY WORK

._ENGINEERING (AS NOTED OR IF REQUIRED) BY OTHERS

._ELECTRICAL, MECHANICAL AND HVAC AND PLUMBING BY OTHERS (AS PER O.B.C.)

._THE DESIGNER IS NOT RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS AND OR TECHNIQUES USED IN CONSTRUCTION

._THE CONTRACT BETWEEN THE CONTRACTOR AND PURCHASER SUPERSEDES THE DRAWINGS

._G.C. IS RESPONSIBLE TO KEEP ALL DESIGN COMPONENTS AND LAYOUT THE SAME AS PER THESE DRAWINGS. FAILURE TO DO SO VOIDS THESE DRAWINGS AND FIELD MEASUREMENTS AND MUST BE DONE TO SIT ON SITE CONDITIONS. THIS CONTRACTOR MUST PAY FOR THESE REVISIONS

._THIS CONSULTANT WAS HIRED VERBALLY AND WAS FURNISHED MARKUP SKETCHES BY E-MAIL - NO REAL ESTATE OR SALES INFO OF HOME WAS PROVIDED TO THIS DESIGNER NOTE: IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK ALL OWNERS DETAILS AND PRICE OPTIONS BEFORE PERMIT IS SUBMITTED

._DESIGNER IS NOT HIRED NOR RESPONSIBLE FOR CONSTRUCTION REVIEW DURING CONSTRUCTION - IF ANY INTERIOR OR EXTERIOR CHANGES OR MODIFICATIONS MADE BY G.C. DURING CONSTRUCTION WITHOUT NOTIFYING THE DESIGNER THEN THE DESIGNER TAKES NO RESPONSIBILITY FOR CHANGES AND OR ERRORS MADE DURING CONSTRUCTION

._THE OWNER IS RESPONSIBLE FOR HIRING A QUALIFIED GENERAL CONTRACTOR AND SUB-TRADES WITH A MINIMUM 10 YEARS OF HOME BUILDING EXPERIENCE

._IF OWNER BECOMES G.C. HE/SHE ALONE TAKES THE RESPONSIBILITY OF THE COORDINATION OF ALL SUB-TRADES ON SITE AND ANY CONFLICTS DUE TO LACK OF CONSTRUCTION EXPERIENCE IS NOT THIS DESIGNERS RESPONSIBILITY

._THE OWNER IS RESPONSIBLE FOR HIRING A QUALIFIED WOOD FRAMER WITH MINIMUM 10 YEARS OF HOME BUILDING EXPERIENCE WITH ROOF TRUSS FRAMING EXPERIENCE ALONG WITH JOINING CONVENTIONAL RAFTERS TO TRUSS FRAMING EXPERIENCE

._G.C. TO CONFIRM "ERCA" REQUIREMENTS AND SITE CONDITIONS PRIOR TO CONSTRUCTION

._THIS DESIGNER IS NOT RESPONSIBLE FOR LOCATING THE STRUCTURE ON THE SITE. AN ONTARIO LAND SURVEYOR IS RECOMMENDED TO LOCATE THE STRUCTURE, SET THE GRADE, AND TO PRODUCE LOT GRADING PLANS

._A MIN. 2% GRADING TO BE MAINTAINED AROUND THE STRUCTURE

THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, APPROVALS AND DEVELOPMENTAL SITE CONDITIONS, AND LOT RESTRICTIONS.

._ALL WORK AND STORAGE AREAS ON SITE SHALL BE ESTABLISHED BY THE OWNER PRIOR TO COMMENCEMENT OF WORK. ALL ESTABLISHED BOUNDARIES SHALL BE STRICTLY OBSERVED.

._ALL NEW SITE DRAINAGE WORK TO BE IN ACCORDANCE WITH LOCAL BY-LAWS. RE-GRADE WHERE REQUIRED AND EXTEND TO ORIGINAL GRADE LEVELS. PROVIDE NEW SODDING AND APPROPRIATE TOPSOIL AS REQUIRED.

._THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED TO EXISTING SODDING, ASPHALT, CURBS, WALKWAYS, FENCES, ALL BUILDING SERVICES, TREES AND SHRUBS. THE GENERAL CONTRACTOR SHALL REPLACE OR REPAIR DAMAGED AREAS TO MATCH ADJOINING AND EXISTING SURFACES.

._G.C. MUST HIRE ONT. LAND SURVEYOR TO PLACE HOME ON SITE AND SET ELEVATIONS FOR EXCAVATIONS.

._THIS CONSULTANT IS UNAWARE OF ANY SOIL BEARING CAPACITY PROBLEMS. THIS CONSULTANT HAS ADVISED OWNER TO INVOLVE A GEOTECHNICAL CONSULTANT THROUGHOUT CONSTRUCTION TO ADVISE CONSULTANT OF ALL SUBSURFACE CAPACITIES. IF ANY SOIL PROBLEMS EXIST THE OWNER MUST HIRE A ENG. TO SOLVE THESE PROBLEMS AND PAY FOR ALL FEES AND EXTRA MATERIALS DURING THIS TIME.



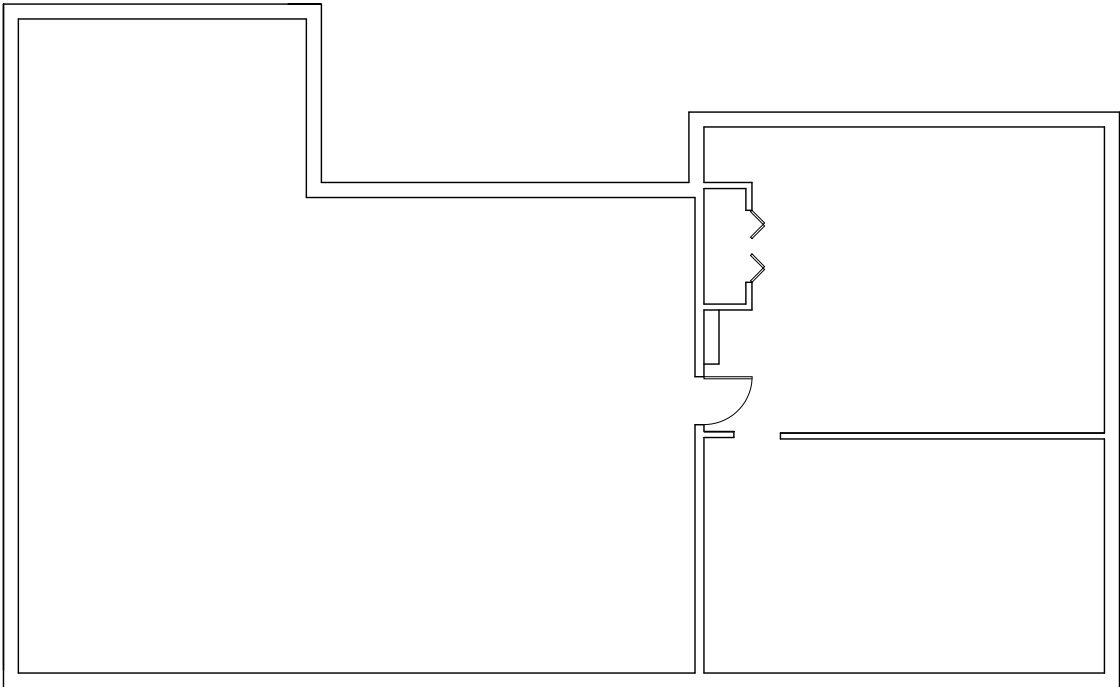
01	--	ISSUED FOR PERMIT
no.	date	revision

client	
project	3865 KATHLEEN ST ADDITION
drawing	SITE PLAN

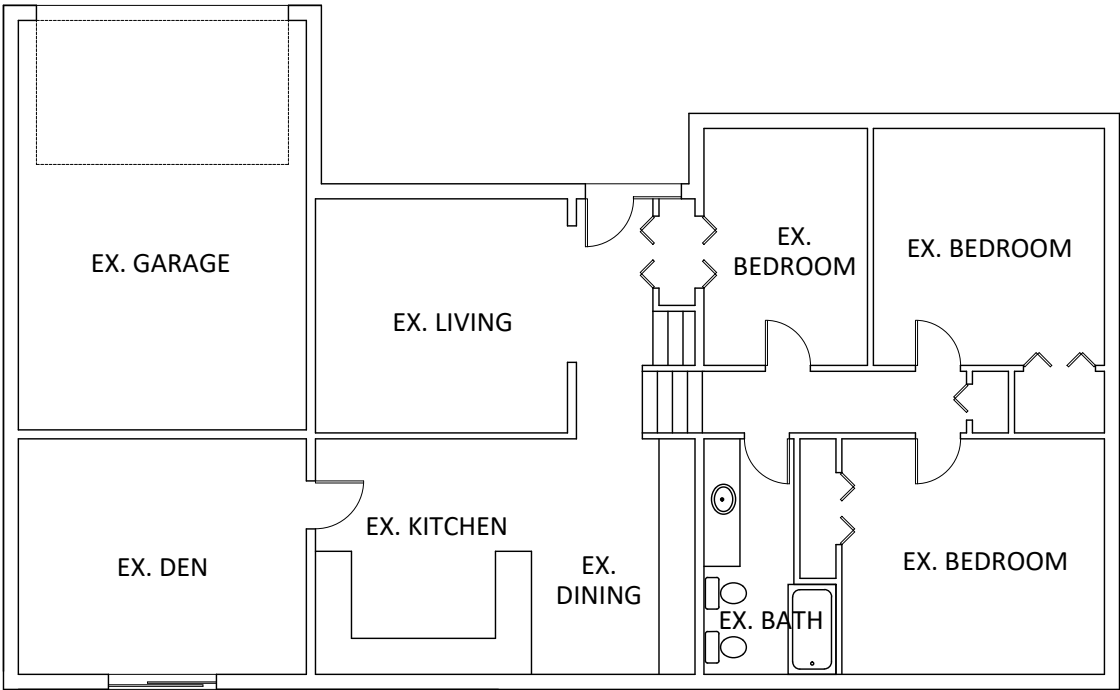
scale	1/16"=1'-0"
date	JUNE 2026
drawn by	ST
checked by	

A0

notes
._do not scale drawings ._all dimensions are to be checked and verified on the job site ._any and all discrepancies are to be reported to the designer before construction
north



existing foundation plan: 756 sq.ft.
3/32"=1'-0"



existing main floor plan: 2010 sq.ft.
3/32"=1'-0"



01	--	ISSUED FOR PERMIT
no.	date	revision

client	
project	3865 KATHLEEN ST ADDITION
drawing	EXISTING PLANS

scale	3/32"=1'-0"
date	JUNE 2026
drawn by	ST
checked by	
drawing no.	A00

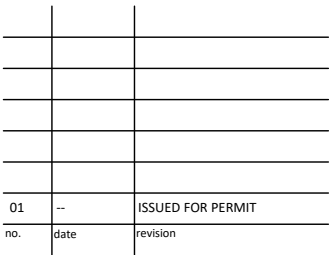
notes
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verified on the job site
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to the designer before construction
north



EXISTING WALL

NEW WALL

NOTE:
_G.C. TO CONFIRM ALL DIMENSIONS ON SITE



client

project 3865 KATHLEEN ST
ADDITION

drawing FOUNDATION PLAN

scale $3/32"=1'-0"$ date JUNE 2026

drawn by ST drawing no. A1

checked by

notes

- _do not scale drawings
- _all dimensions are to be checked and verified on the job site
- _any and all discrepancies are to be reported to the designer before construction

north

cq design group 519.817.6241 | stacie@cqadesign.com

WOOD LINTEL SCHEDULE (INTERIOR)			
LINTEL SIZE	MAX. SPAN		
	ROOF + CEILING ONLY	ROOF + CEILING AND 1 STOREY	ROOF + CEILING AND 2 STOREY
2- 2"x4"	3'-0"	2'-5"	2'-1"
2- 2"x6"	4'-5"	3'-3"	2'-10"
2- 2"x8"	5'-4"	3'-11"	3'-5"
2- 2"x10"	6'-7"	4'-9"	4'-2"
2- 2"x12"	7'-7"	5'-5"	4'-9"

WOOD LINTEL SCHEDULE (EXTERIOR)			
LINTEL SIZE	MAX. SPAN		
	ROOF + CEILING ONLY	ROOF + CEILING AND 1 STOREY	ROOF + CEILING AND 2 STOREY
2- 2"x4"	4'-1"	3'-5"	3'-0"
2- 2"x6"	6'-4"	4'-10"	4'-6"
2- 2"x8"	7'-8"	5'-11"	5'-4"
2- 2"x10"	9'-5"	7'-3"	6'-6"
2- 2"x12"	10'-11"	8'-5"	7'-6"

NOTES:
_SPANS BASED ON TABLE A-15, 1.0 kPa SPECIFIED SNOW LOAD
_SPRUCE - PINE - FIR LINTEL - NO. 1 OR NO. 2 GRADE
_ROOF + CEILING ONLY (TRIBUTARY WIDTH OF 4.9M MAXIMUM)
_FOR ENDS OF LINTELS FULLY SUPPORTED BY WALLS, PROVIDE MINIMUM BEARING LENGTH OF 1.5" (38 mm) FOR LINTEL SPANS UP TO 9'-10" (3 M), OR MINIMUM BEARING LENGTH OF 3.0" (76 mm) FOR LINTEL SPANS GREATER THAN 9'-10" (3 M)

STEEL LINTEL SCHEDULE (EXTERIOR)		
MAX CLEAR SPAN	EXTERIOR ANGLES	
	FOR BRICK 100 mm	FOR STONE 100 mm + 50 mm STONE FACING
3'-10" OR LESS	3-1/2" X 3-1/2" X 1/4"	5" X 3-1/2" X 1/2"
4'-10" OR LESS	3-1/2" X 3-1/2" X 5/16"	5" X 3-1/2" X 1/2"
5'-10" OR LESS	4" X 4" X 5/16"	5" X 5" X 5/16"
6'-10" OR LESS	4" X 4" X 5/16"	5" X 5" X 5/16"
7'-10" OR LESS	5" X 3-1/2" X 5/16"	5" X 5" X 5/16"
8'-10" OR LESS	6" X 4" X 7/16"	5" X 5" X 7/16"
9'-10" OR LESS	6" X 4" X 7/16"	5" X 5" X 1/2"

NOTES:
_SPANS BASED ON TABLE 9.20.5.2.A.
_STEEL LINTELS SHALL HAVE NOT LESS THAN 6" (150 mm) LENGTH OF BEARING AT END SUPPORTS AND BEAR ON MASONRY, CONCRETE OR STEEL

EXTERIOR WALL STUDS		
STUD LENGTH	SUPPORTING 19'-8" OF ROOF (BRICK)	SUPPORTING 19'-8" OF ROOF (SIDING)
12'-5"	2x6" at 16"	2x6" at 16"
13'-9"	2x6" at 12"	2x6" at 16"
15'-1"	2-2x6" at 16"	2x6" at 16"
16'-4"	2-2x6" at 16"	2x6" at 16"
17'-4"	2-2x6" at 12"	2x6" at 12"
18'-4"	2-2x6" at 12"	2x6" at 12"
ASSUMES 0.5 kPa HOURLY WIND PRESSURE AND 1.0 kPa SNOW LOAD, BASED ON A-30 & A-31 O.B.C.		

NOTE:
_ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES
_ALL DIMS ARE NOMINAL AND ARE TO BE ADJUSTED IN FIELD
_ALL DIMS SHOWN ARE TO FACE OF ROUGH STUD/FOUNDATION WALL
_MINIMUM HEADROOM UNDER DUCTS AND BEAMS TO BE 6'-5"
_STAIR RAILING & GUARDS; 36" HIGH WOOD RAILING TO CONFORM TO DETAILS SB-7 OF THE OBC SUPPLEMENTARY GUIDELINES
_ALL LOADS SHOWN ARE UNFACTORED
_S.P. 4-2X4 OR 3-2X6 UNLESS OTHERWISE NOTED
_G.C. AND ENG. TRUSS COMPANY MUST FIELD MEASURE STUDS WALLS PRIOR TO FABRICATION OF TRUSSES
_DESIGNER IS NOT RESPONSIBLE FOR G.C. FAILURE TO COORDINATE DIM. WITH TRUSS MANUFACTURER AND COORDINATION OF SAME
_ALL ENGINEERING BY OTHERS
_ALL NON-LOADBEARING WALLS PARALLEL TO THE FLOOR JOISTS SHALL BE SUPPORTED BY JOISTS BENEATH THE WALL OR ON BLOCKING BETWEEN THE JOISTS @ 48" O/C
_GC TO VERIFY WINDOW SIZE AND PLACEMENT BEFORE ORDERING
_ALL WINDOWS AND DOOR SIZES TO BE CONFIRMED BY BUILDER - SIZES SHOWN DO NOT NECESSARILY REFLECT ACTUAL PRODUCT SIZES
_EXACT DOOR AND WINDOW SIZES* TO BE CONFIRMED BY OWNER
_WINDOW SIZES SHALL NOT EXCEED EEDS FOR SB-12 COMPLIANCE
_BEFORE CONSTRUCTION OBTAIN ROUGH OPENING SIZES FROM WINDOW/DOOR MANUFACTURER
_INTERCONNECTED SMOKE ALARM REQUIRED ON ALL LEVELS. CARBON MONOXIDE DETECTOR REQUIRED AT BEDROOM AREA.
_SMOKE ALARM: VISUAL COMPONENT REQUIRED TO MEET UL1971 (STROBE)
_EXHAUST FANS AND DUCTS SHALL BE SIZED ACCORDING TO OBC PART 6 OR 9.32. ALL FANS SHALL EXHAUST DIRECTLY OUTDOORS. KITCHEN EXHAUST SHALL BE NON-COMBUSTIBLE PIPE.
_VAULTED CEILING TO INCLUDE BATTS INSULATION

NON-LOADBEARING WALLS PARALLEL TO THE FLOOR JOISTS SHALL BE SUPPORTED BY JOISTS BENEATH THE WALL OR ON BLOCKING BETWEEN THE JOISTS @ 48" O.C.

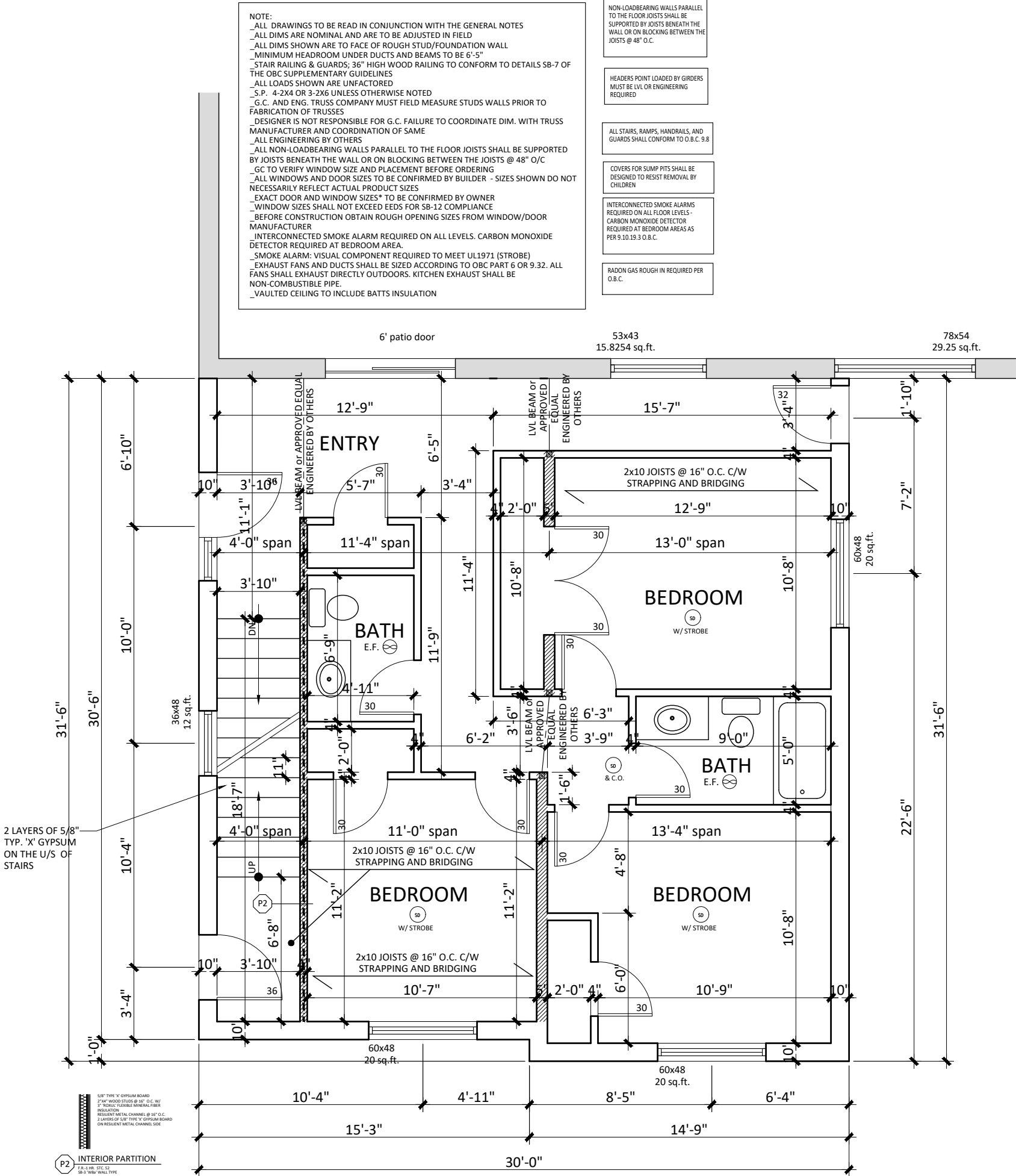
HEADERS POINT LOADED BY GIRDERS MUST BE LVL OR ENGINEERING REQUIRED

ALL STAIRS, RAMPS, HANDRAILS, AND GUARDS SHALL CONFORM TO O.B.C. 9.8

COVERS FOR SUMP PITS SHALL BE DESIGNED TO RESIST REMOVAL BY CHILDREN

INTERCONNECTED SMOKE ALARMS REQUIRED ON ALL FLOOR LEVELS - CARBON MONOXIDE DETECTOR REQUIRED AT BEDROOM AREAS AS PER 9.10.19.3 O.B.C.

RADON GAS ROUGH IN REQUIRED PER O.B.C.



main floor plan

930 square feet

LEGEND:
EXISTING WALL
NEW WALL
FIRE RATED WALL

NOTE:
_G.C. TO CONFIRM ALL DIMENSIONS ON SITE

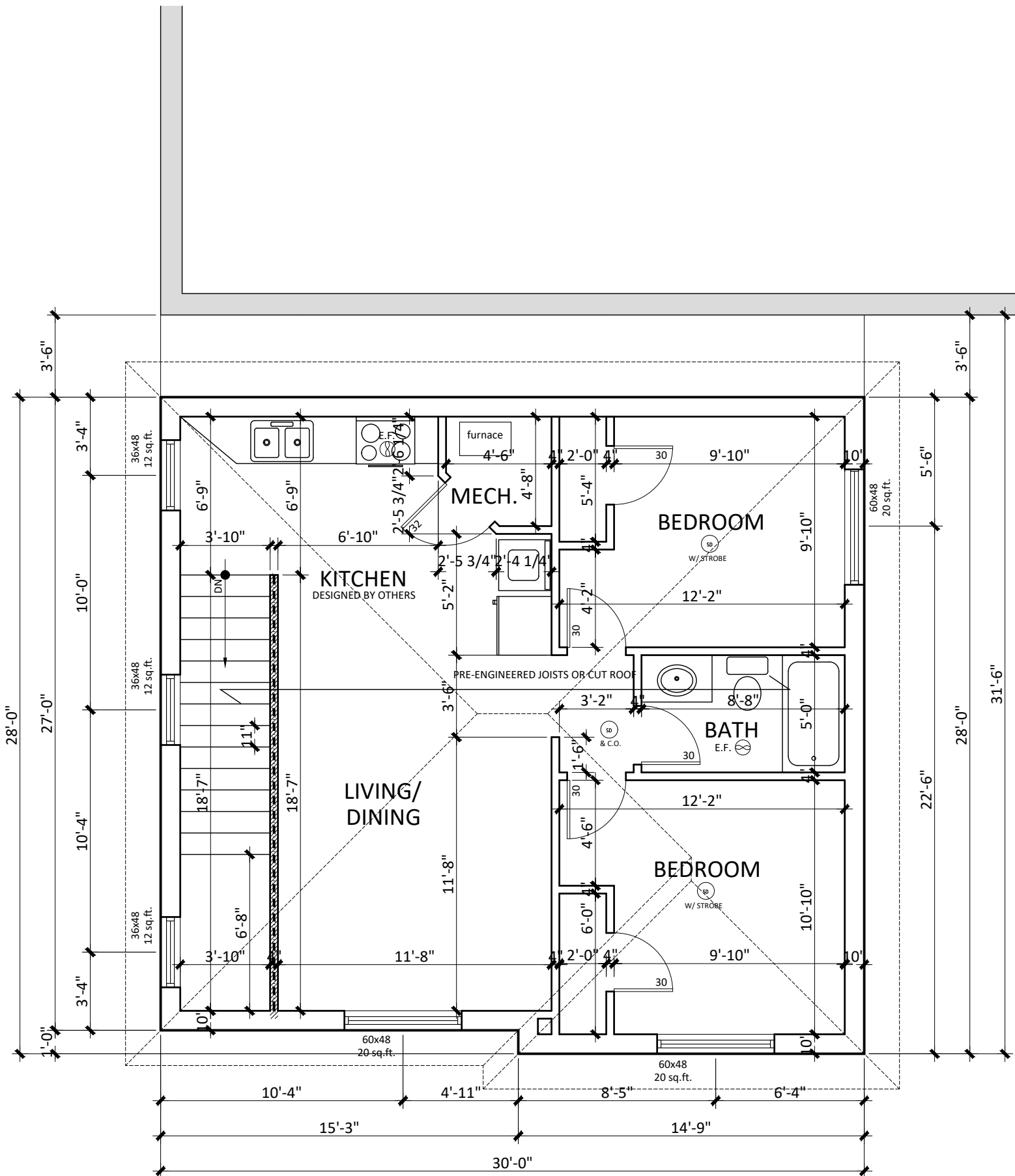


01	--	ISSUED FOR PERMIT
no.	date	revision

client
project 3865 KATHLEEN ST ADDITION
drawing MAIN FLOOR PLAN

scale 3/32"=1'-0"
date JUNE 2026
drawing no.
checked by
A2

notes
_do not scale drawings
_all dimensions are to be checked and verified on the job site
_any and all discrepancies are to be reported to the designer before construction
north



second floor plan

810 square feet

- LEGEND:
- EXISTING WALL
 - NEW WALL

NOTE:
_G.C. TO CONFIRM ALL DIMENSIONS ON SITE



01	--	ISSUED FOR PERMIT
no.	date	revision

client
project 3865 KATHLEEN ST
ADDITION
drawing SECOND FLOOR PLAN

scale 3/32"=1'-0"
date JUNE 2026
drawn by ST
checked by
drawing no. A3

notes
_do not scale drawings
_all dimensions are to be checked and
verified on the job site
_any and all discrepancies are to be reported
to the designer before construction
north



front elevation

_ALL WINDOWS AND DOOR SIZES TO BE CONFIRMED BY BUILDER - SIZES SHOWN DO NOT NECESSARILY REFLECT ACTUAL PRODUCT SIZES
_EXACT DOOR AND WINDOW SIZES TO BE CONFIRMED BY OWNER
_WINDOW SIZES SHALL NOT EXCEED EEDS FOR SB-12 COMPLIANCE
_BEFORE CONSTRUCTION OBTAIN ROUGH OPENING SIZES FROM WINDOW/DOOR MANUFACTURER

_G.C. RESPONSIBLE FOR REVIEWING AND APPROVING ENGINEERED ROOF AND FLOOR TRUSS DESIGNS PRIOR TO MANUFACTURING AND MUST RELAY ANY RELEVANT INFORMATION TO THIS DESIGNER

_EXTERIOR FINISHES AND FINISHING SYSTEMS ARE FOR DEMONSTRATION. G.C. MAY USE APPROVED FINISHES AND FINISHING SYSTEMS THAT MEET MINIMUM DESIGNER MUST BE INFORMED AND APPROVE CHANGES FROM DEMONSTRATED FINISHES AND FINISHING SYSTEMS

_WINDOW AND DOOR SIZES ARE FOR REFERENCE ONLY. G.C. TO CONFIRM ALL SIZES w/ MANUF. OR SUPPLIER AND NOTIFY THIS DESIGNER OF ANY SIGNIFICANT CHANGES

_G.C. TO OVERSEE ROOF DESIGN AND ADD SADDLES AS NECESSARY FOR ROOF DRAINAGE -

FINAL ROOF DESIGN TO BE COMPLETED BY TRUSS MANUFACTURER

_G.C. IS RESPONSIBLE TO ALSO REVIEW TRUSS SHOP DWG'S AND APPROVE AND UNDERSTAND ALL CONSTRUCTION METHODS AND DETAILS OF PRELIM. ROOF SHOP DRAWINGS AND APPROVE PRIOR TO SUBMITTING PERMIT DRAWINGS BY THIS DESIGNER

_G.C. MUST CHECK ALL DIMENSION OF PLANS AND FIELD DIM. PRIOR TO ORDERING PRE. ENG TRUSSES AND REPORT AND DIFFERENCES TO THIS DESIGNER IN WRITING IMMEDIATELY PRIOR TO ERECTION AND FABRICATION OF TRUSSES



01	--	ISSUED FOR PERMIT
no.	date	revision

client	
project	3865 KATHLEEN ST ADDITION
drawing	ELEVATIONS

scale	3/16"=1'-0"
date	JUNE 2026
drawn by	ST
checked by	

A4

notes
_do not scale drawings _all dimensions are to be checked and verified on the job site _any and all discrepancies are to be reported to the designer before construction
north



right elevation



left elevation



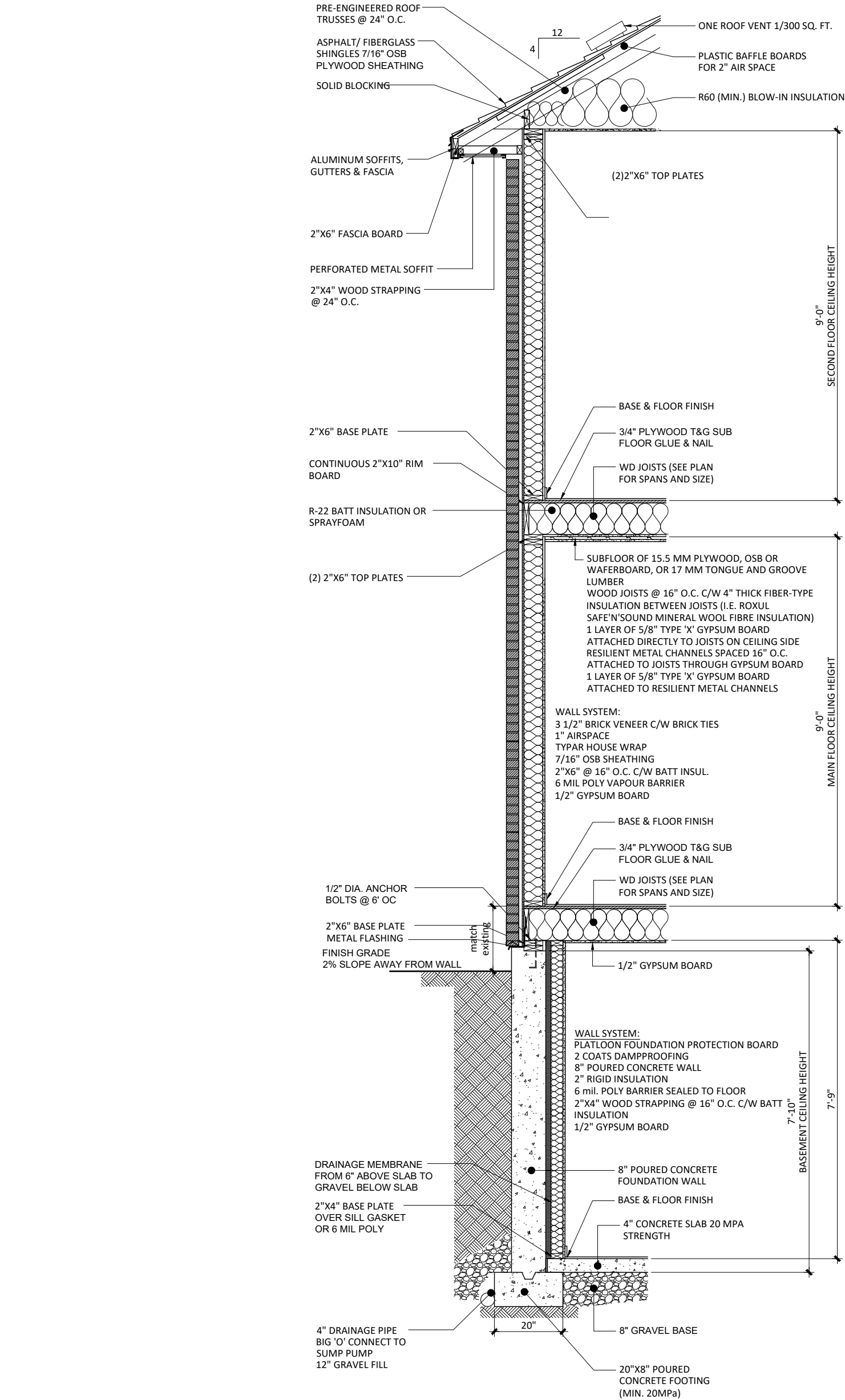
no.	date	revision
01	--	ISSUED FOR PERMIT

client	
project	3865 KATHLEEN ST ADDITION
drawing	ELEVATIONS

scale	3/16"=1'-0"
date	JUNE 2026
drawn by	ST
checked by	

A5

notes
_do not scale drawings
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verified on the job site
_any and all discrepancies are to be reported
to the designer before construction
north



01	--	ISSUED FOR PERMIT
no.	date	revision

client	
project	3865 KATHLEEN ST ADDITION
drawing	TYPICAL WALL SECTION

scale	3/8"=1'-0"
date	JUNE 2026
drawn by	ST
checked by	

A6

notes

_do not scale drawings

_all dimensions are to be checked and verified on the job site

_any and all discrepancies are to be reported to the designer before construction

north