

Notice of Public Hearing – Committee of Adjustment Application

File # A-073/25

Date Mailed: September 3, 2025

Electronic hearing:

By videoconference on September 18, 2025 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on September 3, 2025. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 997; LOTS 154 & 155 & PT CLOSED ALLEY' RP 12R26351; PARTS 1; 12 & 23

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	RD2.2

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: 2434233 ONTARIO LTD  Applicant Name: NAJM ENGINEERING LTD		2198 DAYTONA AVE

PURPOSE OF APPLICATION

Minor Variance - Request for relief from the maximum gross floor area for a semi-detached dwelling, and from the maximum gross floor area and height requirements for an accessory building with an Additional Dwelling Unit (ADU).

By-Law	Provision	Provision Description	Requirement	Proposed
8600	11.2.5.2.10	Maximum Gross Floor Area - Main Building	400.0 m <sup>2</sup>	445.0 m <sup>2</sup>
8600	5.99.80.1.5.b.7	Maximum Accessory Building ADU Gross Floor Area	100.0 m <sup>2</sup>	102.0 m <sup>2</sup>
8600	5.99.80.1.5.b.4	Maximum Accessory Building ADU Height	6.0 m	6.24 m

**Type of Consent Application Transaction:**

**How do I participate if I have comments or concerns?**

**Submit written comments**

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

**Participate in the hearing by videoconference (Microsoft Teams)**

**Two ways to register:** 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

**Applicant(s)** – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

**Notice of Decision**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer ([jwatson@citywindsor.ca](mailto:jwatson@citywindsor.ca)). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:  
 Jessica Watson  
 Secretary-Treasurer  
 Committee of Adjustment  
 Suite 320, 350 City Hall Square West  
 Windsor, ON N9A6S1  
 Phone: 519-255-6543 ext. 6450 or 6436  
[COAAdjustment@citywindsor.ca](mailto:COAAdjustment@citywindsor.ca)



# ABBREVIATIONS

&	AND	JAN.	JANITOR
/	ANGLE	JT.	JOINT
@	AT		
¢	CENTERLINE	KIT.	KITCHEN
~	DIAMETER OR ROUND		
#	POUND OR NUMBER	LAB.	LABORATORY
(E)	EXISTING	LAM.	LAMINATE
		LAV.	LAVATORY
ACOUS	ACOUSTICAL	LKR.	LOCKER
A.D.	AREA DRAIN	LT.	LIGHT
ADJ.	ADJUSTABLE		
AGGR.	AGGREGATE	MAX.	MAXIMUM
AL.	ALUMINUM	M.C.	MEDICINE
APPROX.	APPROXIMATE	MECH.	MECHANICAL
ARCH.	ARCHITECTURAL	MEMB.	MEMBRANE
ASB.	ASBESTOS	MET.	METAL
ASPH.	ASPHALT	MFR.	MANUFACTURER
		MH.	MANHOLE
BD.	BOARD	MIN.	MINIMUM
BITUM.	BITUMINOUS	MIR.	MIRROR
BLDG.	BUILDING	MISC.	MISCELLANEOUS
BLK.	BLOCK	M.O.	MASONRY OPENING
BLKG.	BLOCKING	MTD.	MOUNTED
BM.	BEAM	MUL.	MULLION
B.O.P.	BOTTOM OF PANEL		
B.O.R.	BOTTOM OF REVEAL	N.	NORTH
BOT.	BOTTOM	N.I.C.	NOT IN CONTRACT
		NO. OR #	NUMBER
CAB.	CABINET	NOM.	NOMINAL
C.B.	CATCH BASIN	N.T.S.	NOT TO SCALE
CEM.	CEMENT		
CER.	CERAMIC	O.A.	OVERALL
C.I.	CAST IRON	OBS.	OBSCURE
C.G.	CORNER GUARD	O.C.	ON CENTER
CLG.	CEILING	O.D.	OUTSIDE DIAMETER (DIM.)
CLKG.	CAULKING	OFF.	OFFICE
CLO.	CLOSET	OPNG.	OPENING
CLR.	CLEAR	OPP.	OPPOSITE
C.O.	CASED OPENING		
COL.	COLUMN	PRCST.	PRE-CAST
C.O.M.	CENTER OF MULLION	PL.	PLATE
CONC.	CONCRETE	P.LAM.	PLASTIC LAMINATE
CONN.	CONNECTION	PLAS.	PLASTER
CONSTR.	CONSTRUCTION	PLYWD.	PLYWOOD
CONT.	CONTINUOUS	PNL	PANEL
C.O.R.	CENTRE OF RADIUS	PT	PAINT
CORR.	CORRIDOR	PR.	PAIR
CTSK.	COUNTERSUNK	P.T.D.	PAPER TOWEL DISPENSER
CNTR.	COUNTER	P.T.D/R	COMBINATION PAPER TOWEL
CTR.	CENTRE	PTN.	PARTITION
		P.T.R.	PAPER TOWEL RECEPTACLE
DBL.	DOUBLE	Q. T.	QUARRY TILE
DEPT.	DEPARTMENT		
D.F.	DRINKING FOUNTAIN	R.	RISER
DET.	DETAIL	RAD.	RADIUS
DIA.	DIAMETER	R.D.	ROOF DRAIN
DIM.	DIMENSION	REF.	REFERENCE
DISP.	DISPENSER	REFR.	REFRIGERATOR
DN.	DOWN	RGTR.	REGISTER
D.O.	DOOR OPENING	REINF.	REINFORCED
DR.	DOOR	REQ.	REQUIRED
DWR.	DRAWER	RESIL.	RESILIENT
DS.	DOWNSPOUT	RM.	ROOM
D.S.P.	DRY STANDPIPE	R.O.	ROUGH OPENING
DWG.	DRAWING	RWD.	REDWOOD
		R.W.L.	RAIN WATER LEADER
E.	EAST	S.	SOUTH
EA.	EACH	S.C.	SOLID CORE
E.J.	EXPANSION JOINT	S.C.D.	SEAT COVER DISPENSER
EL.	ELEVATION	SCHED.	SCHEDULE
ELEC.	ELECTRICAL	S.D.	SOAP DISPENSER
ELEV.	ELEVATOR	SECT.	SECTION
EMER.	EMERGENCY	SHF.	SHELF
ENCL.	ENCLOSURE	SHR.	SHOWER
E.P.	ELECTRICAL PANELBOARD	SHT.	SHEET
EQ.	EQUAL	SIM.	SIMILAR
EQPT.	EQUIPMENT	S.N.D.	SANITARY NAPKIN DISPENSER
E.W.C.	ELECTRIC WATER COOLER	S.N.R.	SANITARY NAPKIN RECEPTACLE
EXT.	EXISTING	SPEC.	SPECIFICATION
EXPO.	EXPOSED	SQ.	SQUARE
EXP.	EXPANSION	S.S.T.	STAINLESS STEEL
EXT.	EXTERIOR	S.SK.	SERVICE SINK
		STA.	STATION
F.A.	FIRE ALARM	STD.	STANDARD
F.B.	FLAT BAR	STL.	STEEL
F.D.	FLOOR DRAIN	STOR.	STORAGE
FDN.	FOUNDATION	STRL.	STRUCTURAL
F.E.	FIRE EXTINGUISHER	SUSP.	SUSPENDED
F.E.C.	FIRE EXTINGUISHER CAB	SYS.	SYMMETRICAL
F.H.C.	FIRE HOSE CABINET		
FIN.	FINISH		
FL.	FLOOR		
FLASH.	FLASHING	TRD.	TREAD
FLUOR.	FLUORESCENT	T.B.	TOWEL BAR
F.O.C.	FACE OF CONCRETE	T.C.	TOP OF CURB
F.O.F.	FACE OF FINISH	TEL.	TELEPHONE
F.O.S.	FACE OF STUD	TER.	TERRAZZO
FPRF.	FIREPROOF	T. & G.	TONGUE AND GROOVE
F.S.	FULL SIZE	TGL.	TEMPERED GLASS
FT.	FOOT OR FEET	THK.	THICK
FTG.	FOOTING	T.O.P.	TOP OF PANEL
FURR.	FURRING	T.O.R.	TOP OF REVEAL
FUT.	FUTURE	T.P.	TOP OF PAVEMENT
		T.P.D.	TOILET PAPER DISPENSER
GA.	GAUGE	T.V.	TELEVISION
GALV.	GALVANIZED	T.W.	TOP OF WALL
G.B.	GRAB BAR	TYP.	TYPICAL
GL.	GLASS		
GND.	GROUND	UNF.	UNFINISHED
GR.	GRADE	U.O.N.	UNLESS OTHERWISE NOTED
GYP.	GYPSUM	UR.	URINAL
H.B.	HOSE BIBB	VERT.	VERTICAL
H.C.	HOLLOW CORE	VEST.	VESTIBULE
HDWD.	HARDWOOD	V.I.F.	VERIFY IN FIELD
HDWE.	HARDWARE		
H.M.	HOLLOW METAL	W.	WEST
HORIZ.	HORIZONTAL	W/	WITH
HR.	HOOR	W.C.	WATER CLOSET
HGT.	HEIGHT	WD.	WOOD

# SPECIFICATIONS

**05500 METAL WORK**

- ALL EXPOSED WELDED JOINTS SHALL BE CHIPPED AND GROUND SMOOTH. ALL MECHANICAL JOINTS SHALL HAVE A BUTT JOINT WITH A HAIRLINE SEAM.
- ALL ATTACHMENTS REQUIRED FOR METAL FRAMEWORK SHALL BE INCONSPICUOUS AND/OR INVISIBLE - UNLESS NOTED OTHERWISE.
- ALL METAL WORK SHALL BE FITTED AND FABRICATED IN THE METAL SHOP, PROVIDING FOR MINIMAL ASSEMBLY ON SITE.
- ALL ANCHORING DEVICES REQUIRED FOR THE COMPLETE INSTALLATION OF METALWORK SHALL BE PROVIDED BY THIS CONTRACTOR.
- ALL EXPOSED ENDS OF METAL TUBING SHALL BE CAPPED, WELDED AND GROUND SMOOTH.
- PREPARATION OF METAL SURFACES SHALL BE IN ACCORDANCE WITH FINISH MANUFACTURER INSTRUCTION IN REGARD TO SANDBLASTING, PRIMING, ELECTROPLATING AND SPRAY APPLICATION OF ANY APPLIED FINISH.
- THE METAL FABRICATOR SHALL SUBMIT SHOP DRAWINGS SHOWING LOCATIONS OF ALL CONNECTIONS, ANCHORAGE METHODS, SIZES, FINISHES ETC., OF ALL METALWORK, FOR APPROVAL BY THE DESIGNER PRIOR TO ANY FABRICATION.
- ALL METAL COMPONENTS WITH EXPOSED EDGES SHALL HAVE SMOOTH EDGES.
- ALL EXPOSED SCREWS BOLTS AND WASHERS SHALL BE FINISHED TO MATCH THE ADJACENT METAL FINISH. SUBMIT SAMPLES FOR APPROVAL PRIOR TO THE START OF WORK.
- ALL STEEL ANGLES AND LINTELS TO BE HOT-DIPPED GALV. AFTER FABRICATION**

**07270 FIRESTOPPING**

- SERVICE PENETRATION FIRESTOP SYSTEMS AND JOINT FIRESTOP SYSTEMS AS MANUFACTURED BY HILTI, TREMCO, A/D FIRE PROTECTION.
- CONTRACTOR SHALL FOLLOW DETAILS ON DRAWINGS.

**07900 CAULKING AND SEALANTS**

- EXTERIOR SEALANT: MULTI-COMPONENT CHEMICALLY CURING SEALING TO MEET CAN/CGSB -19.24-M.
- INTERIOR SEALANT: AROUND WINDOWS AND DOORS TO MEET CGSB-19.13-M.
- SILICONE SEALANT: FOR PLUMBING FIXTURES AND VANITY TOPS. MILDEW RESISTANT TO MEET CGSB -19.13-M.
- PAINTABLE INTERIOR SEALANT: ONE PART ACRYLIC/LATEX TO MEET CAN/CGSB 19.17-M.
- CAULK BETWEEN ALL EXPOSED DISSIMILAR MATERIALS.**

**08740 FINISHING HARDWARE**

- HARDWARE SHALL BE ACCORDING TO SCHEDULE IN THE DRAWINGS. HARDWARE TO BE HEAVY DUTY COMMERCIAL QUALITY. HARDWARE IS SUPPLIED BY MARVIN EXCEPT THE POWER DOOR OPERATOR.
- CONTRACTOR SHALL SUPPLY A COMPLETE HARDWARE SCHEDULE PREPARED BY THE SUPPLIER.
- COORDINATE MASTER KEYING SYSTEM WITH OWNER.
- USE TEMPORARY CYLINDERS DURING CONSTRUCTION. INSTALL PERMANENT CYLINDERS AFTER PROJECT COMPLETION
- POWER DOOR OPERATOR: OMEGA OAL-100 UNK
- SUBMIT SHOP DRAWINGS FOR APPROVAL.

**GYPSUM BOARD:**

- SUPPLY, INSTALL AND TAPE ALL GYPSUM BOARD IN ACCORDANCE WITH BEST INDUSTRY STANDARDS. TAPE, FILL, SAND, SMOOTH AND LEVEL ALL JOINTS, EDGES, CORNERS, ETC. PROVIDE METAL CORNER BEADS AND "J" MOLDS AT ALL CORNERS AND ENDS OF GYPSUM BOARD RESPECTIVELY.
- GYPSUM BOARD: TO CSA A82.27-M1991: STANDARD AND ULC FIRE RATED: MAXIMUM PERMISSIBLE LENGTH AND WIDTH: END SQUARE CUT, TAPER EDGES: PAPER/PAPER FACES, THICKNESS AS INDICATED BUT NOT LESS THAN 13mm NOR. FOR CEILINGS, NOT LESS THAN 16mm.
- LEAD LINED GYPSUM BOARD SHALL HAVE A MINIMUM OF 1/8" THK. LEAD SHEET. APPROVED MANUFACTURER IS MoirShield.
- JOINT TAPE: PERFORATED PAPER WITH TAPERED EDGES AS RECOMMENDED BY GYPSUM BOARD MANUFACTURER OR GLASS FIBER MESH TAPE.
- JOINT COMPOUND: BEDDING AND FINISHES TYPES RECOMMENDED BY GYPSUM BOARD MANUFACTURER, CASBEN, VINYL OR LATEX BASE.
- CORNER AND CASING BEADS: MINIMUM 26 GAUGE GALVANIZED SHEET STEEL TYPE WITH PERFORATED FLANGES, OF TYPE TO BE FINISHED WITH JOINT COMPOUND.
- SECURE CORNER BEADS RIGIDLY AT ALL EXTERNAL ANGLES.
- INSTALL CASING BEADS WHERE GYPSUM BOARD TERMINATES AGAINST SURFACE HAVING NO TRIM CONCEALING THE JUNCTION OR WHERE JUNCTION IS NOT TAPED.
- ERECT GYPSUM BOARD AND TAPE JOINTS TO ISCA EXCEPT WHERE SPECIFIED OTHERWISE HEREIN.
- INSTALL GYPSUM BOARD VERTICALLY, UNLESS OTHERWISE NOTED FOR ULC TESTED ASSEMBLIES WITH ALL JOINTS OCCURRING OVER FIRM BEARINGS. STAGGER JOINTS ON OPPOSITE SIDES OF WALL. STAGGER ALL VERTICAL JOINTS.

**09900 PAINTING AND FINISHING**

- APPROVED PAINT MANUFACTURERS ARE DULUX, ICI CANADA, GULDEN, SANSIN AND BENJAMIN MOORE.
- ALL WORK IN THIS SECTION TO COMPLY WITH MPI ARCHITECTURAL PAINTING MANUAL. INSURE THAT SURFACES AND SUBSTRATE MATERIALS MEET PAINTING MANUFACTURER MINIMUM REQUIREMENTS.
- VOLATILE ORGANIC COMPOUNDS (VOC) SHALL MEET THE REQUIREMENTS OF MPI GREEN PERFORMANCE® STANDARDS (GFS-1-12) AND (GFS-2-12).
- SCHEDULE PAINTING WORK WITH OTHER TRADES.
- SUBMIT PAINT SAMPLES FOR ARCHITECT AND OWNER APPROVAL BEFORE STARTING WORK. THE CONTRACTOR SHALL PREPARE A PAINT SCHEDULE AND COORDINATE COLOURS WITH THE OWNER.
- PRELIMINARY COLOUR SCHEDULE IS SHOWN ON DRAWINGS.
- EXTERIOR METAL SHALL HAVE ONE (1) COAT OF ZINC CHROMATE PRIMER PLUS TWO (2) COATS OF EXTERIOR ALKYD OIL PAINT.
- EXTERIOR GALVANIZED STEEL SHALL HAVE ONE (1) COAT OF GALVANIZED METAL PRIMER PLUS TWO (2) COATS OF EXTERIOR OIL PAINT.
- INTERIOR METAL SHALL HAVE ONE (1) COAT OF CHROMATE PRIMER PLUS TWO (2) COATS OF INTERIOR ALKYD ENAMEL.
- CONCRETE BLOCK SHALL HAVE ONE (1) COAT OF BLOCK FILLER, ONE (1) COAT OF UNDERCOATER AND ONE (1) COAT OF ALKYD ENAMEL.
- WOODWORK SHALL HAVE ONE (1) OF COAT NON-BLEEDING ALKYD WIPING STAIN, ONE (1) COAT OF SANDING SEALER AND TWO (2) COATS OF URETHANE INTERIOR SATIN VARNISH.
- EPS TO RECEIVE TWO COATS OF ACRYLIC PAINT COMPATIBLE WITH EXISTING SURFACE.
- INSPECT SURFACES BEFORE PAINTING AND REPORT ANY DEFECTS IN EXISTING WORK.
- CLEAN ALL SURFACES BEFORE PAINTING AND PROVIDE PROTECTION FOR OTHER WORK.
- SCOPE OF WORK TO INCLUDE ALL UNFINISHED AND PRIMED SURFACES AND ELEMENTS IN THE PROJECT.
- PROVIDE ONE GALLON OF EACH COLOUR TO THE OWNER AT THE COMPLETION OF THE PROJECT.

# 2198 DAYTONA AVE, WINDSOR

1.01 GENERAL

1. THIS PROJECT AND ALL WORK ASSOCIATED WITH THE PROJECT SHALL CONFORM TO THE LATEST REVISIONS OF ONTARIO BUILDING CODE.

2. ALL WORK IN THIS PROJECT TO COMPLY WITH THE CITY OF STANDARDS.

3. THE DESIGN ADEQUACY AND SAFETY OF REACTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., DURING DEMOLITION AND/ OR CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

4. THE GENERAL CONTRACTOR SHALL NOT START CONSTRUCTION BEFORE COMPLETING THE FLOORING AND ROOF TRUSS DESIGN.

5. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OF PLANS FOR BID PURPOSES PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT, AND THE COMPLETION OF THE FLOOR AND ROOF STRUCTURAL DESIGN.

6. ALL WORK NOTED "N.I.C." OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR SHALL COORDINATE WITH "OTHER" CONTRACTORS PER REQUIREMENTS ESTABLISHED BY OWNER AND TENANT.

7. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR EXAMINING CONTRACT DOCUMENTS, FIELD CONDITIONS AND CONFIRMING THAT WORK CAN BE PERFORMED AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ITEMS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.

8. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE TO COORDINATE WITH ALL SUBCONTRACTORS PER REQUIREMENTS ESTABLISHED BY OWNER.

9. THE SCOPE OF THESE ARCHITECTURAL DRAWINGS IS UNDER PART 9 OF THE OBC. THE OWNER IS TO HIRE PROFESSIONAL ENGINEER TO COMPLETE THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AS REQUIRED.

10. THE GENERAL CONTRACTOR IS TO COORDINATE DIMENSIONS AND CONFIGURATION OF THE PROJECT BEFORE PROCEEDING WITH WORK, AND INFORM THE OWNER AND THE ARCHITECT OF ANY DISCREPANCIES.

11. THE INTENT OF DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL LABOUR, MATERIALS AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, DESCRIBED, OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS.

12. INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURERS, UNLESS NOTED OTHERWISE.

13. ANY WORK INSTALLED IN CONFLICT WITH THE CONSTRUCTION DRAWINGS, WITHOUT THE PRIOR APPROVAL OF THE OWNER SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

14. THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE OR THAT WILL CAUSE A DELAY IN THE CONSTRUCTION COMPLETION SCHEDULE. THE CONTRACTOR SHALL SUBMIT CONFIRMATIONS OF DELIVERY DATES FOR ORDERS OF MATERIALS AND EQUIPMENT HAVING LONG LEAD TIMES.

15. SUBMIT ALL SHOPDRAWINGS TO THE BUILDING INSPECTOR FOR APPROVAL.

16. ALL WORK THAT IS CONSIDERED OUTSIDE THE SCOPE OF PART 9 OF THE ONTARIO BUILDING CODE TO BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO

17. GENERAL CONTRACTOR TO COORDINATE ARCHITECTURAL DRAWINGS WITH OTHER DISCIPLINES.

18. REPORT ANY DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDINGS WITH WORK.

19. GENERAL CONTRACTOR AND SUBCONTRACTORS TO HAVE AT LEAST TEN YEARS OF EXPERIENCE IN THE CONSTRUCTION OF SIMILAR CUSTOM HOMES.

20. GENERAL CONTRACTOR TO PROVIDE A PROOF OF TARIION REGISTRATION BEFORE ENTERING INTO A CONTRACTOR WITH OWNER.

21. ALL DOORS IN FIRE RATED WALLS TO HAVE APPROPRIATE LABELS.

22. ALL FIRE RATED DOORS TO BE EQUIPPED WITH CLOSERS AND SMOKE SEALS.

23. REPAIR ANY BREACHES IN FIRE RATED WALLS AND CEILINGS TO THE SATISFACTION OF BUILDING INSPECTOR AND FIRE DEPARTMENT.

24. COMPLY WITH ANY OUTSTANDING WORK ORDERS ISSUED BY THE CITY OF WINDSOR BUILDING DEPARTMENT RELATED TO BUILDING DEFICIENCIES.

25. ALL WORK/INSTALLATIONS AND FABRICATIONS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE(1) YEAR.

26. CONTRACTORS AND SUB TRADES ARE REQUIRED TO CHECK EXISTING SITE PRIOR TO SUBMITTING TENDERS AND INCLUDE FOR ALL WORK NECESSARY FOR A COMPLETE INSTALLATION.

27. CONTRACTORS AND SUB TRADES SHALL OBTAIN ALL PERMITS REQUIRED AND AFTER COMPLETION OF WORK SHALL FURNISH THE OWNER A CERTIFICATE OF FINAL INSPECTION AND APPROVAL FROM THE APPROPRIATE INSPECTION DEPARTMENT.

28. CONTRACTOR TO CONFIRM SITE DIMENSIONS BEFORE FABRICATION.

29. CONTRACTOR TO SUBMIT SAMPLES OF ALL NEW MATERIALS (SUPPLIED BY CONTRACTOR) FOR DESIGNER'S APPROVAL.

30. WHEN REQUIRED, PROVIDE X-RAYS FOR OWNER'S STRUCTURAL ENGINEER TO REVIEW PRIOR TO CORING, CUTTING OR CHIPPING CONCRETE FLOORS OR WALLS.

31. CLEAN AND MAINTAIN THE PROJECT AREA DURING CONSTRUCTION TO ENSURE IT IS CLEAN AND FREE FROM ACCUMULATION OF WASTE. CLEAN AND DISPOSE OF WASTE ON A DAILY BASIS.

32. CONTRACTOR TO PROVIDE A SET OF MARKED DRAWINGS INDICATING: AS - BUILT" INTERIOR DESIGN CONDITIONS. AFTER COMPLETION OF THE WORK. THIS IS TO BE HANDED TO THE DESIGNER/OWNER FOR RECORD PURPOSES.

33. READ THESE NOTES WITH ALL OTHER NOTES AND WITH FINISH AND KEY NOTES.

34. WHERE SPECIFIC MATERIALS ARE NOT SPECIFIED, THE CONTRACTOR IS TO PROVIDE SAMPLES OF ALL NEW MATERIALS REQUIRED FOR OWNER'S APPROVAL.

35. DO NOT ALTER OR REMOVE ANY ITEMS WHICH WILL AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.

36. CONTRACTOR TO CLEAN ALL DAMAGED SURFACES AND FOLLOW THE DIRECTIONS OF AUTHORITIES HAVING JURISDICTION.



Maged Basiliou Architect  
1635 Ottawa St.  
Windsor, Ontario N8Y 1R2  
Phone: 519-969-0086  
e-mail: mbasilious@mbarchitect.ca



ALL DRAWINGS, SPECIFICATIONS AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE **CONSULTANT** AND SHALL BE RETURNED UPON REQUEST.

REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE **CONSULTANT**.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE **CONSULTANT** BEFORE PROCEEDING WITH THE WORK.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE **CONSULTANT**.

THIS DRAWING IS **NOT** TO BE SCALED. USE FIGURED DIMENSIONS ONLY.

[illegible]

<h1 style="margin: 0;">2198 Daytona Ave</h1>	
<h2 style="margin: 0;">Windsor ON</h2>	
<h2 style="margin: 0;">Cover Sheet</h2>	
Project number	2520
Date	April 2025
Drawn by	M. B.
Checked by	M. B.
<h1 style="margin: 0;">A 0</h1>	
Scale	

<h1 style="margin: 0;">2198 Daytona Ave</h1>	
<h2 style="margin: 0;">Windsor ON</h2>	
<h2 style="margin: 0;">Cover Sheet</h2>	
Project number	2520
Date	April 2025
Drawn by	M. B.
Checked by	M. B.
<h1 style="margin: 0;">A 0</h1>	
Scale	

<h1 style="margin: 0;">2198 Daytona Ave</h1>	
<h2 style="margin: 0;">Windsor ON</h2>	
<h2 style="margin: 0;">Cover Sheet</h2>	
Project number	2520
Date	April 2025
Drawn by	M. B.
Checked by	M. B.
<h1 style="margin: 0;">A 0</h1>	
Scale	

<h1 style="margin: 0;">2198 Daytona Ave</h1>	
<h2 style="margin: 0;">Windsor ON</h2>	
<h2 style="margin: 0;">Cover Sheet</h2>	
Project number	2520
Date	April 2025
Drawn by	M. B.
Checked by	M. B.
<h1 style="margin: 0;">A 0</h1>	
Scale	

<h1 style="margin: 0;">2198 Daytona Ave</h1>	
<h2 style="margin: 0;">Windsor ON</h2>	
<h2 style="margin: 0;">Cover Sheet</h2>	
Project number	2520
Date	April 2025
Drawn by	M. B.
Checked by	M. B.
<h1 style="margin: 0;">A 0</h1>	
Scale	



Waged Basilious Architect

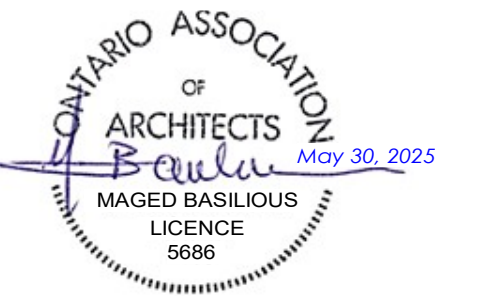
[www.mbarchitect.ca](http://www.mbarchitect.ca)

Maged Basilious Architect

Windsor, Ontario N8Y 1R2

Phone: 519-969-0086

mail: mbasilious@mbarchitect.ca



**REFER TO SUPPLIER SPECIFICATIONS FOR  
ACTUAL WINDOW SIZES AND ROUGH  
OPENINGS**

ALL DRAWINGS, SPECIFICATIONS AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND SHALL BE RETURNED UPON REQUEST.

REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE **CONSULTANT.**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE **CONSULTANT** BEFORE PROCEEDING WITH THE WORK.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION  
UNLESS IT IS COUNTERSIGNED BY THE **CONSULTANT**.

THIS DRAWING IS **NOT** TO BE SCALED. USE FIGURED DIMENSIONS ONLY.

[illegible]

2198 Daytona Ave

Windsor ON  
Basement & First Floor  
Plans

Project number	2520
----------------	------

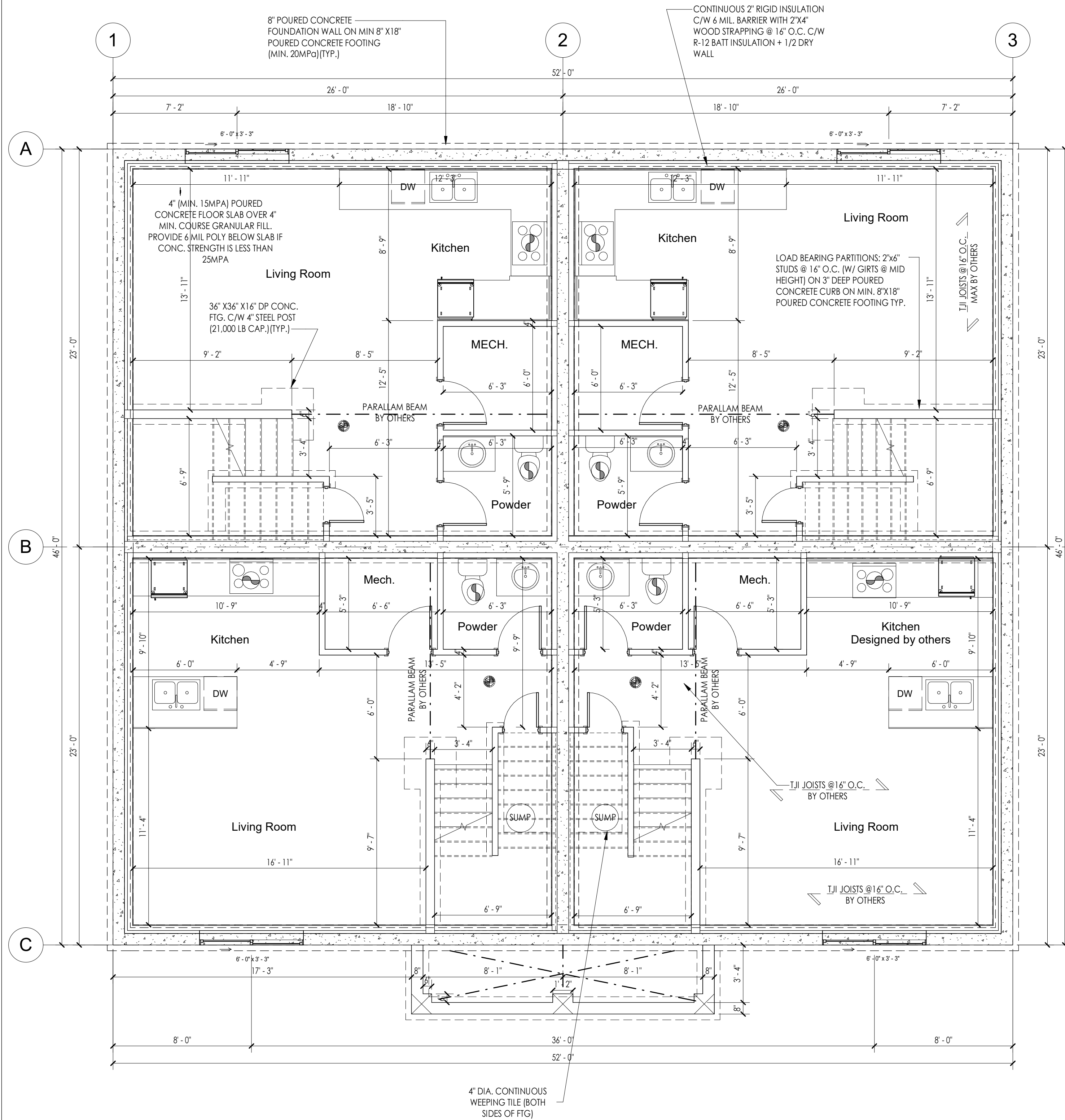
Date	April 2025
------	------------

Drawn by	M. B.
----------	-------

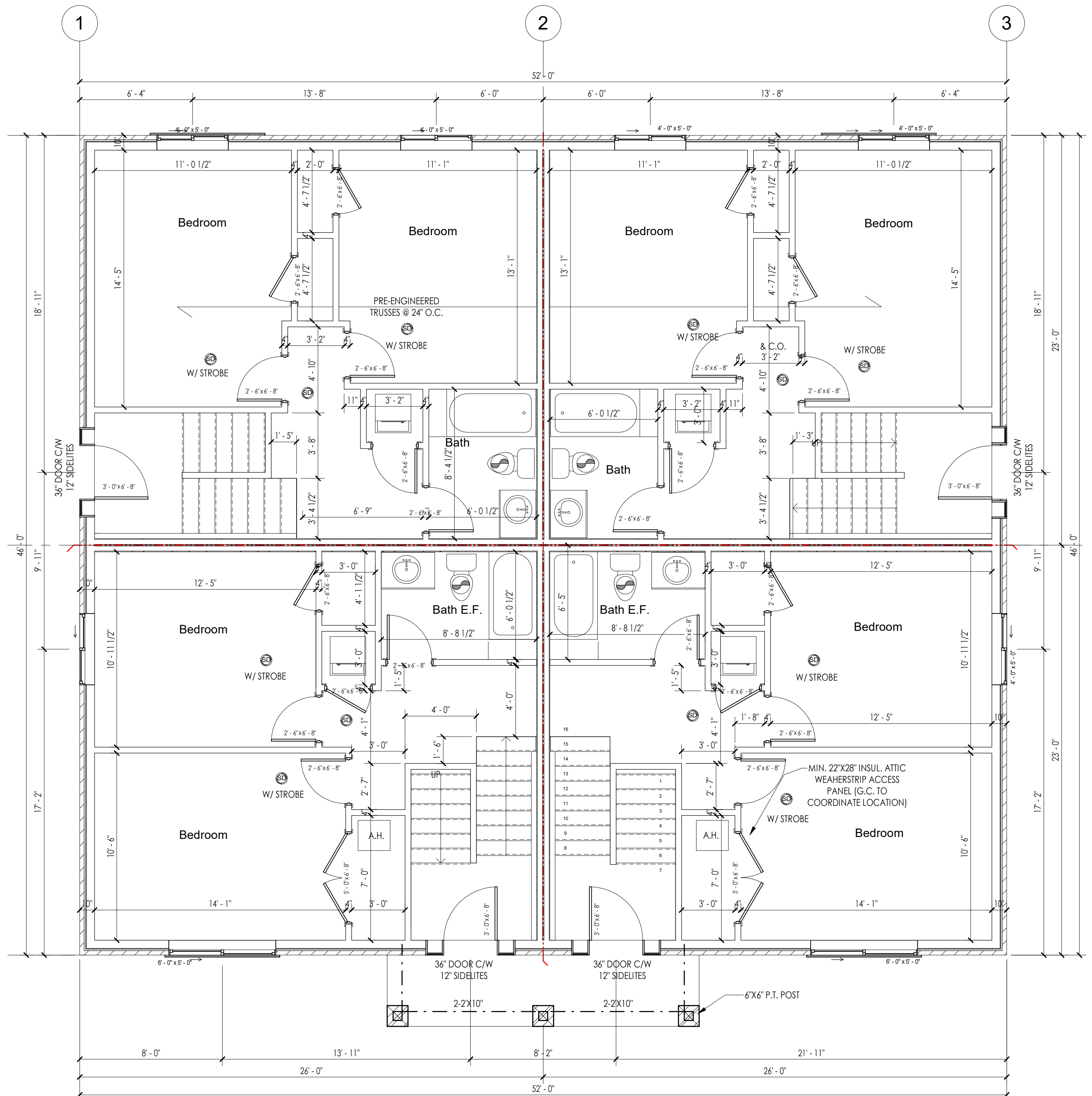
Checked by	M. B.
------------	-------

A 1

Scale	1/4" = 1'-0"
-------	--------------



1 Basement Floor Plan  
1/4" = 1'-0"



② First Floor  
1/4" = 1'-0"

Site plan for a semi-detached dwelling with two future ADUs. The plan shows the main dwelling footprint (2392 SQ. FT.), two future ADU footprints (366 SQ. FT. each), and a paved hard surface area (70 SQ. FT.). Dimensions are provided in feet and inches, with metric equivalents in brackets. The plan includes setbacks, lot dimensions, and area calculations.

**Lot Dimensions:**

- Front: 122'-3 3/4" [37.28]
- Left: 40'-3 3/4" [12.29]
- Right: 40'-0" [12.19]
- Back: 122'-3 3/4" [37.28]

**Setbacks:**

- Front: 1'-0" [0.30]
- Left: 4'-0" [1.22]
- Right: 4'-0" [1.22]
- Back: 1'-0" [0.30]

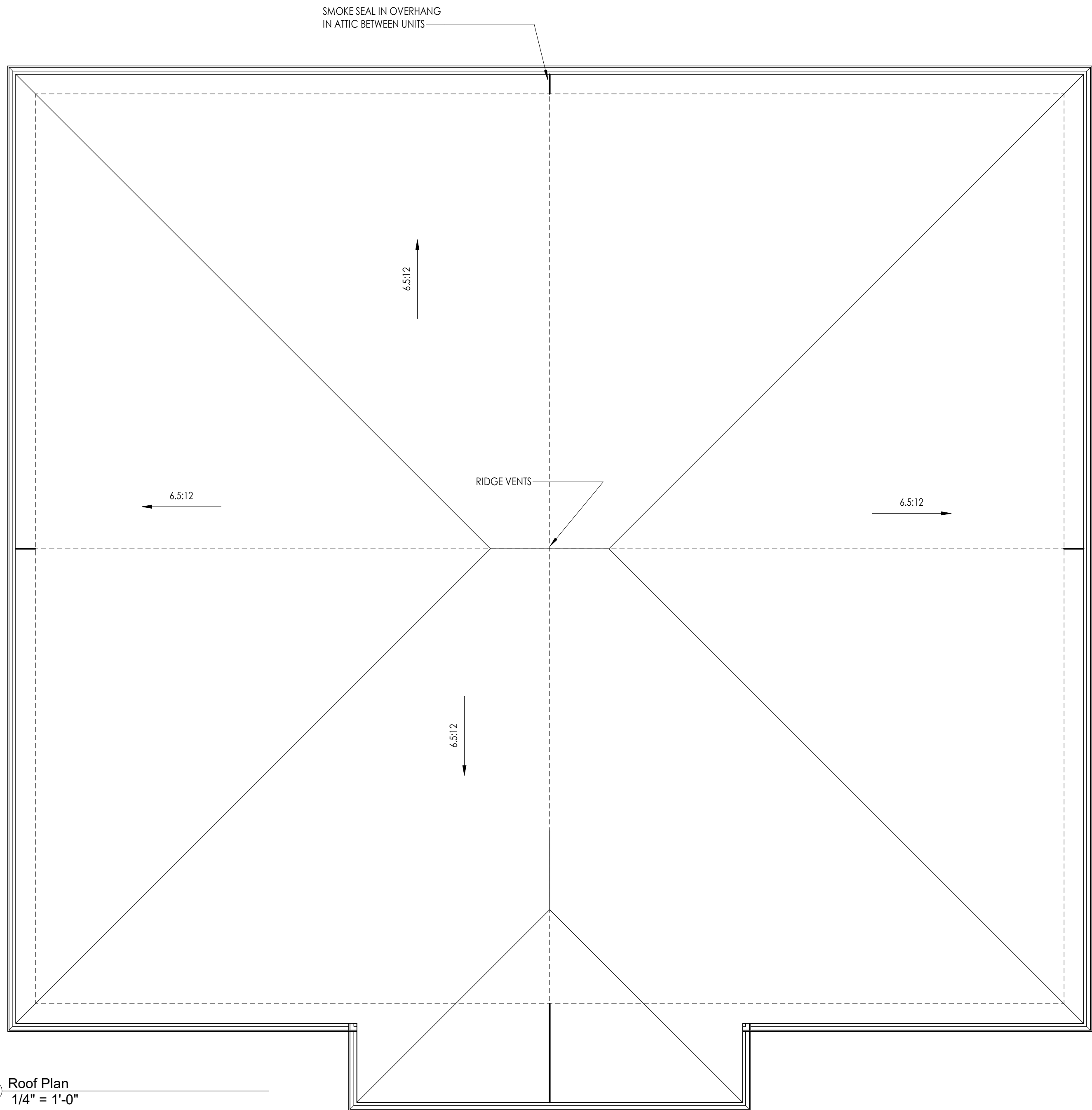
**Building Footprints:**

- SEMI-DETACHED DWELLING:** 2392 SQ. FT.
- FUTURE ADU (Left):** 366 SQ. FT. (MIRRORED)
- FUTURE ADU (Right):** 366 SQ. FT.
- PAVED HARD SURFACE:** 70 SQ. FT.

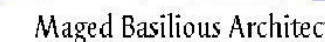
**Dimensions and Area Calculations:**

- Overall width: 60'-0" [18.29]
- Overall depth: 122'-3 3/4" [37.28]
- Front setbacks: 4'-0" [1.22], 20'-11" [6.38], 10'-2" [3.10], 20'-11" [6.38], 4'-0" [1.22]
- Left setbacks: 4'-0" [1.22], 17'-6" [5.33], 3'-0" [0.91], 8'-0" [2.44], 1'-0" [0.30]
- Right setbacks: 4'-0" [1.22], 17'-6" [5.33], 3'-0" [0.91], 8'-0" [2.44], 1'-0" [0.30]
- Back setbacks: 1'-0" [0.30], 3'-0" [0.91], 18'-9 3/4" [5.73], 52'-0" [15.85], 3'-0" [0.91], 1'-0" [0.30]
- Front setbacks: 2'-11 1/4" [0.89], 18'-0 1/2" [5.50], 18'-0 1/2" [5.50], 18'-0 1/2" [5.50], 2'-11 1/4" [0.89]
- Left setbacks: 36'-0" [10.97], 46'-0" [14.02]
- Right setbacks: 36'-0" [10.97], 46'-0" [14.02]
- Back setbacks: 1'-5 1/4" [4.61], 8'-2 1/2" [2.50]

DAYTONA



1 Roof Plan  
1/4" = 1'-0"



[www.mbarchitect.ca](http://www.mbarchitect.ca)

Maged Basiliou Architect  
1635 Ottawa St.  
Windsor, Ontario N8Y 1R2  
Phone: 519-969-0086  
e-mail: mbasiliou@mbarchitect.ca



THIS DRAWING IS **NOT** TO BE SCALED. USE FIGURED DIMENSIONS ONLY.

2198 Daytona Ave

## Windsor ON

### Roof Plan

Project number	2520
Date	April 2025
Drawn by	M. B.
Checked by	M. B.

A 3

Scale	As indicated
-------	--------------





ALL DRAWINGS, SPECIFICATIONS AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE **CONSULTANT** AND SHALL BE RETURNED UPON REQUEST.

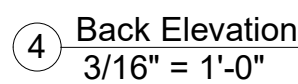
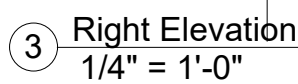
REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE **CONSULTANT**.

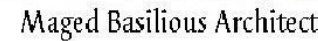
THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE **CONSULTANT** BEFORE PROCEEDING WITH THE WORK.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE **CONSULTANT**.

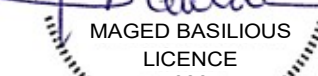
THIS DRAWING IS **NOT** TO BE SCALED. USE FIGURED DIMENSIONS ONLY.

Scale	As indicated
-------	--------------





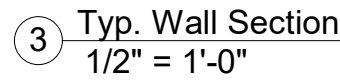
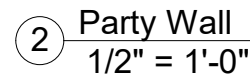
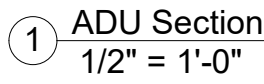
Maged Basiliou Architect  
1635 Ottawa St.  
Windsor, Ontario N8Y 1R2  
Phone: 519-969-0086  
Email: mbasiliou@mbarchitect.ca

[illegible]

## Windsor ON Wall Sections

Checked by \_\_\_\_\_ M. B.

Scale  $1/2" = 1'-0"$

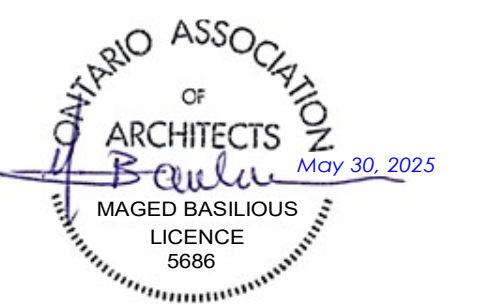




Waged Basilious Architect

www.mbarchitect.ca

Maged Basilious Architect  
1635 Ottawa St.  
Windsor, Ontario N8Y 1R2  
Phone: 519-969-0086  
mail: mbasilious@mbarchitect.ca



ALL DRAWINGS, SPECIFICATIONS AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE **CONSULTANT** AND SHALL BE RETURNED UPON REQUEST.

REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE **CONSULTANT**.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE **CONSULTANT** BEFORE PROCEEDING WITH THE WORK.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT IS COUNTERSIGNED BY THE **CONSULTANT**.

THIS DRAWING IS **NOT** TO BE SCALED. USE FIGURED DIMENSIONS ONLY.

[illegible]

2198 Daytona Ave

Windsor ON  
ADU

Project number	2520
----------------	------

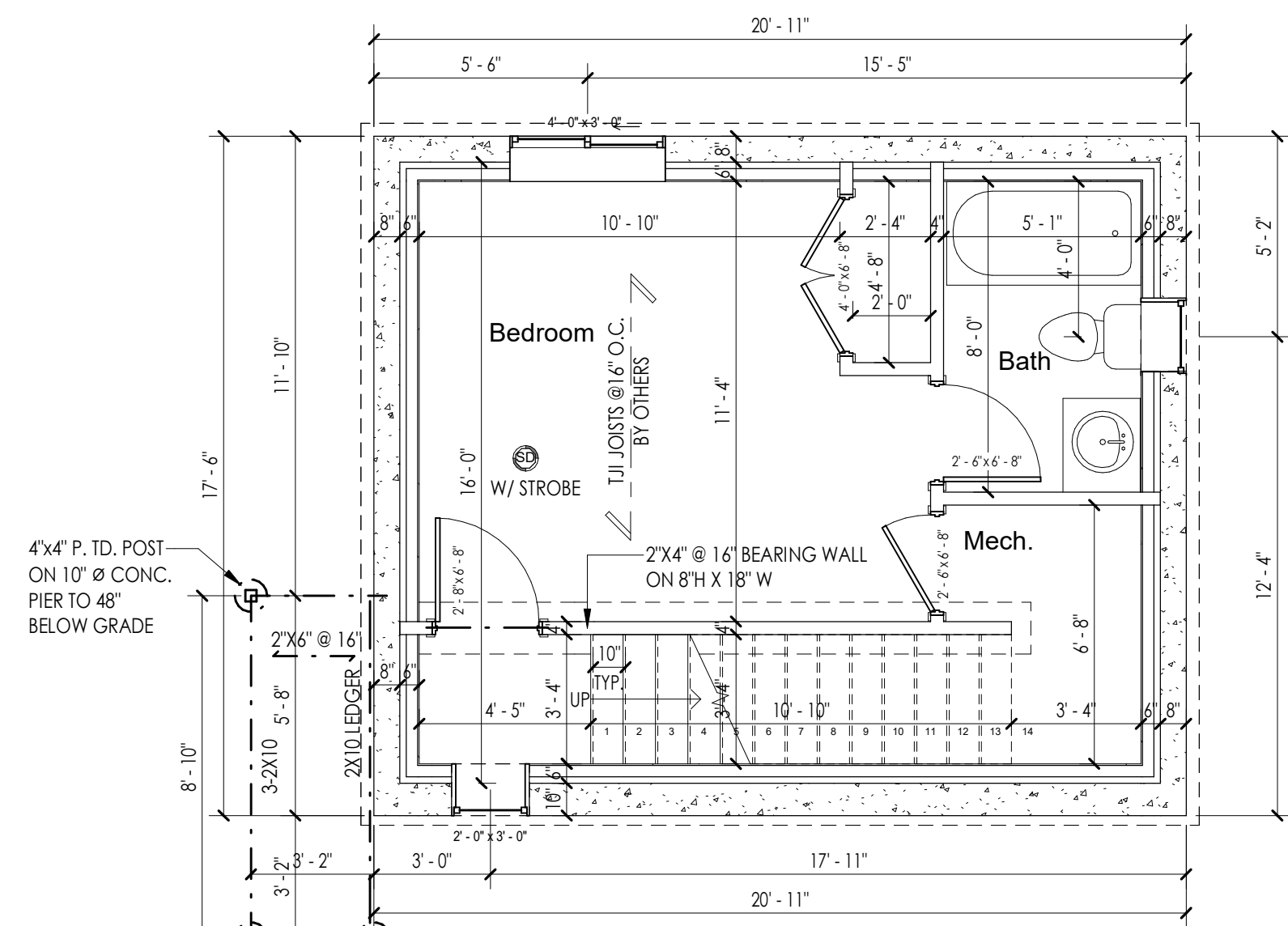
Date	April 2025
------	------------

Drawn by	M. B.
----------	-------

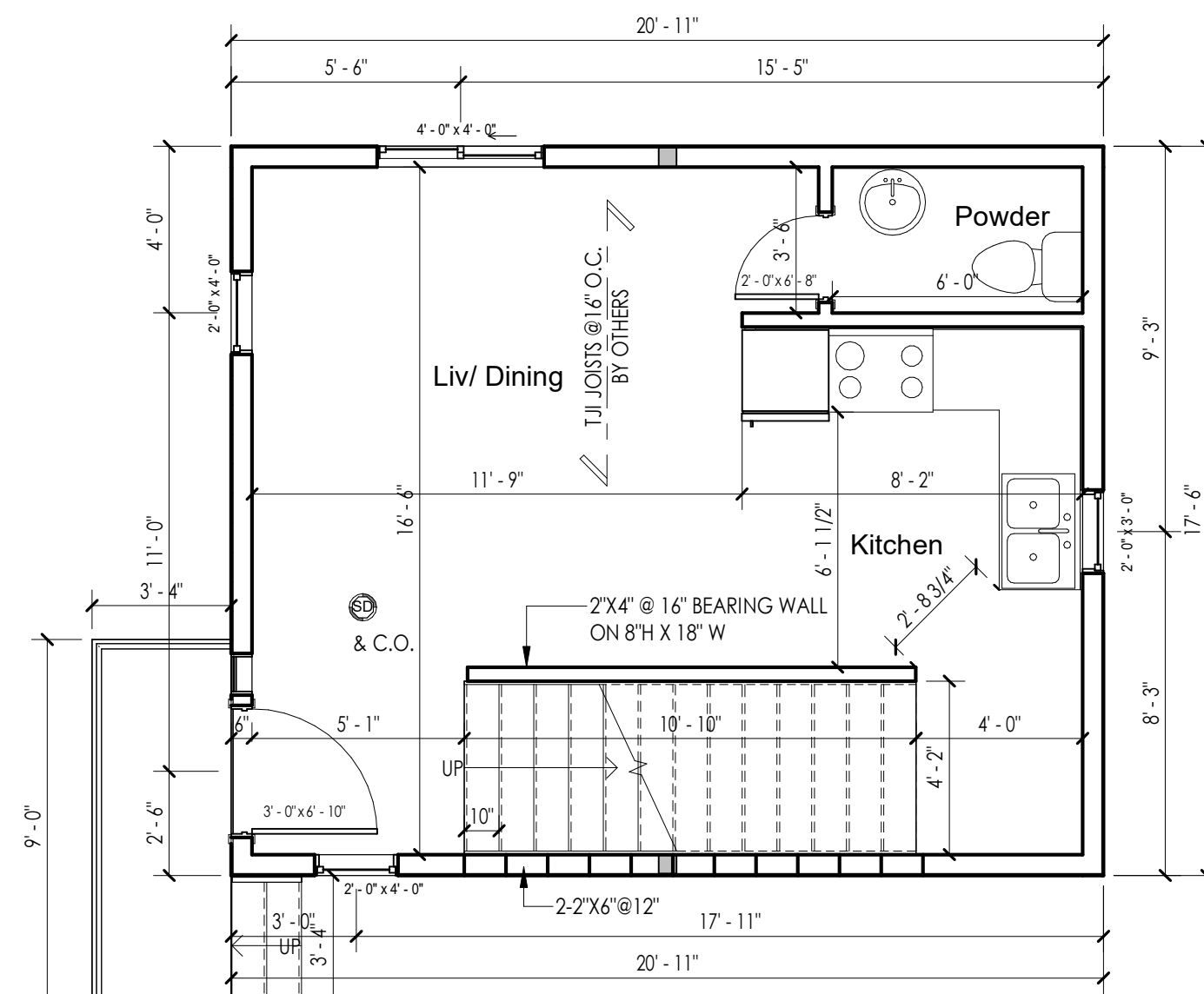
Checked by	M. B.
------------	-------

A 6

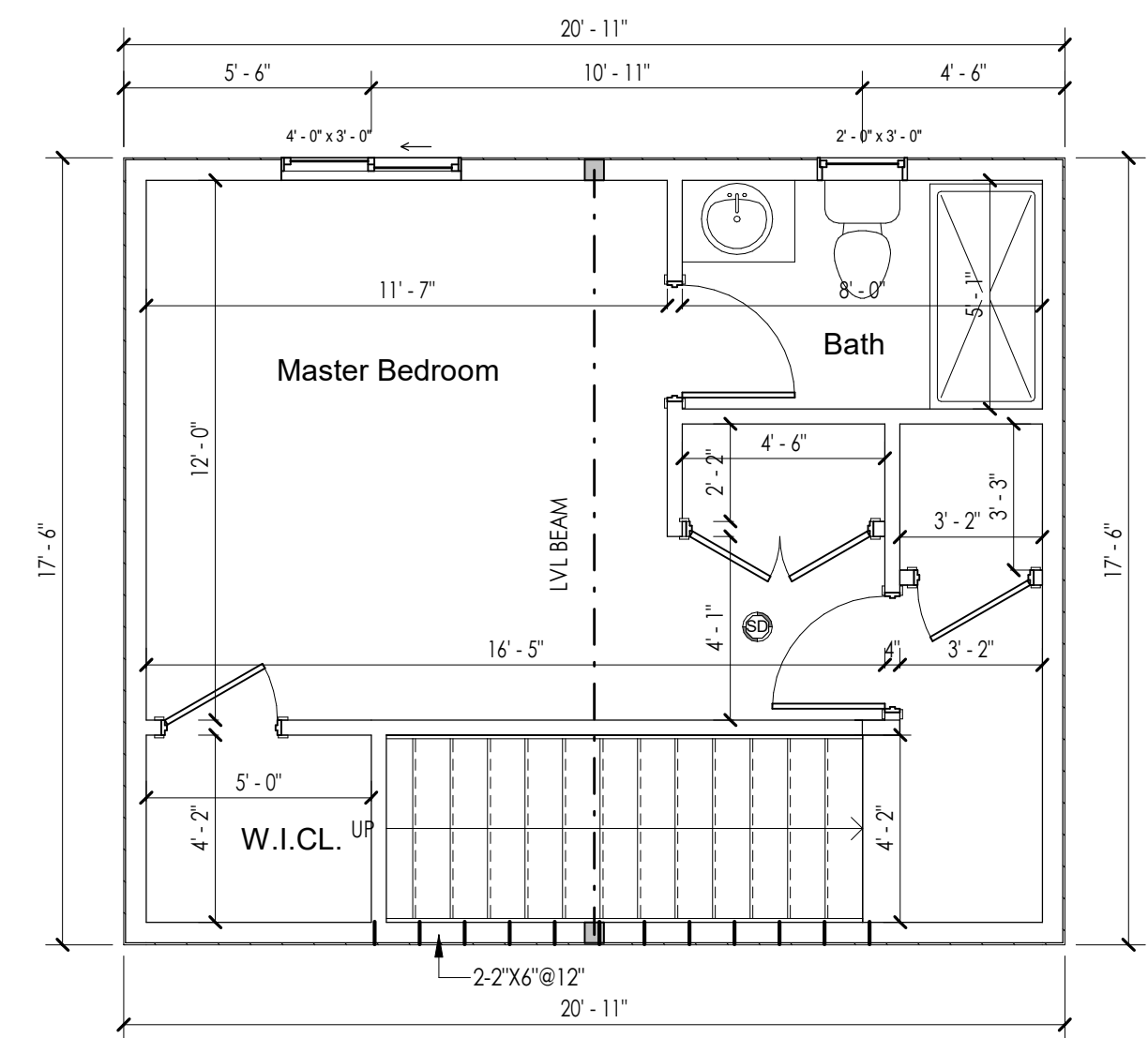
Scale	1/4" = 1'-0"
-------	--------------



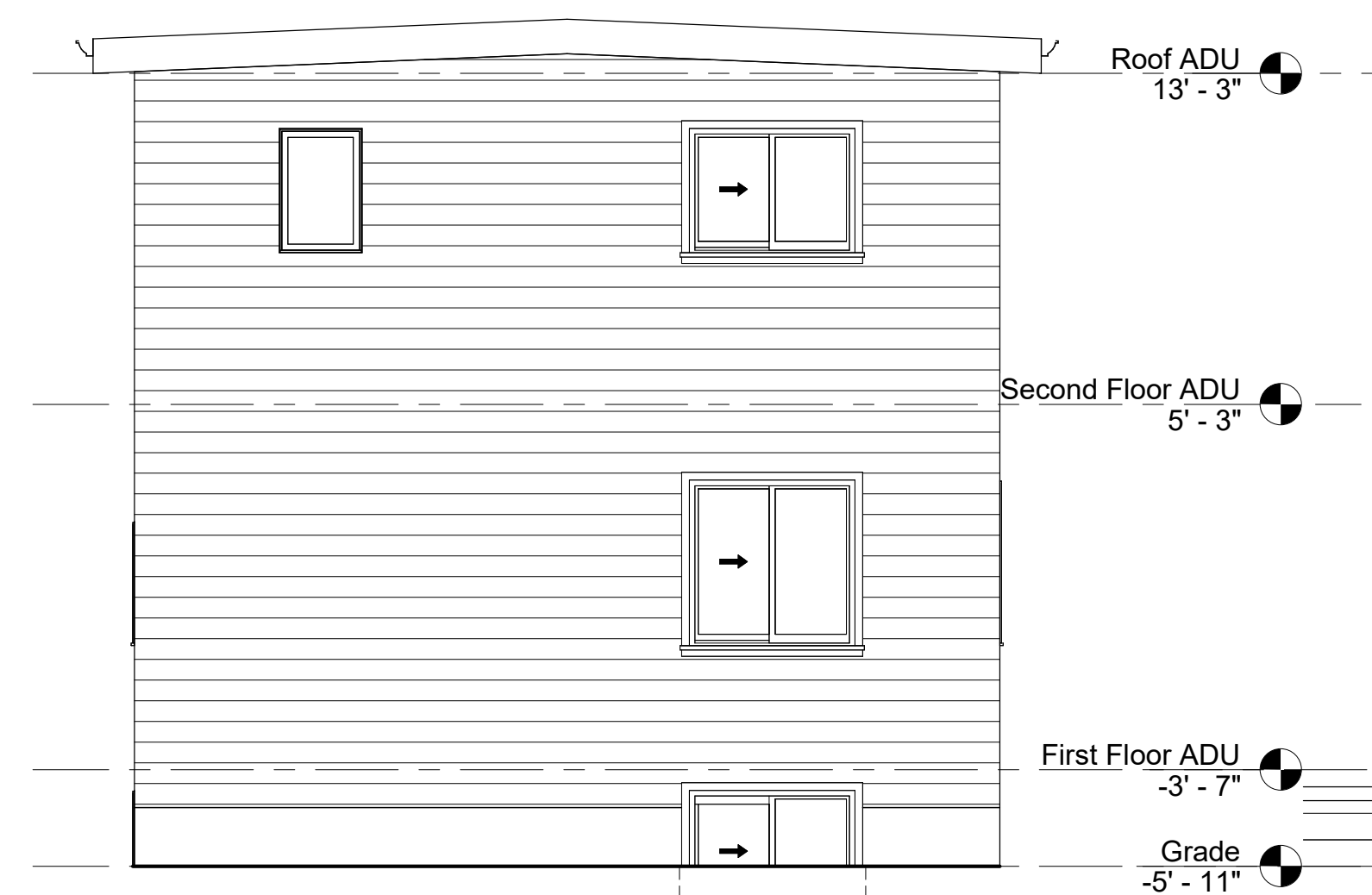
1 Basement Floor - ADU  
1/4" = 1'-0"



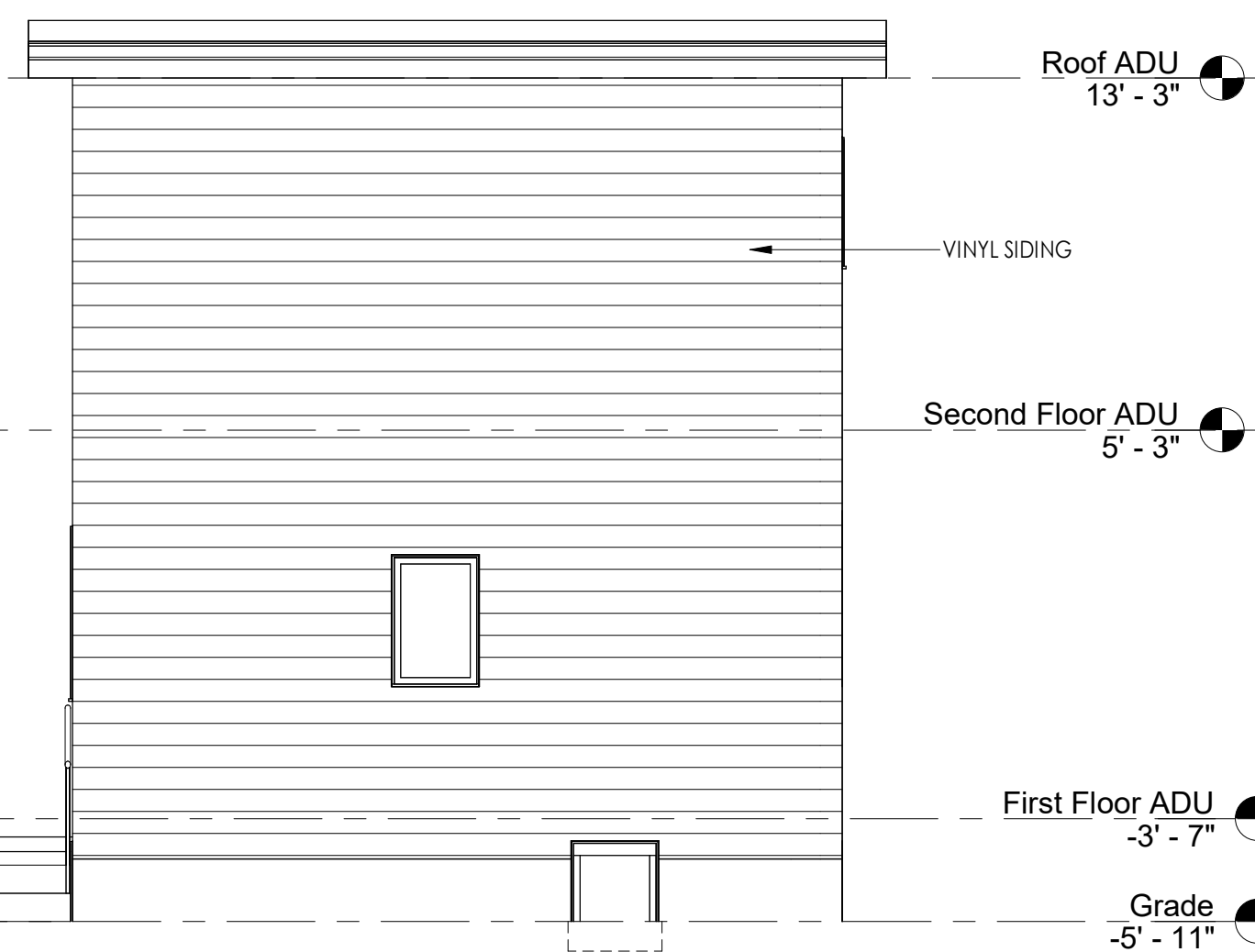
② First Floor ADU  
1/4" = 1'-0"



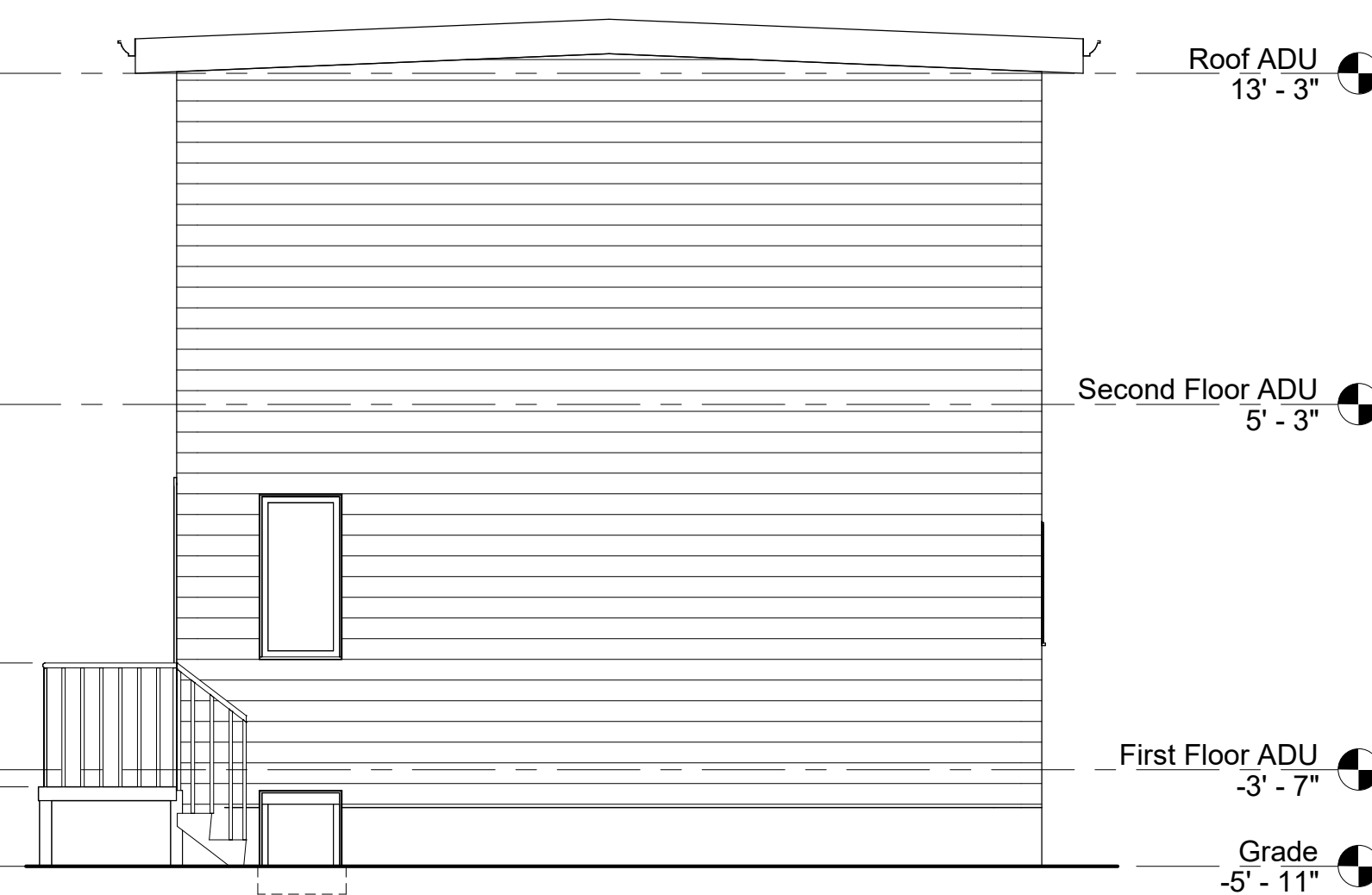
③ Second Floor ADU  
1/4" = 1'-0"



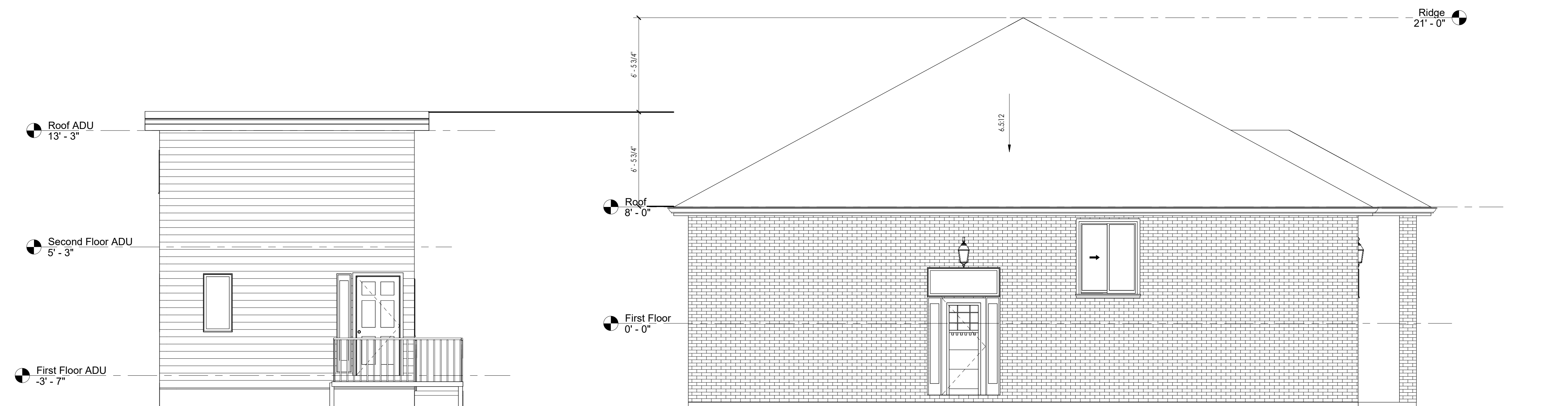
④ Elevation 1 - a  
1/4" = 1'-0"



⑤ Elevation 2 - a  
1/4" = 1'-0"



⑥ Elevation 3 - a  
1/4" = 1'-0"



7 Elevation 4 - a  
1/4" = 1'-0"



