

COMMITTEE OF ADJUSTMENT

APPLICANT : LEKA ANN DEMIRAJ, LUCAS DANIAL PATRICK GAMBLE

ADDRESS : 2633 PARENT AVENUE

 SUBJECT LANDS



CITY OF WINDSOR

File: A-049/25

COMMITTEE OF ADJUSTMENT PUBLIC HEARING

PURSUANT to Section 45 of the Planning Act, a Committee of Adjustment public hearing will be held to consider a minor variance to Zoning By-law 8600. This is not an application for a zoning change.

You are receiving this notice of hearing as a courtesy because the Committee of Adjustment identified your property as located within a 40 meters circulation area of the subject lands. Notice as required by the Planning Act was given by publication of the Committee of Adjustment's Agenda Record in the Windsor Star on May 28, 2025.

APPLICATION FOR MINOR VARIANCE – Relief from the operation of Zoning By-law 8600

Owner: LEKA DEMIRAJ,
LUCAS GAMBLE

Location: 2633 PARENT AVE

Legal Description: PLAN 1269 LOT 42

Zoning: Residential RD1.3

Official Plan: Residential

Explanation: Maximum lot coverage and minimum separation from the side lot line for an accessory building with an ADU, thereby requesting the following relief:

Section 5.99.80.1.5.b.3 - Minimum side yard setback for a new addition to an accessory building to which will include an additional dwelling unit

By Law Requirements	Proposed
1.20 m	0.71 m

Section 5.10.9.10 – Maximum lot coverage for all accessory buildings

By Law Requirements	Proposed
10 %	13%

COMMITTEE OF ADJUSTMENT HEARING - 519-255-6543 ext 6436 or 6450

When: June 12, 2025 at 3:30 pm

Where: VIA VIDEO CONFERENCE

(information on how to join the public meeting will be on the City of Windsor website prior to the meeting date)

You are invited to attend this hearing and express any interest you may have in this application. Written comments are also acceptable and may be submitted in person, by mail, by fax or by email. All comments must be received **NO LATER than 4:30PM on the Wednesday, prior to the meeting date.** Comments received after such, will not be included at time of hearing.

The applicant or agent must attend the meeting. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you. To be notified of the decision of the Committee of Adjustment regarding this application, you must submit a written request to the Secretary-Treasurer.

It is the practice of Committee of Adjustment members to visit the site prior to considering this application. Administrative comments are available by email after 12:00 noon on the Friday prior to the hearing.

Jessica Watson
Secretary-Treasurer, Committee of Adjustment

Dated: May 29, 2025

Suite 210, 350 City Hall Square West
Windsor ON N9A 6S1

Tel: 519-255-6543

Fax: 519-255-6544

Email: jwatson@citywindsor.ca

Web: www.citywindsor.ca

1	Application Information		
	Name of ALL Owners Lucas Gamble	Contact No. 519-551-2369	Business Telephone No.
	Address 2633 Parent Ave., Windsor, Ontario E-Mail Address: glilmiss@mnsi.net		Postal Code N8X 4K6
	Name of Contact Person/Agent (if different than owner) Shawn Piskovic	Contact No. 519-818-7024	Business Telephone No. 519-818-7024
	Address 12122 Evergreen Dr. Tecumseh, Ontario E-Mail Address: dzignerman@yahoo.com		Postal Code N8N 1G9 Fax No.
PAYMENT CONTACT INFORMATION ONLY:			
Name: Dan Gamble			
Contact No: 519-551-2369			
2	Date application submitted to the City of Windsor. 05/13/2025		
3	Present Official Plan Provisions applying to the land: Residential		
4	Present Zoning By-law provisions applying to the land: Residential District 1.3 (RD1.3)		
5	Nature and extent of relief applied for: (you MUST list each By-law Section etc. and relief requested) 1. Maximum lot coverage for all accessory buildings [5.10.9.10]: - 10% (Required) - 13% (Provided) 2. Minimum side yard separation from side lot line for an accessory building with an additional dwelling unit [5.99.80.5.b.3]: - 1.20 m (Required) - 0.71 m (Provided)		
6	State why it is NOT possible to comply with the provisions of the by-law. (Must be complete) Side addition is existing, and has been there for a long time, time is unknown.		
7	Legal Description of the Subject Land(s)		
	Municipality Windsor	Street Name Parent Ave	Street Address 2633-B
	Concession Number(s)	Registered/reference Plan No.	Lot/Part No.(s)
	Parcel No.	Plan 1269 / Lot 42	
8	Dimensions of Land Affected: THIS SECTION MUST BE COMPLETE		
	Lot Frontage/Width 35'0" / 11.0 M	Depth 135'0" / 41.5 M	Lot Area 4725 SF / 439.0 SQM
9	Access (check appropriate space)	Provincial Highway Municipal road, maintained all year Municipal road, seasonally maintained Other public road Right of way Water only. If yes, the docking facilities to be used and the approximate distance of these facilities from the subject land and the nearest public road _____	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
10	Water Supply	Publicly owned and operated piped water system... Privately owned and operated..... Individual or communal well..... Lake or other water body..... Other _____	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
11	Sewage Disposal	Publicly owned and operated piped sewage system..... Privately owned and operated individual or communal septic tank system..... Pit, privy, or other _____	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>

12	Storm Drainage	Municipal Sewers Ditches or Swales Other (specify)	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13	The existing uses of the subject land: NOTE: legal non-conforming use applications <u>must</u> provide evidence to support its status to the Planning Department (Zoning Coordinator and Planner).			
14	The proposed uses of the subject land: Residential ADU / Detached / Unit B (new accessory structure conversion)			
15	Whether any buildings or structures are proposed to be built on the subject land. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown If the answer to item 15 is yes, for each building or structure please provide on the drawing submitted the type of building or structure, the setback from the front lot line, rear lot line, and side lot lines, the height in metres of the building or structure and the dimensions or floor area of the building or structure.			
16	Date the subject land was acquired by the current owner. 2024	<input type="checkbox"/> Unknown		
17	The date the existing buildings or structures on the subject land were constructed.	<input checked="" type="checkbox"/> Unknown		
18	The length of time that the existing uses of the subject land have continued. Forever, property has been residential and the addition to the garage has been on property for a long time.	<input type="checkbox"/> Unknown		
19	If known, whether the subject land has ever been the subject of an application under section 45 of the Act? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown If yes, describe briefly: Year: _____ Type of Relief: _____			
20	If known, whether the subject land is the subject of an application under the Act for approval of a plan of subdivision or a consent? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown If yes, the status of the application: _____			
21	Applications submitted without the noted requirements will be considered incomplete and will be returned. <u>Minimum Standards for Drawings:</u> Ontario Regulations 200/96 of the Planning Act provides the requirement of a sketch showing the following: its: a) The boundaries and dimensions of the subject land. b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and side yard lot lines. c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream bands, wetlands, wooded areas, wells and septic tank. d) The current uses on land that is adjacent to the subject land. e) The location, width and name of any roads withing or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way. f) If access to the subject land is by water only, the location of the parking and docking facilities to be used. g) The location and nature of any easement affecting the subject land. The required sketch map has been included with this application form. <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Included	Not Applicable	

Note: Drawings must be in metric units.
 Examples of acceptable drawings can be obtained upon request.

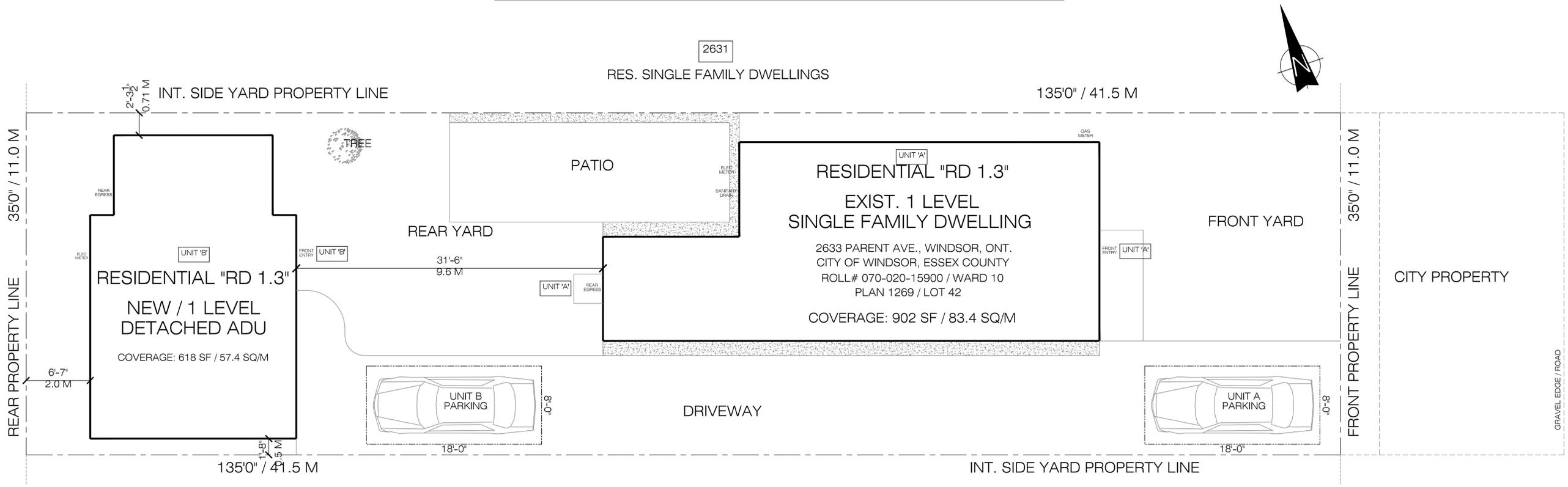
Design Firm:

 Office Address:
 12122 Evergreen Dr.,
 Tottenham, Ontario, N9N 1G9
 Contact:
 Call / Text: 519-818-7024
 Email: dzignerman@yahoo.com
 Website:
 www.DZignerman.com
 Serving Ontario Province Wide
 CALL 'THE MAN' WITH THE PLAN

Revision	Date	Initials
1	04/07/2025	SP

The undersigned has reviewed and taken responsibility for this Plan and the specifications and details for the construction and all in the Ontario Building Code to be a Designer.
QUALIFICATION INFORMATION
 Registered under the Building Code Act, 3.2.4.1 of the Building Code.
REGISTRATION INFORMATION
 Registered under the Building Code Act, 3.2.4.1 of the Building Code.
 License No: 2510
 Designation: Designer
 Designation Code: 0174

SITE ANALYSIS:	IMPERIAL	METRIC
TOTAL PROPERTY SIZE:	4,725 SF	439.0 SQ/M
EXIST. HOUSE COVERAGE:	902 SF	83.4 SQ/M
NEW DETACHED ADU COVERAGE	618 SF	57.4 SQ/M
TOTAL COVERAGE:	1,520 SF	141.2 SQ/M



S-1 **Site Plan**
 2633 PARENT AVE., WINDSOR, ONT.
 PERMIT PLAN

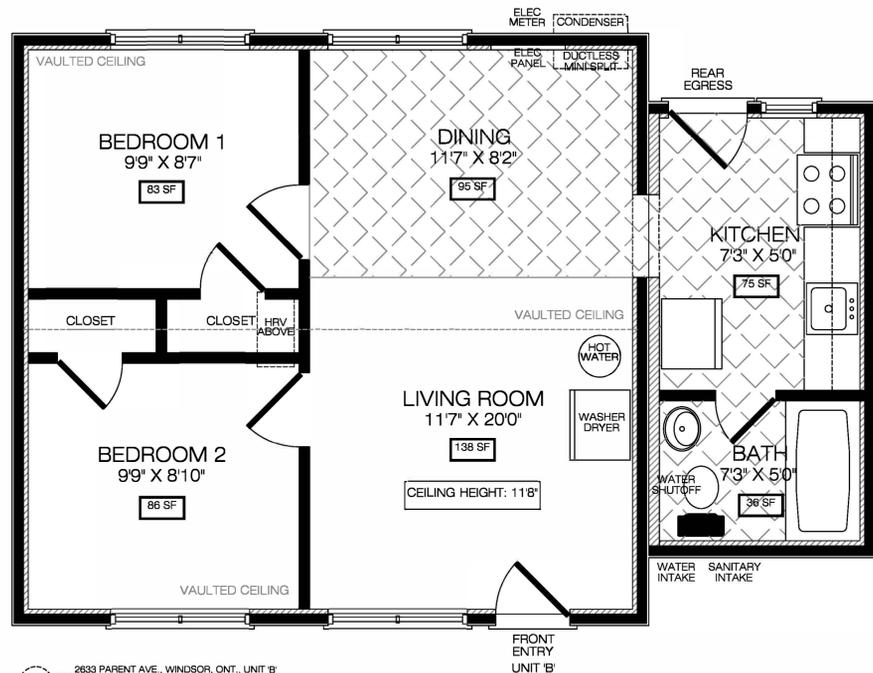
I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
 Individual BCIN: 20565
 Firm BCIN: 110812

MANPREET KOHLI

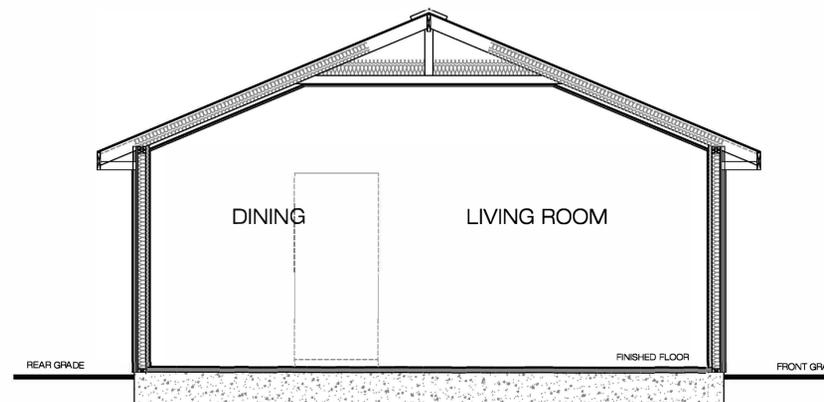
Manpreet Kohli



Issued For:
 Permit Drawings
 City of Windsor, Ontario
 P.O. #:
 2510
 Dan & Lucas Gamble
 2633 Parent Ave.
 Windsor, Ont., Ontario
 N9X 4K6
 Final Square Footage
 618 SF / 57.4 SQ/M
 Drawing Type:
 Detached Accessory Structure ADU
 Designed By:
 Shawn Piskovic
 Lead BCIN Designer
 Scale: 3/16"=1' Drawing I.D.
 Date: 05/07/25
 Province: Ontario



2633 PARENT AVE., WINDSOR, ONT., UNIT 'B'
A-2 Proposed Main Floor Plan
 NEW INT. FLOOR SPACE: 558 SF
 EXIST. COVERAGE: 618 SF
 NEW GFA: 618 SF
 PRESENTATION PLAN

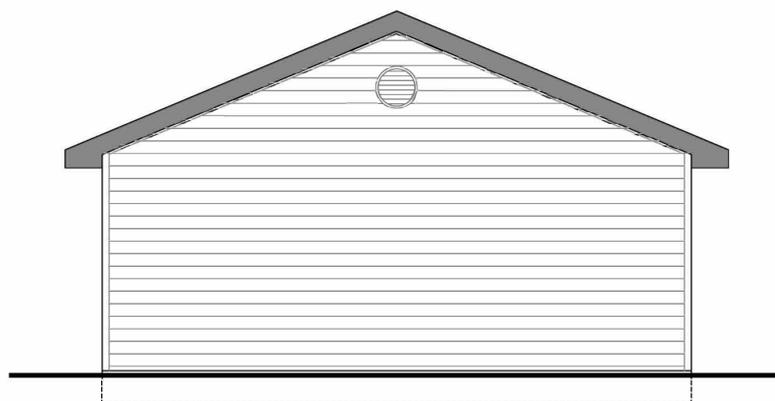


2633 PARENT AVE., WINDSOR, ONT.
C-1 Proposed Cross Section
 PRESENTATION PLAN

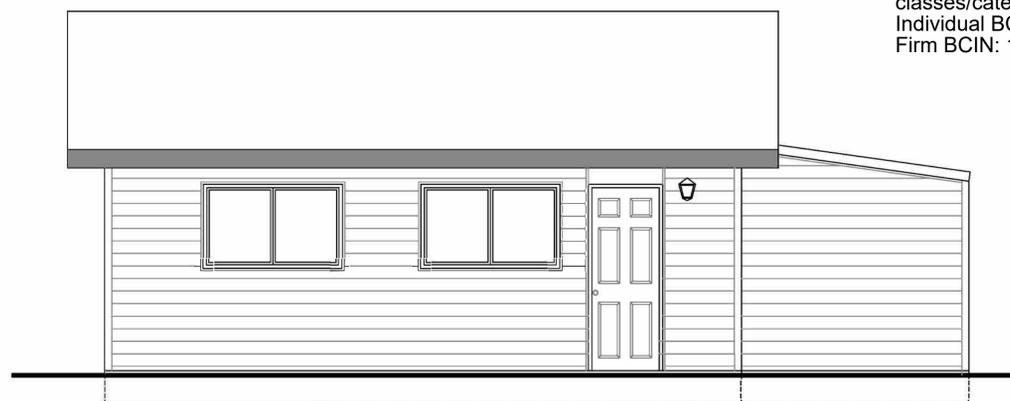
I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
 Individual BCIN: 20565
 Firm BCIN: 110812

Manpreet Kohli

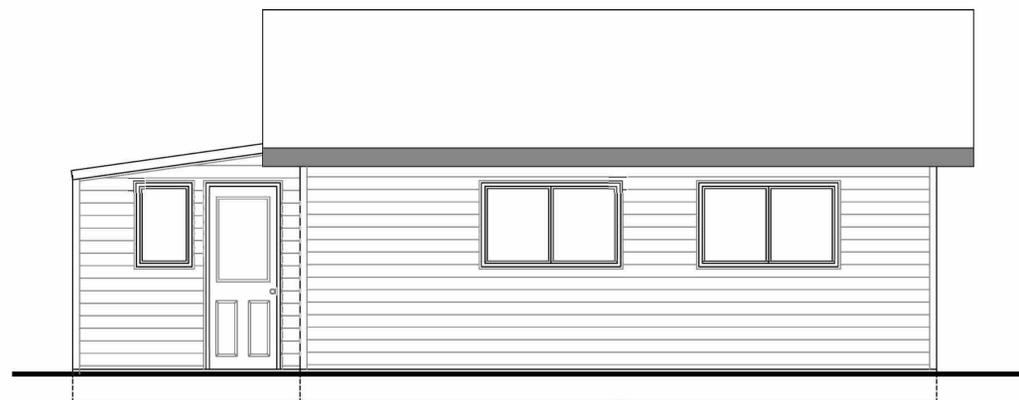
MANPREET KOHLI



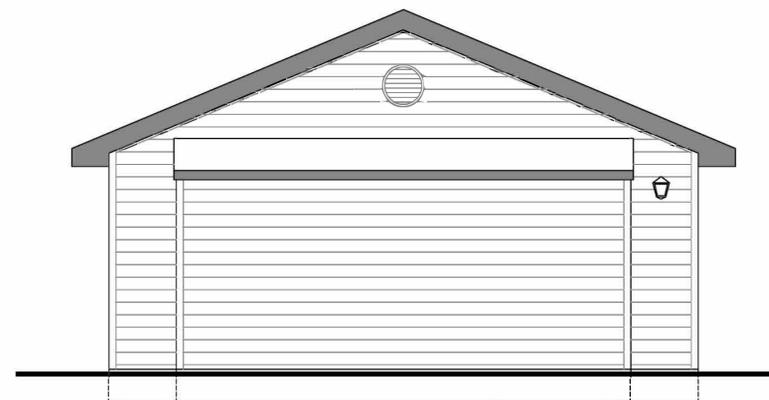
2633 PARENT AVE., WINDSOR, ONT.
E-2 Proposed Left Side Elevation
 PRESENTATION PLAN



2633 PARENT AVE., WINDSOR, ONT.
E-1 Proposed Front Elevation
 PRESENTATION PLAN



2633 PARENT AVE., WINDSOR, ONT.
E-3 Proposed Front Elevation
 PRESENTATION PLAN



2633 PARENT AVE., WINDSOR, ONT.
E-4 Proposed Right Side Elevation
 PRESENTATION PLAN

Design Firm:

 Office Address:
 12122 Evergreen Dr.
 Tecumseh, Ontario, N9K 1G9
 Contact:
 Call / Text: 519-818-7024
 Email: dzignerman@yahoo.com
 Website:
 www.DZignerman.com
 Serving Ontario Province Wide
 CALL 'THE MAN' WITH THE PLAN

Revision	Date	By
1	04/07/2025	SP

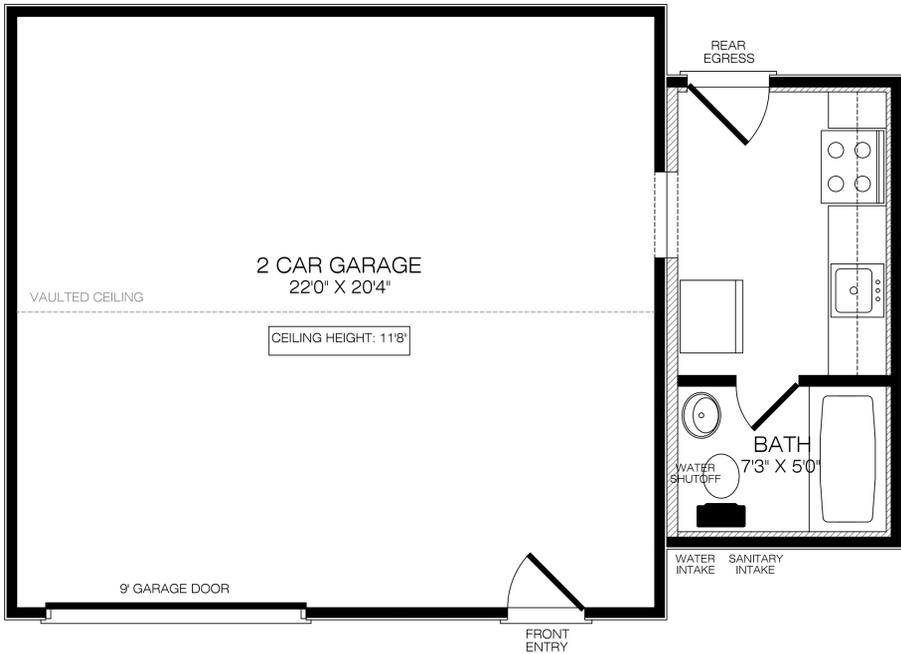
The undersigned has prepared and shall remain responsible for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
 Individual BCIN: 20565
 Firm BCIN: 110812

REGISTRATION INFORMATION
 (Professional Seal) (Professional Stamp) (Professional Seal) (Professional Stamp)
 Registration No. BCIN 110812
 Registration Class: Mechanical Engineering
 Registration Status: Active
 Registration Date: 2018-01-01
 Registration Expiry: 2025-12-31
 Registration Fee: \$1,000.00
 Registration Category: Mechanical Engineering
 Registration Subcategory: Mechanical Engineering
 Registration Subcategory: Mechanical Engineering
 Registration Subcategory: Mechanical Engineering

ISSUED FOR:
 Permit Drawings
 City of Windsor, Ontario
 P.O. #: 2510
 Dan & Lucas Gamble
 2633 Parent Ave.
 Windsor, Ont., Ontario
 N9K 4K6
 Final Square Footage
 618 SF / 57.4 SQM
 Drawing Type:
 Detached Accessory Structure ADU
 Designed By:
 Shawn Piskovic
 Lead BCIN Designer
 Scale: NTS
 Date: 05/07/25
 Province: Ontario

Shawn Piskovic
 LEAD DESIGNER & ASSOCIATES

02



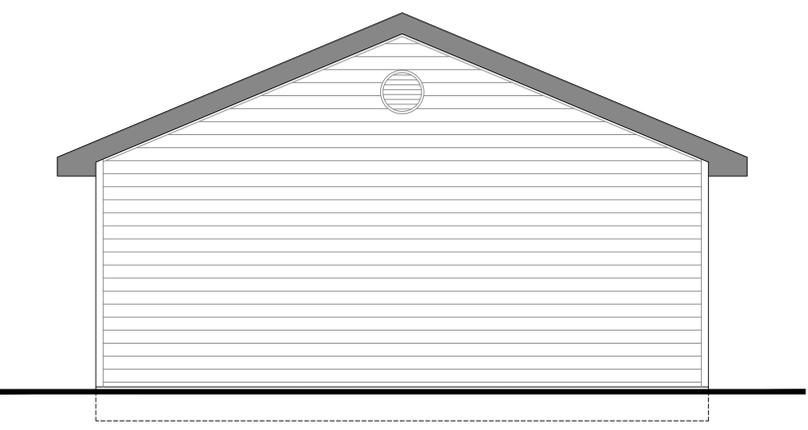
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 Individual BCIN: 20565
 Firm BCIN: 110812

MANPREET KOHLI

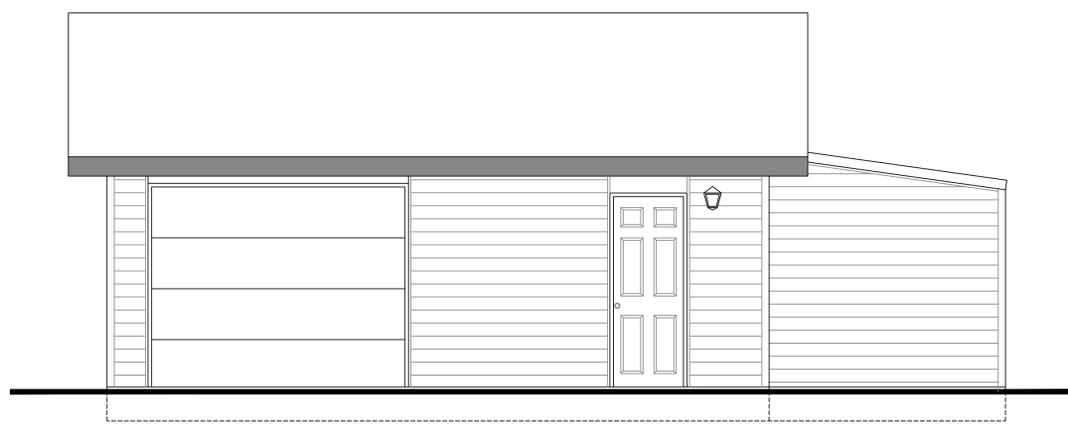
Manpreet Kohli



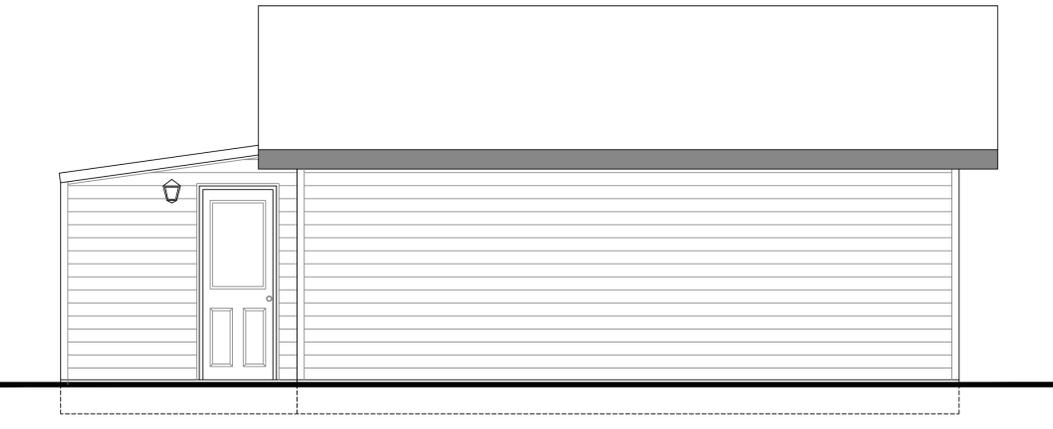
2633 PARENT AVE., WINDSOR, ONT.
A-1 Existing Main Floor Plan
 EXIST. INT. FLOOR SPACE: 575 SF
 EXIST. COVERAGE: 618 SF
 PRESENTATION PLAN



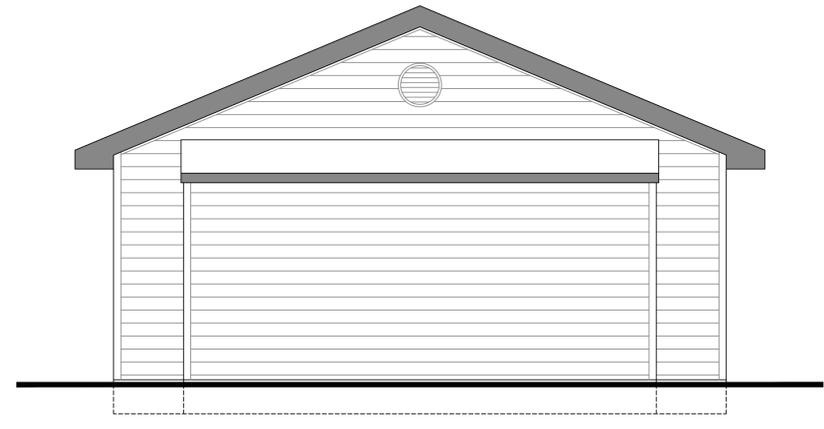
2633 PARENT AVE., WINDSOR, ONT.
E-2 Existing Left Side Elevation
 PRESENTATION PLAN



2633 PARENT AVE., WINDSOR, ONT.
E-1 Existing Front Elevation
 PRESENTATION PLAN



2633 PARENT AVE., WINDSOR, ONT.
E-3 Existing Front Elevation
 PRESENTATION PLAN



2633 PARENT AVE., WINDSOR, ONT.
E-4 Existing Right Side Elevation
 PRESENTATION PLAN

Design Firm:

 Office Address:
 12122 Evergreen Dr.,
 Tottenham, Ontario, N9N 1G9
 Contact: Call / Text: 519-818-7024
 Email: dzignerman@yahoo.com
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Revision	Date	Initials
1	04/07/2025	SP

The undersigned has reviewed and shall be responsible for the design work on behalf of a firm registered under subsection 3.2.4. of the Building Code to be a Designer.
QUALIFICATION INFORMATION
 Registration No. BCIN 110812
 Registration Class: Registered Professional Engineer
 Registration Information: Registered Class: Registered Professional Engineer, 3.2.4.1. of the Building Code
 License No.: 27727
 Issue Date: 2018

Shawn Piskovic
 LEAD DESIGNER

Issued For:
 Permit Drawings
 City of Windsor, Ontario

P.O. #:
 2510

Dan & Lucas Gamble
 2633 Parent Ave.
 Windsor, Ont., Ontario
 N9X 4K6

Final Square Footage
 618 SF / 57.4 SQM

Drawing Type:
 Detached Accessory Structure ADU

Designed By:
 Shawn Piskovic
 Lead BCIN Designer

Scale: NTS
 Date: 05/07/25
 Province: Ontario

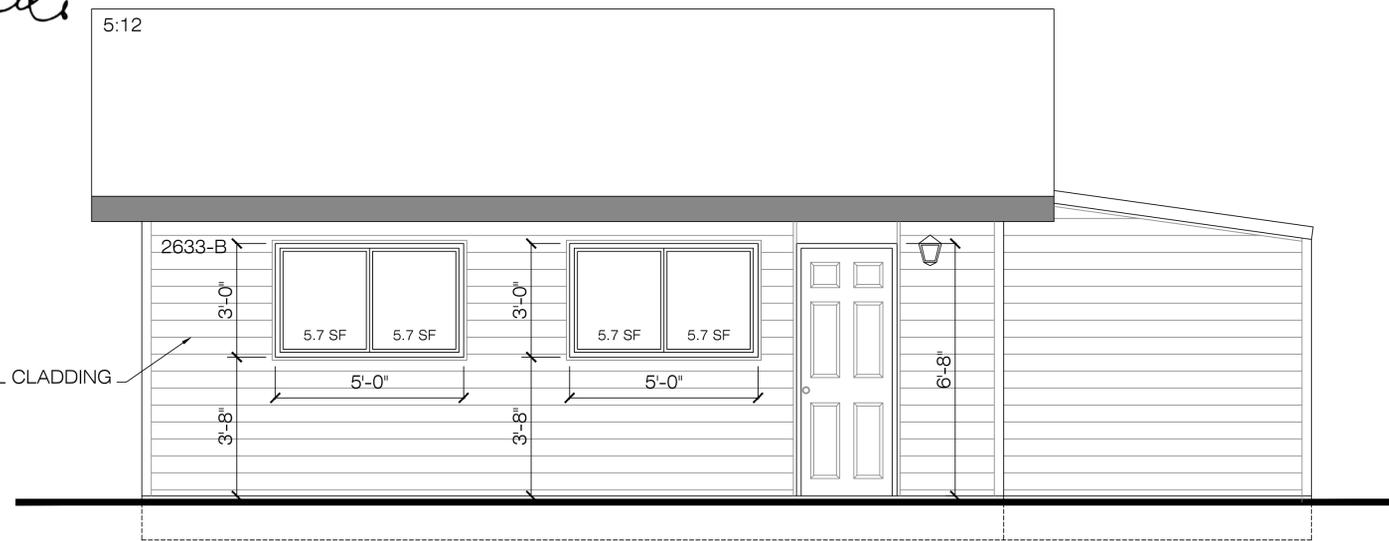
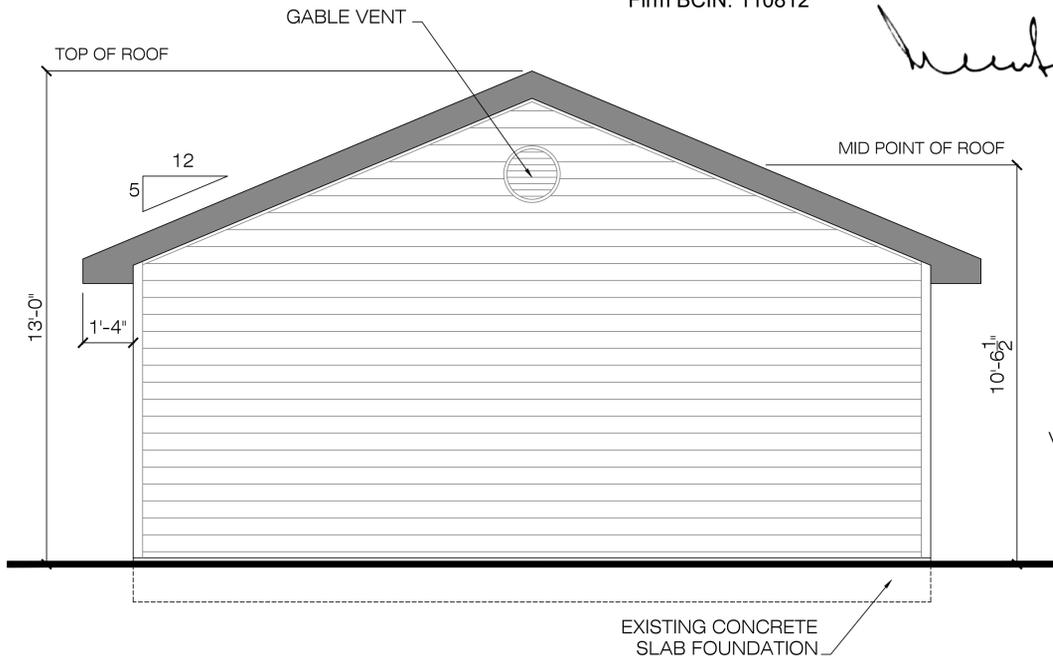
Drawing I.D.
03

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
 Individual BCIN: 20565
 Firm BCIN: 110812

MANPREET KOHLI



UNPROTECTED OPENING CALCULATIONS
 NEW WALL SPACE: 0 SF
 NEW GARAGE DOOR SPACE: NA
 NEW WINDOW SPACE: 11.4 SF
 LIMITING DISTANCE: 29'6"



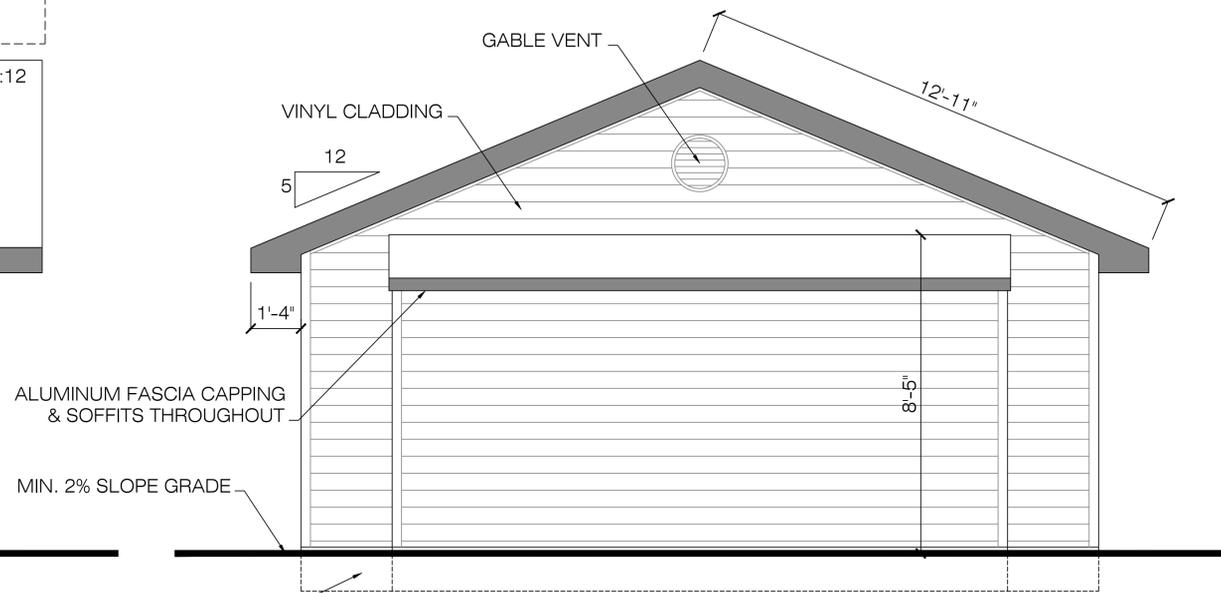
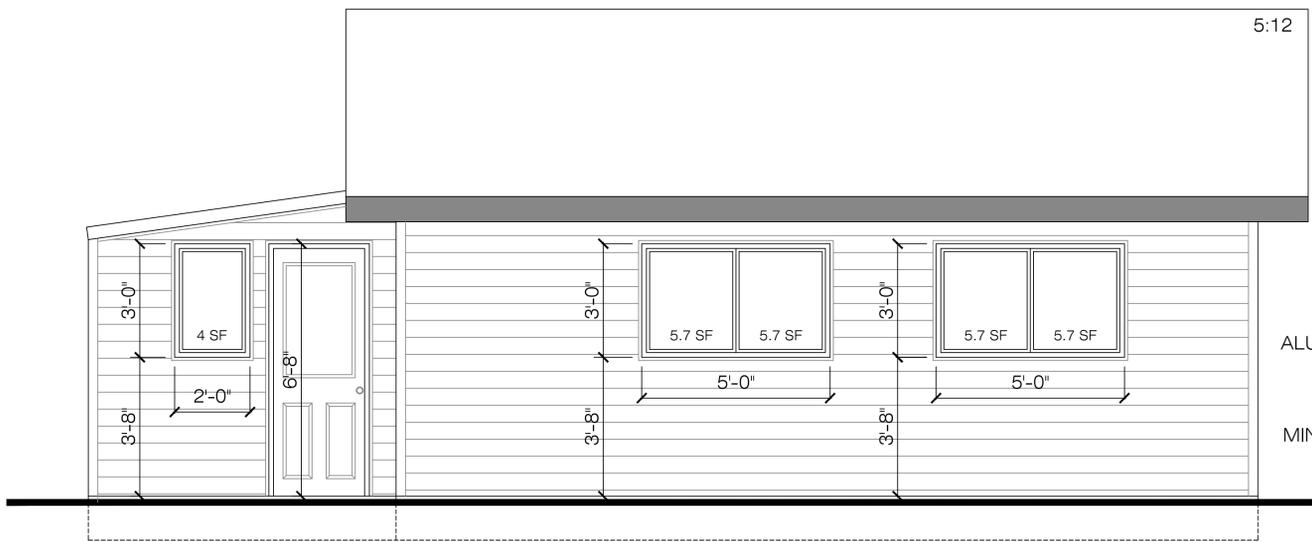
2633 PARENT AVE., WINDSOR, ONT.
E-2 Proposed Left Side Elevation
 PERMIT PLAN

2633 PARENT AVE., WINDSOR, ONT.
E-1 Proposed Front Elevation
 PERMIT PLAN

ROOFING: ASPHALT SHINGLE ROOFING ON FELT UNDERLAY W/ ICE & WATER SHIELD ON 1/2" PLY ROOF SHEATHING ON EXISTING HAND FRAMED WOOD ROOF FRAME
 FLASHING WHERE AND WHEN REQUIRED THROUGHOUT ALL ROOF PENETRATIONS & VENTS STACKS FOR ALL BATHROOM FIXTURES & MISC EXHAUST PORTS

UNPROTECTED OPENING CALCULATIONS
 NEW WALL SPACE: 0 SF
 NEW GARAGE DOOR SPACE: NA
 NEW WINDOW SPACE: 15.4 SF
 LIMITING DISTANCE: 6'7"

EAVESTROUGHS W/ DOWNSPOUTS TO BE INSTALLED THROUGHOUT AND DRAINED AWAY FROM THE DWELLING AT ALL POINTS OF THE PROPERTY.



2633 PARENT AVE., WINDSOR, ONT.
E-3 Proposed Front Elevation
 PERMIT PLAN

2633 PARENT AVE., WINDSOR, ONT.
E-4 Proposed Right Side Elevation
 PERMIT PLAN

Design Firm:

 Office Address:
 12122 Evergreen Dr.,
 Tecumseh, Ontario, N9N 1G9
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 CALL 'THE MAN' WITH THE PLAN

Revision	Date	Initials
1	04/07/2025	SP

The undersigned has reviewed and takes responsibility for this drawing and the calculations and details for the construction and all in the Ontario Building Code to be a Designer.
 QUALIFICATION INFORMATION
 Registration Number: 6294, 110812
 Registration Class: Architectural
 REGISTRATION INFORMATION
 Required Class: 6294, 110812
 Building Code: 9318

Shawn Piskovic
 DESIGNER MAN & ASSOCIATES

Issued For:
 Permit Drawings
 City of Windsor, Ontario

P.O. #:
 2510

Dan & Lucas Gamble
 2633 Parent Ave.
 Windsor, Ont., Ontario
 N9X 4K6

Final Square Footage
 618 SF / 57.4 SQM

Drawing Type:
 Detached Accessory Structure ADU

Designed By:
 Shawn Piskovic
 Lead BCIN Designer

Scale: NTS
 Date: 05/07/25
 Province: Ontario

Drawing I.D.
05

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
 Individual BCIN: 20565
 Firm BCIN: 110812

MANPREET KOHLI



Manpreet Kohli

EAVESTROUGHS W/ DOWNSPOUTS ARE INSTALLED THROUGHOUT AND DRAINED AWAY FROM THE DWELLING AT ALL POINTS OF THE PROPERTY.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE REPORTING ANY ERRORS AND OMISSIONS TO DZIGNERMAN & ASSOCIATES WITHOUT DELAY BEFORE STARTING CONSTRUCTION AND RENOVATION.

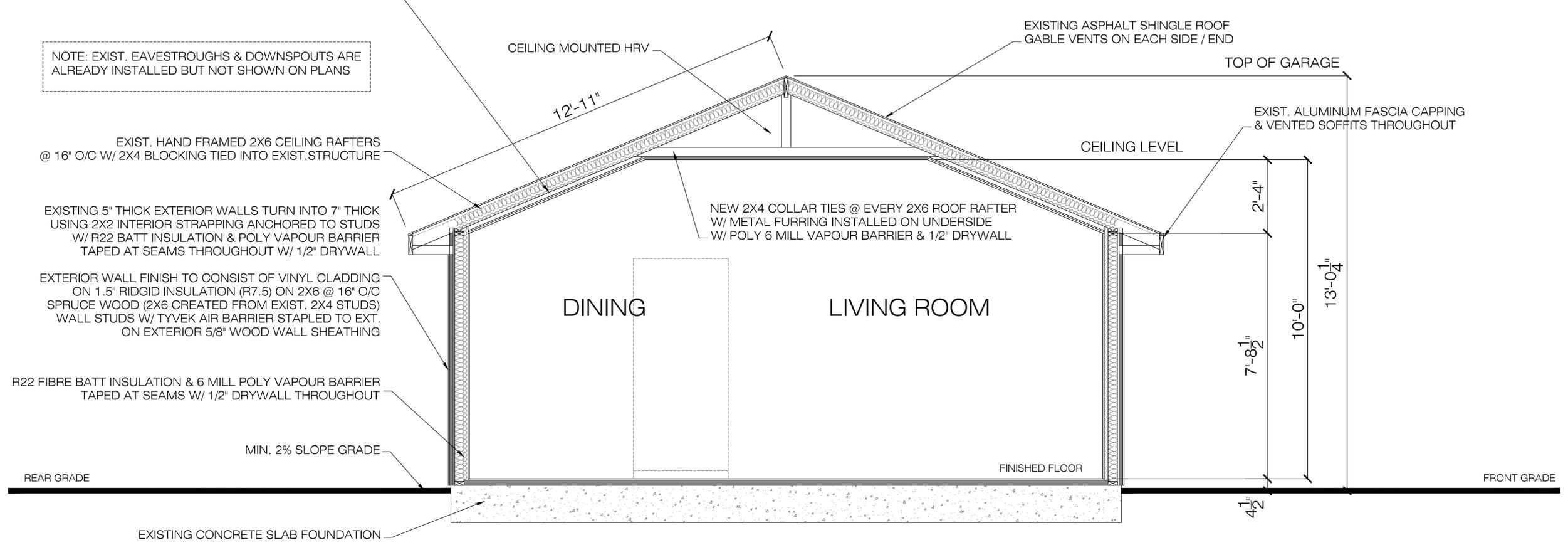
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE DRAWINGS ARE BASED ON CURRENT DATA.

ANY VARIATIONS DURING CONSTRUCTION FROM THESE DRAWINGS MUST BE REPORTED TO DESIGNER. AS BUILT DRAWINGS MUST BE MAINTAINED BY THE CONTRACTOR ON SITE.

ALL INTERIOR VAULTED CEILING INSULATION: R31 SPRAY FOAM (CLOSED CELL) INSULATION THROUGHOUT ENTIRE VAULTED CEILING ALONG WITH NEW 1/2" DRYWALL CEILING (OPT. METAL FURRING)

ROOFING: ASPHALT SHINGLE ROOFING ON FELT UNDERLAY W/ ICE & WATER SHIELD ON 1/2" PLY ROOF SHEATHING ON EXISTING HAND FRAMED WOOD ROOF FRAME

FLASHING WHERE AND WHEN REQUIRED THROUGHOUT ALL ROOF PENETRATIONS & VENTS STACKS FOR ALL BATHROOM FIXTURES & MISC EXHAUST PORTS



NOTE: EXIST. EAVESTROUGHS & DOWNSPOUTS ARE ALREADY INSTALLED BUT NOT SHOWN ON PLANS

2633 PARENT AVE., WINDSOR, ONT.
C-1 Proposed Crosssection
 PERMIT PLAN

FLOORING NOTE: (MIN R10)
 INSTALL MIN. 2" THICK RIDGID INSULATION ON CONCRETE SLAB W/ 5/8" WOOD SUBFLOOR THROUGHOUT ENTIRE FLOOR SPACE

ENGINEER STAMP

Design Firm: **DZIGNERMAN & ASSOCIATES**

Office Address: 12122 Evergreen Dr., Toronto, Ontario, M3H 1G9

Contact: Call / Text: 519-818-7024
 Email: dzignerman@yahoo.com
 Website: www.DZignerman.com

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 CALL 'THE MAN' WITH THE PLAN

Revision	Date	Initials
1	04/07/2025	SP

The undersigned has prepared and shall remain responsible for this drawing and the specifications and notes. The responsibility is not to be shared with the contractor or any other party.
 QUALIFICATION INFORMATION
 Registration No. BCIN 20565
 Registration Category: Architectural
 Registration Information
 Professional Designation: Architect
 Registration Code: 20565

Shawn Piskovic
 LEAD DESIGNER

Issued For: Permit Drawings
 City of Windsor, Ontario

P.O. #: 2510

Dan & Lucas Gamble
 2633 Parent Ave.
 Windsor, Ont., Ontario
 N8X 4K6

Final Square Footage
 618 SF / 57.4 SQM

Drawing Type:
 Detached Accessory Structure ADU

Designed By:
 Shawn Piskovic
 Lead BCIN Designer

Scale: NTS
 Drawing I.D.: **06**

Date: 05/07/25
 Province: Ontario

DZigner Man & Associates Assumes No Liability For Any Changes Or Modifications Made To These Plans By Others