



COMMITTEE OF ADJUSTMENT

APPLICANT : NEDILJKA ANTUNOVIC

ADDRESS : 343 CARON AVENUE

 SUBJECT LANDS

N.T.S.



CITY OF WINDSOR

File: A-048/25

COMMITTEE OF ADJUSTMENT PUBLIC HEARING

PURSUANT to Section 45 of the Planning Act, a Committee of Adjustment public hearing will be held to consider a minor variance to Zoning By-law 8600. This is not an application for a zoning change.

You are receiving this notice of hearing as a courtesy because the Committee of Adjustment identified your property as located within a 40 meters circulation area of the subject lands. Notice as required by the Planning Act was given by publication of the Committee of Adjustment's Agenda Record in the Windsor Star on May 28, 2025.

APPLICATION FOR MINOR VARIANCE – Relief from the operation of Zoning By-law 8600

Owner: NEDILJKA ANTUNOVIC **Location:** 343 CARON AVE

Legal Description: PLAN 282; N PT LOT 10; PT CLOSED LANE; RP 12R-23709; PARTS 4; 5 & 6 **Zoning:** Residential RD2.2

Official Plan: Residential

Explanation: The accommodation of a multiple dwelling unit with proposed attached garage addition resulting in reduced minimum lot width and increased maximum lot coverage, thereby requesting the following relief:

Section 11.2.5.4.1 – Minimum lot width

By Law Requirements	Proposed
18.0 m	13.8 m

Section 11.2.5.4.3 – Maximum lot coverage

By Law Requirements	Proposed
45.0 %	46.5 %

COMMITTEE OF ADJUSTMENT HEARING - 519-255-6543 ext 6436 or 6450

When: June 12, 2025 at 3:30 pm

Where: VIA VIDEO CONFERENCE

(information on how to join the public meeting will be on the City of Windsor website prior to the meeting date)

You are invited to attend this hearing and express any interest you may have in this application. Written comments are also acceptable and may be submitted in person, by mail, by fax or by email. All comments must be received **NO LATER than 4:30PM on the Wednesday, prior to the meeting date.** Comments received after such, will not be included at time of hearing.

The applicant or agent must attend the meeting. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you. To be notified of the decision of the Committee of Adjustment regarding this application, you must submit a written request to the Secretary-Treasurer.

It is the practice of Committee of Adjustment members to visit the site prior to considering this application. Administrative comments are available by email after 12:00 noon on the Friday prior to the hearing.

Jessica Watson
Secretary-Treasurer, Committee of Adjustment

Dated: May 29, 2025

Suite 210, 350 City Hall Square West
Windsor ON N9A 6S1

Tel: 519-255-6543
Fax: 519-255-6544
Email: jwatson@citywindsor.ca
Web: www.citywindsor.ca

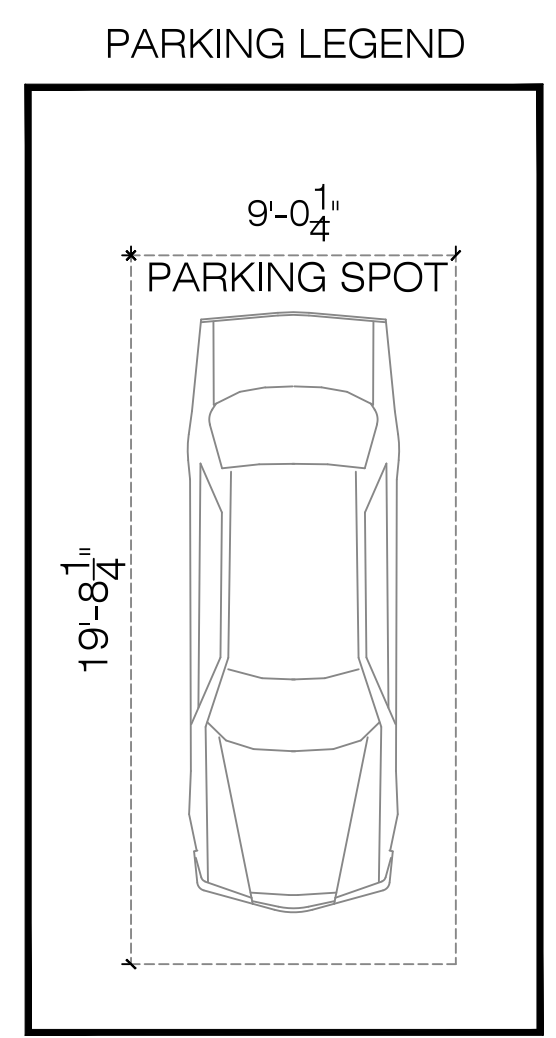
1	Application Information		
	Name of ALL Owners Nediljka Antunovic	Contact No. 519-560-0905	Business Telephone No.
	Address 343 Caron Ave., Windsor, Ont. nalim34@hotmail.com		Postal Code N9A 5B3
	E-Mail Address:		
	Name of Contact Person/Agent (if different than owner) Shawn Piskovic	Contact No. 519-818-7024	Business Telephone No. 519-818-7024
Address 12122 Evergreen Dr., Tecumseh, Ont. E-Mail Address: dzignerman@yahoo.com		Postal Code N8N 1G9	Fax No.
PAYMENT CONTACT INFORMATION ONLY:			
Name: Milan Antunovic (Son)			
Contact No: 519-560-0905			
2	Date application submitted to the City of Windsor. 01/21/2024		
3	Present Official Plan Provisions applying to the land:		
4	Present Zoning By-law provisions applying to the land: Frontage (lot width) min not met as well as maximum lot coverage exceeded.		
5	Nature and extent of relief applied for: (you MUST list each By-law Section etc. and relief requested) Accommodate a multiple dwelling unit with reduced minimum lot width and exceeding maximum lot coverage.		
6	State why it is NOT possible to comply with the provisions of the by-law. (Must be complete) Minimum Lot Width [11.2.5.4.1] 18.0m (Required) / 13.8m (Provided) Maximum Lot Coverage [11.2.5.4.3] 45.0% (Required) / 46.5% (Provided) design exceeds by 1.5%		
7	Legal Description of the Subject Land(s)		
	Municipality Windsor	Street Name Caron Ave.	Street Address 343
	Concession Number(s)	Registered/reference Plan No.	Lot/Part No.(s)
	Parcel No.	12R-23709	Part Lot 10
8	Dimensions of Land Affected: THIS SECTION MUST BE COMPLETE		
	Lot Frontage/Width 13.77 m	Depth 47.3 m	Lot Area 662.3 sq/m
9	Access (check appropriate space)	Provincial Highway Municipal road, maintained all year Municipal road, seasonally maintained Other public road Right of way Water only. If yes, the docking facilities to be used and the approximate distance of these facilities from the subject land and the nearest public road _____	Yes No <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>
10	Water Supply	Publicly owned and operated piped water system... Privately owned and operated..... Individual or communal well..... Lake or other water body..... Other _____	Yes No <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>
11	Sewage Disposal	Publicly owned and operated piped sewage system..... Privately owned and operated individual or communal septic tank system..... Pit, privy, or other _____	Yes No <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>



Office Address:
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Toronto, Ontario, M9W 1G9
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Call / Text: 519-818-7024
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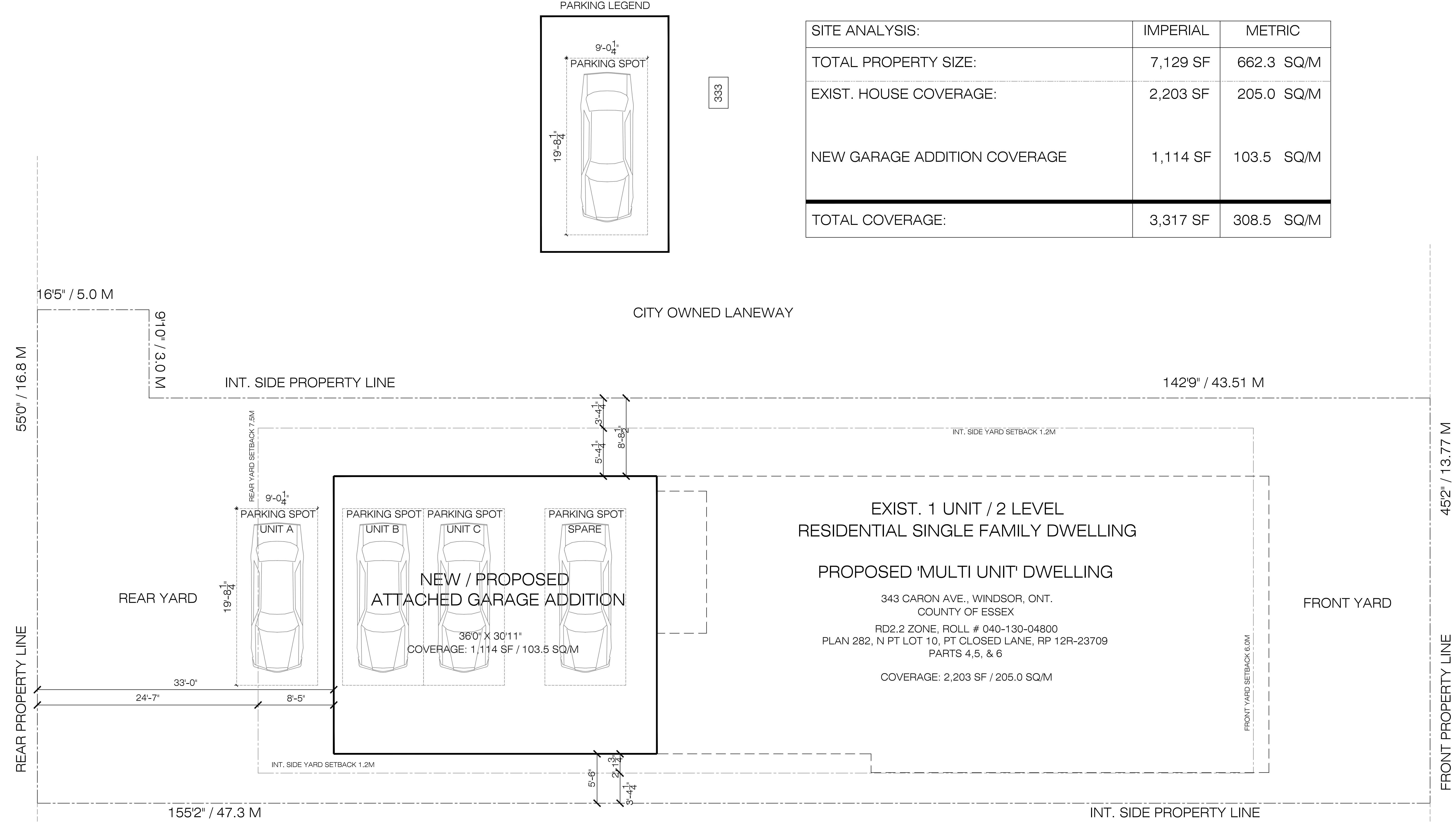
Revision	Date	Initials
1	11/03/2024	SP

SITE ANALYSIS:	IMPERIAL	METRIC
TOTAL PROPERTY SIZE:	7,129 SF	662.3 SQ/M
EXIST. HOUSE COVERAGE:	2,203 SF	205.0 SQ/M
NEW GARAGE ADDITION COVERAGE	1,114 SF	103.5 SQ/M
TOTAL COVERAGE:	3,317 SF	308.5 SQ/M



333

359

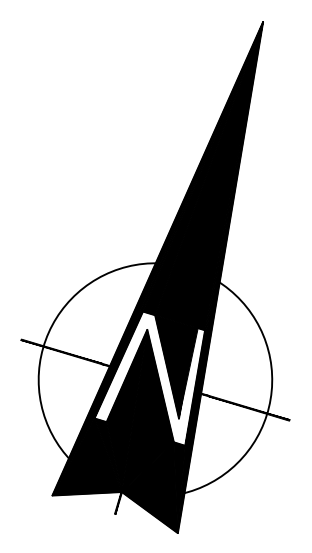


CARON AVE.

343 CARON AVE., WINDSOR, ONT.

S-1 Site Plan

PERMIT PLAN



Issued For:
Permit Drawings
City of Windsor, Ontario

P.O. #: 2412

Nediljka Antunovic
343 Caron Ave.
Windsor, Ontario
N9A 5B3

Final Square Footage
As Noted

Drawing Type:
Attached Garage Addition
& Res. Multi Unit Conversion

Designed By:
Shawn Piskovic & John Kietler
Lead BCIN Designer

Scale: 3/16" = 1' Drawing I.D.

Date: 11/03/24

Province: Ontario

03

Design Firm:



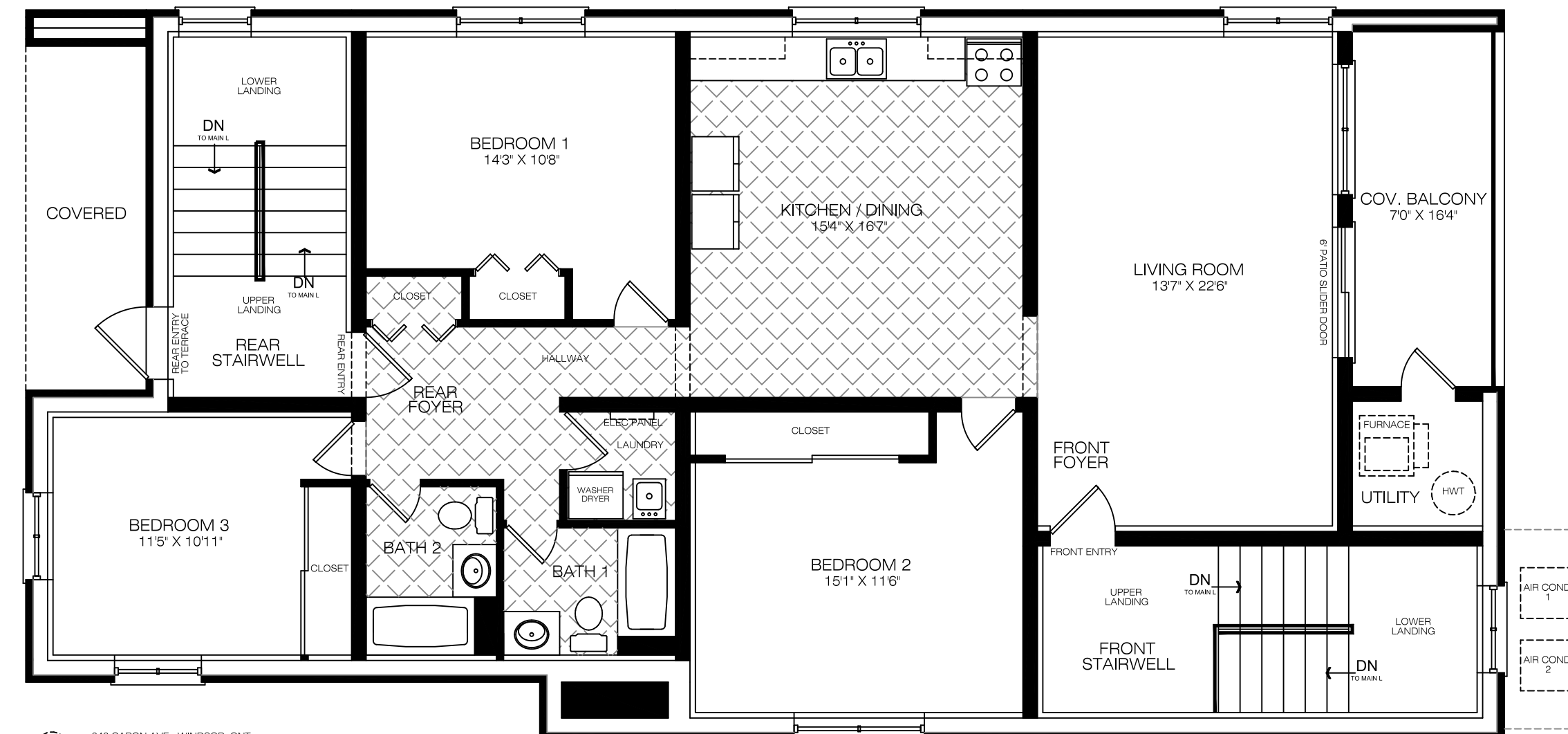
Office Address:
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Toronto, Ontario, M9N 1G9

Contact:
Call / Text: 519-818-7024
Email: dzignerman@yahoo.com

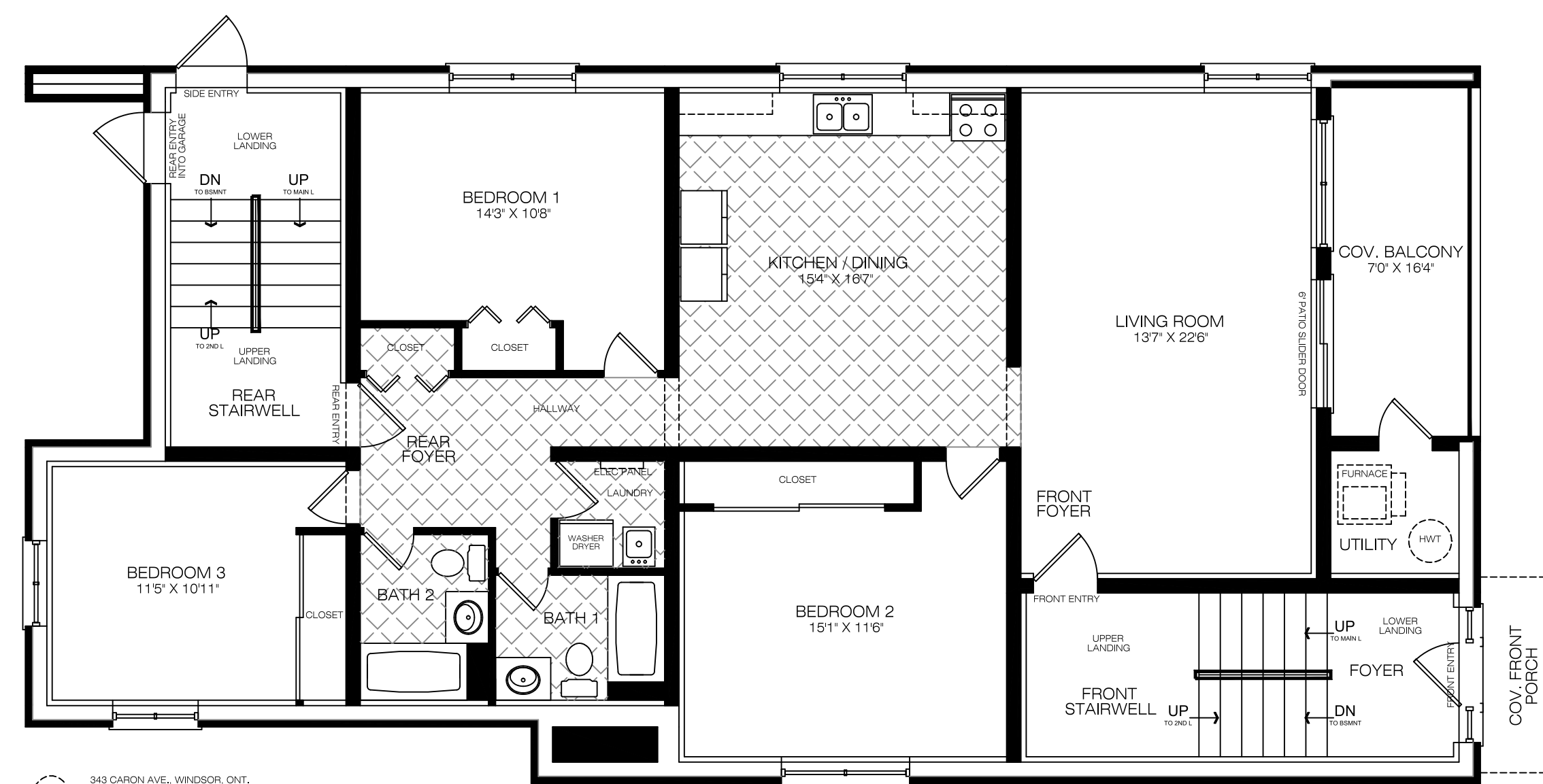
Website:
www.DZignerman.com

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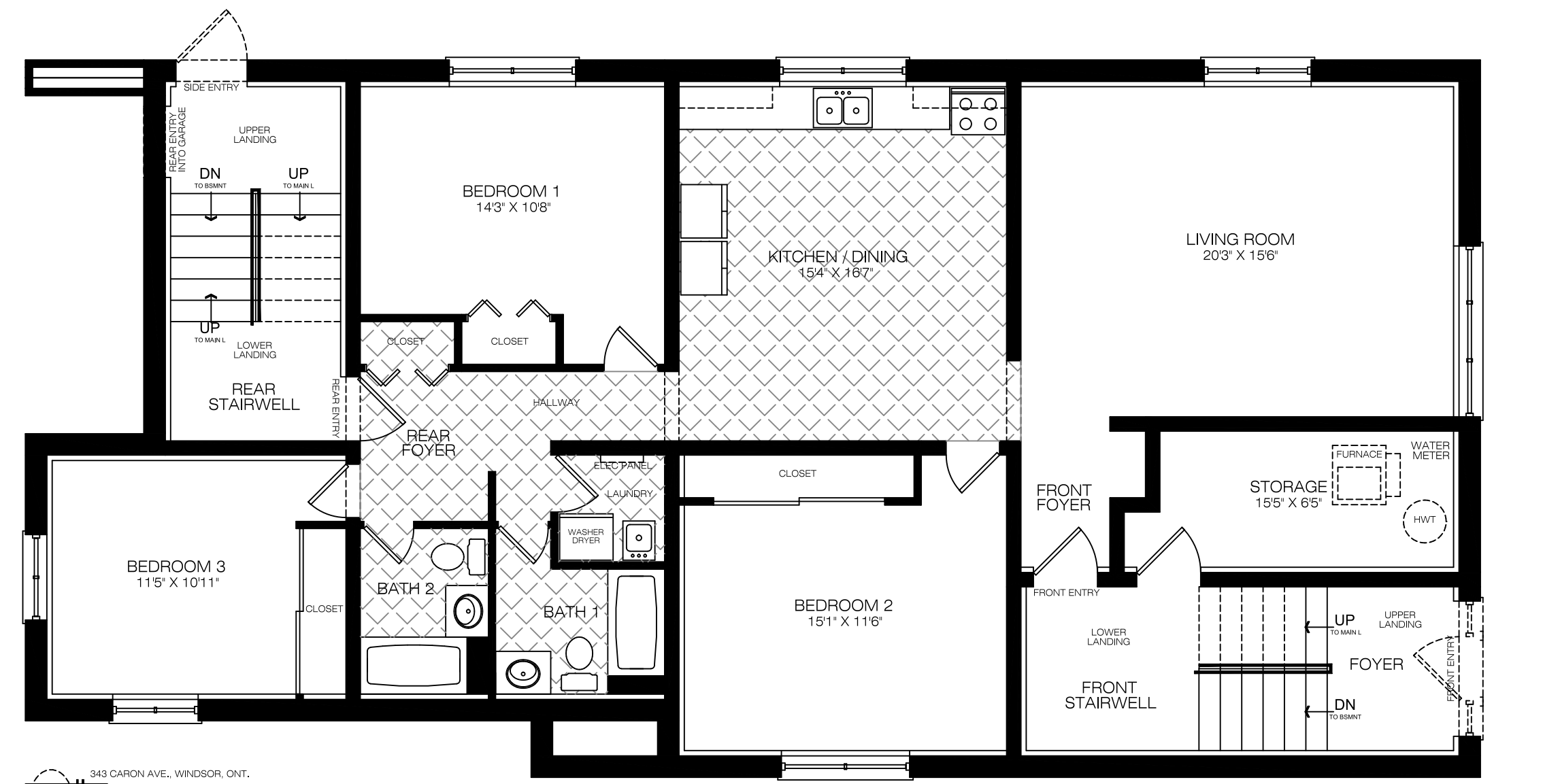
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343 CARON AVE., WINDSOR, ONT.
A-5 Existing 2nd Floor Plan
 1/4" = 1'-0" FLOOR SPACE, 1/8" = 1'-0" TERRACE FLOOR SPACE, 1:200 SF PRESENTATION PLAN



343 CARON AVE., WINDSOR, ONT.
A-4 Existing Main Floor Plan
 1/4" = 1'-0" FLOOR SPACE, 1/8" = 1'-0" EXIST. COVERAGE, 2:200 SF PRESENTATION PLAN



343 CARON AVE., WINDSOR, ONT.
A-6 Existing Basement Floor Plan
 1/4" = 1'-0" FLOOR SPACE, 1/8" = 1'-0" EXIST. COVERAGE, 1:200 SF PRESENTATION PLAN

Issued For: Permit Drawings
City of Windsor, Ontario

P.O. #: 2412

Neslika Antunovic
343 Caron Ave.
Windsor, Ontario
N9A 6B3

Final Square Footage
As Noted

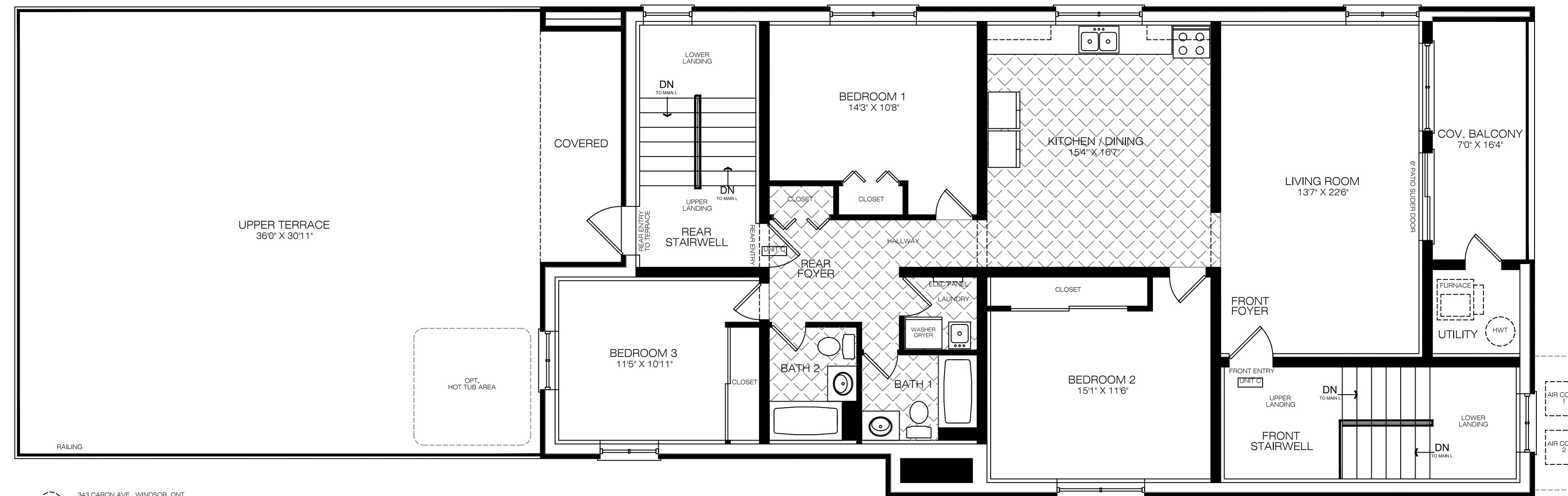
Drawing Type:
Attached Garage Addition
& Res. Multi Unit Conversion

Designed By:
Shawn Paskovic & John Kieffer
Lead BCN Designer

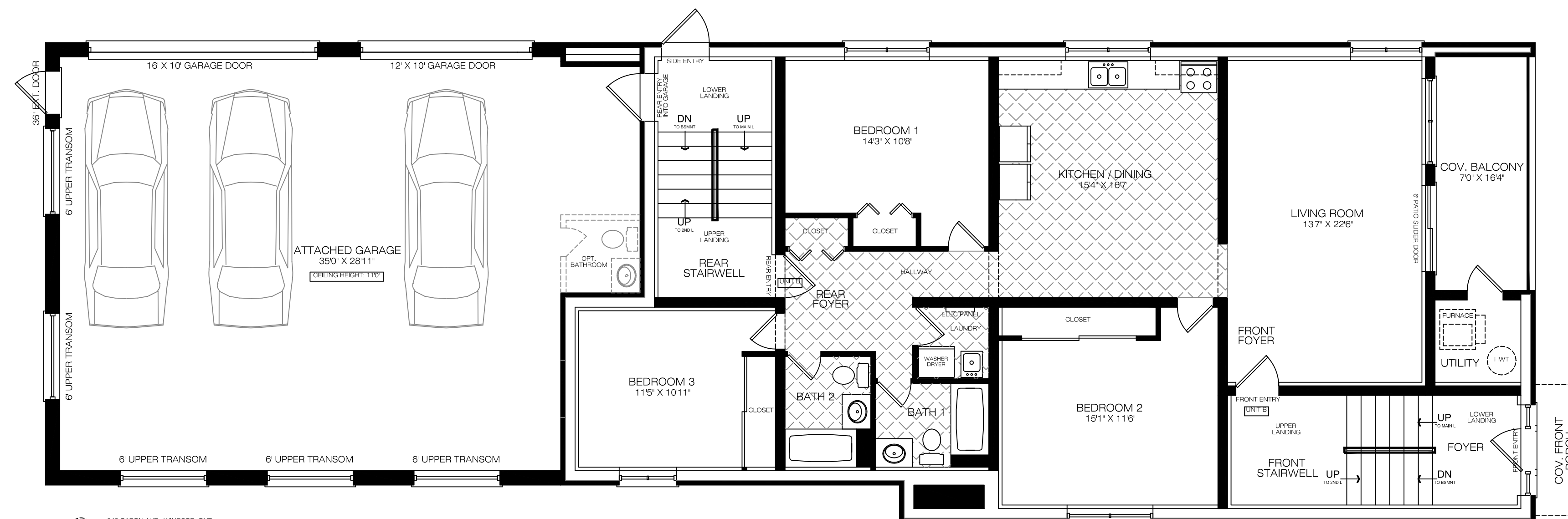
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Date: 11.03.24 Province: Ontario

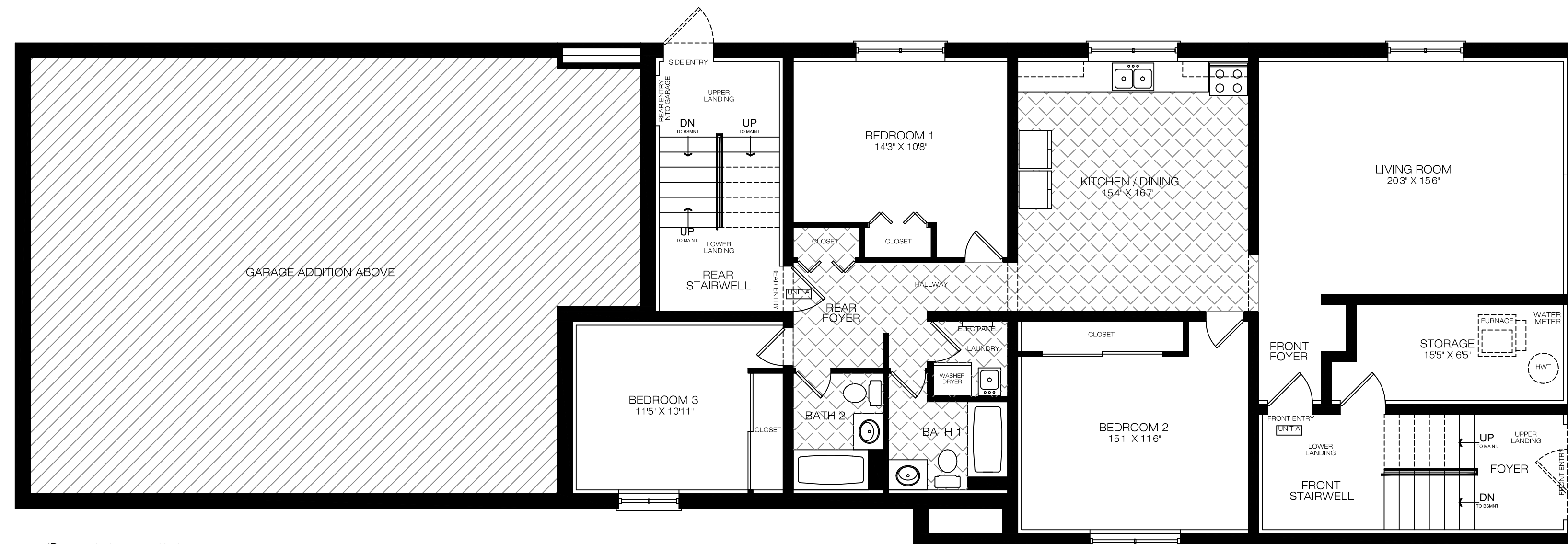
04



A-3 343 CARON AVE., WINDSOR, ONT.
Proposed 2nd Floor Plan
 NEW FLOOR SPACE: 1,282 SF PRESENTATION PLAN
 TERRACE FLOOR SPACE: 1,202 SF



A-1 343 CARON AVE., WINDSOR, ONT.
Proposed Main Floor Plan
 NEW GARAGE FLOOR SPACE: 1,101 SF PRESENTATION PLAN
 NEW GARAGE COVERAGE: 1,114 SF
 EXIST. COVERAGE: 2,203 SF
 TOTAL COVERAGE: 3,317 SF
 EXIST. LIVING SPACE / INT. FLOOR SPACE: 1,884 SF



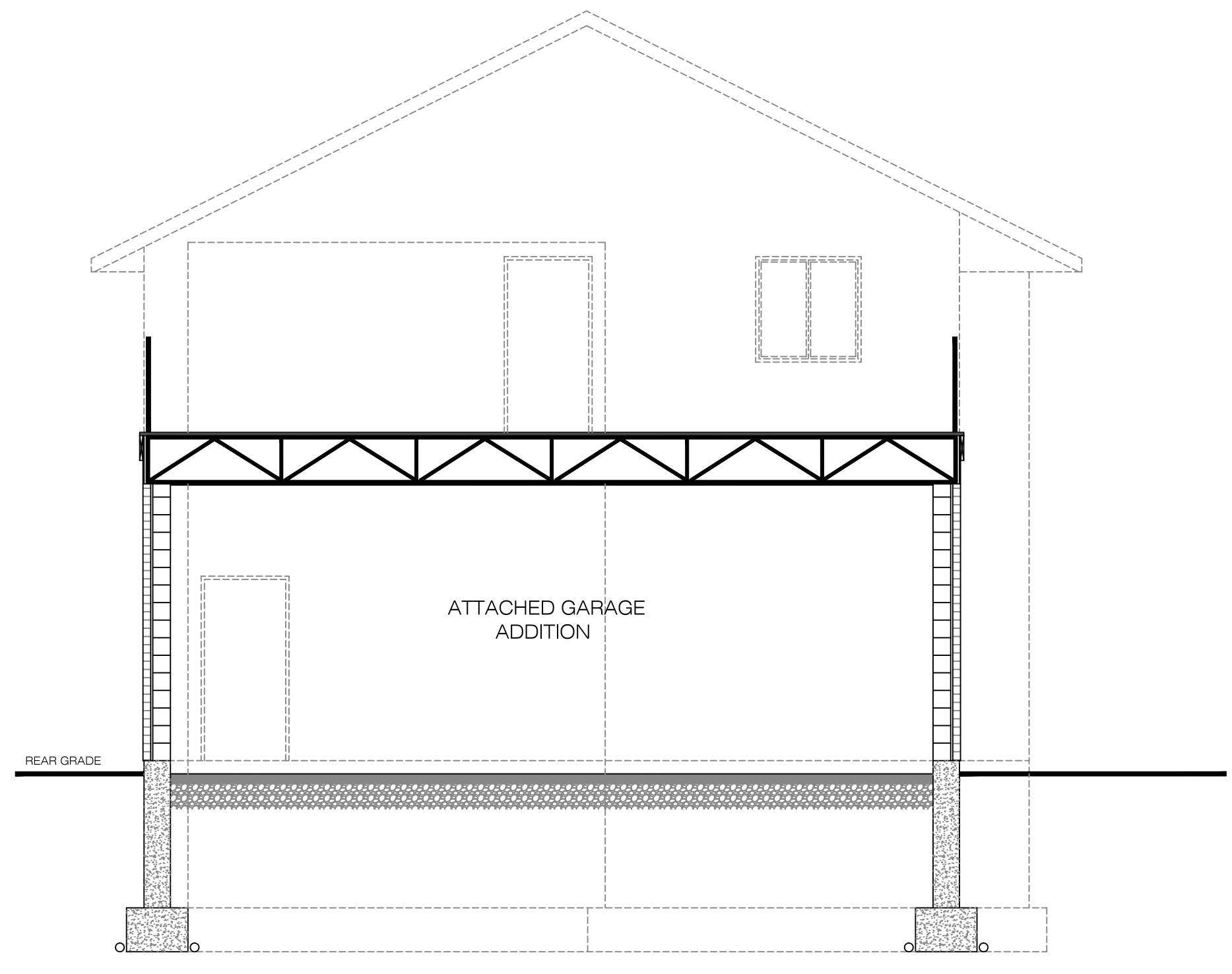
A-2 343 CARON AVE., WINDSOR, ONT.
Proposed Basement Floor Plan
 NEW INT. FLOOR SPACE: 1,891 SF PRESENTATION PLAN

Design Firm:

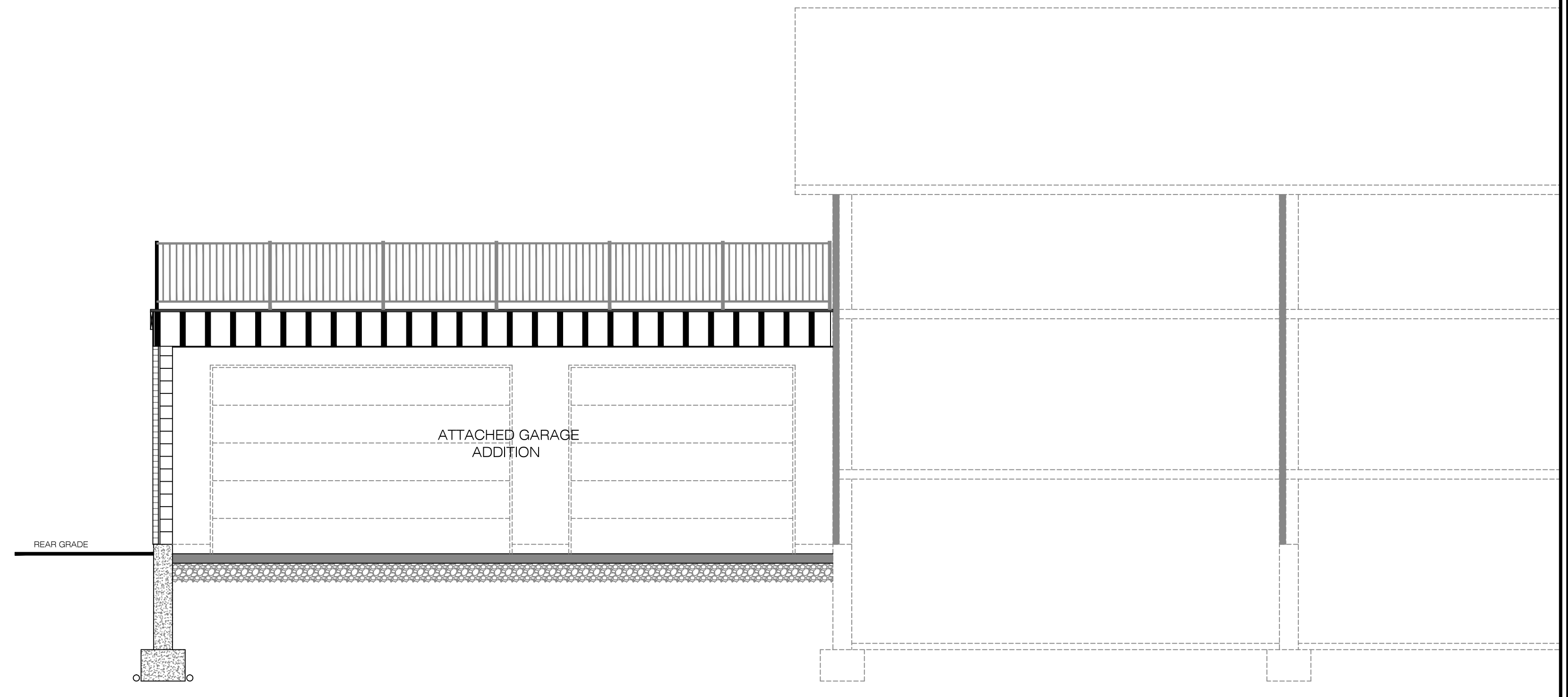
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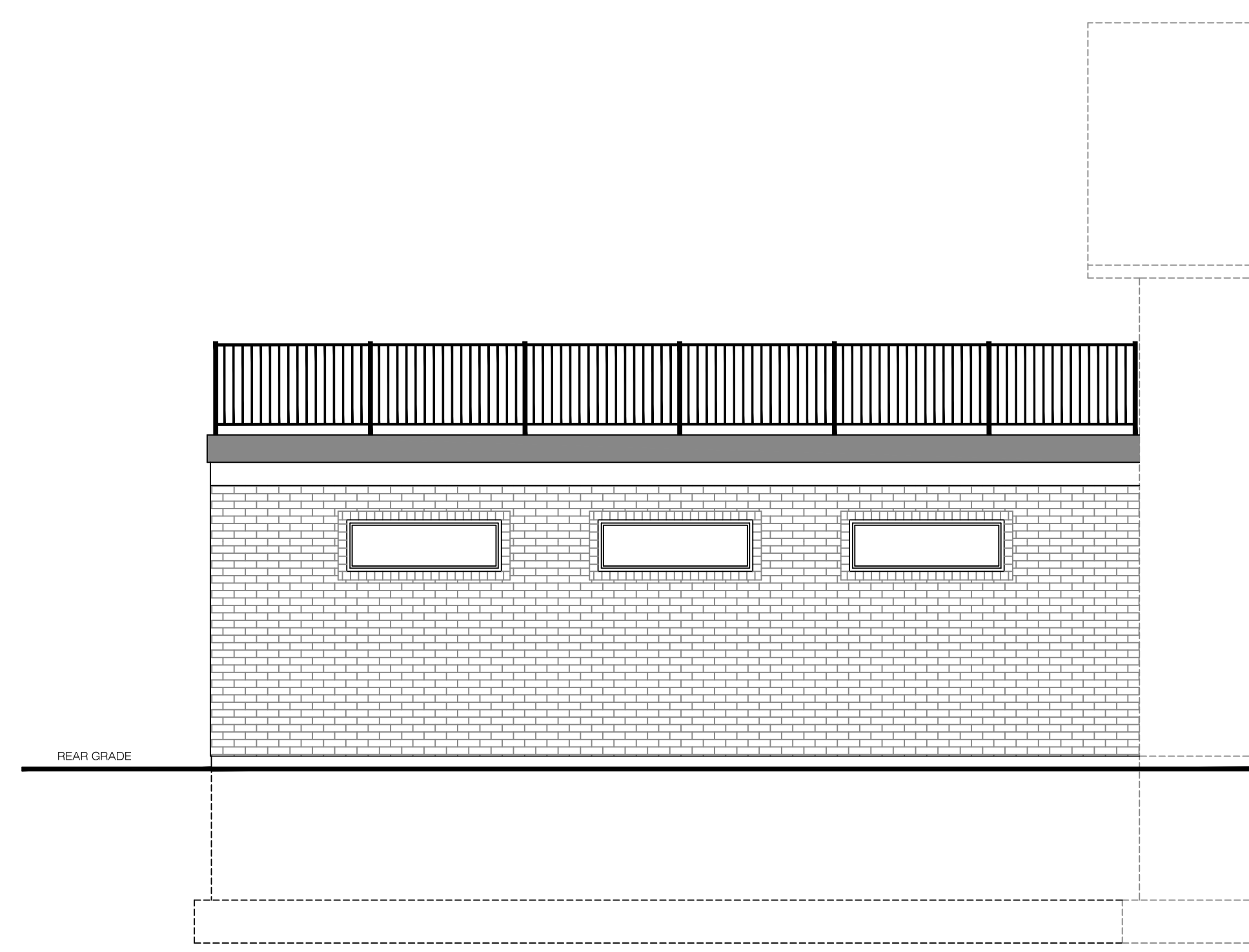
Issued For:
 Forml Drawings
 City of Windsor, Ontario
 P.O. #:
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 Nedeljka Antunovic
 343 Caron Ave.
 Windsor, Ontario
 N8A 6B3
 Final Square Footage
 As Noted
 Drawing Type:
 Attached Garage Addition
 & Res. Multi Unit Conversion
 Designed By:
 Shawn Paskovic & John Kieffer
 Lead BCN Designer
 Scale: NTS Drawing I.D.
 Date: 11.03.24
 Province: Ontario



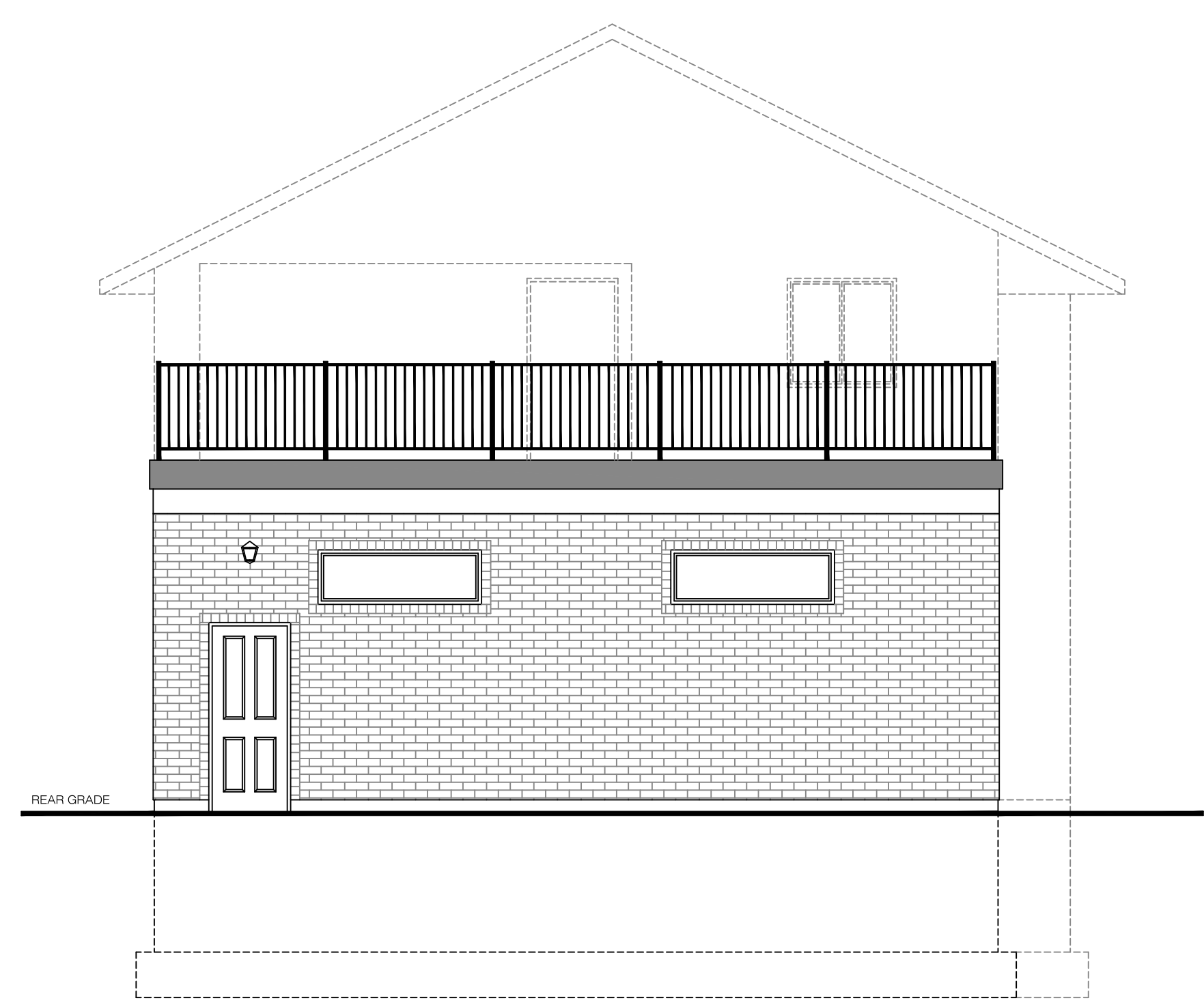
343 CARON AVE., WINDSOR, ONT.
C-2 Proposed Side Crosssection
 PRESENTATION PLAN



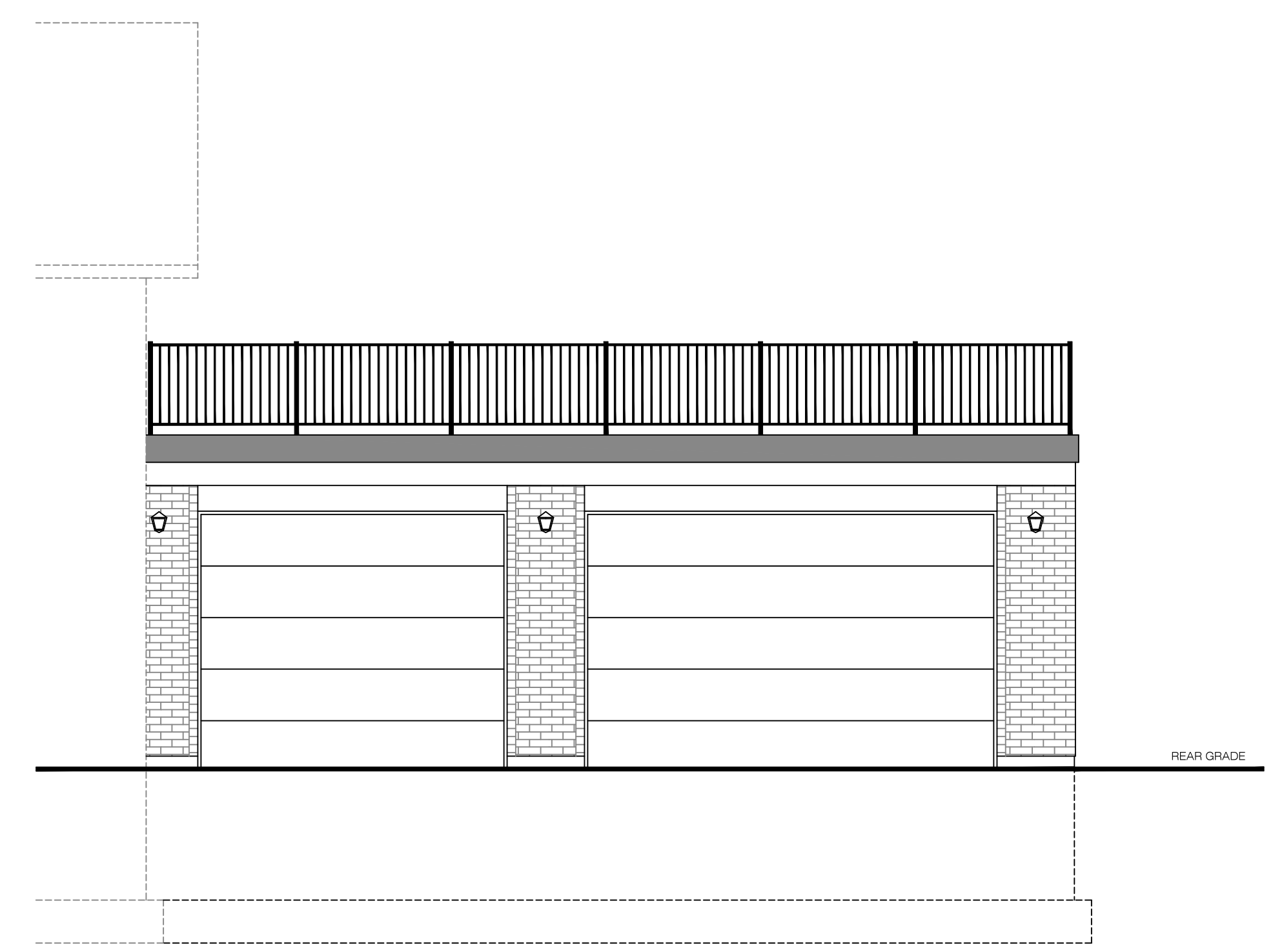
343 CARON AVE., WINDSOR, ONT.
C-1 Proposed Rear Crosssection
 PRESENTATION PLAN



343 CARON AVE., WINDSOR, ONT.
E-3 Proposed Rear Elevation
 PRESENTATION PLAN



343 CARON AVE., WINDSOR, ONT.
E-2 Proposed Side Elevation
 PRESENTATION PLAN



343 CARON AVE., WINDSOR, ONT.
E-1 Proposed Front Elevation
 PRESENTATION PLAN



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
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Date: 11.03.24 Province: Ontario



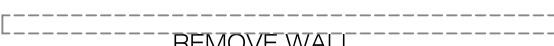
06

Revision	Date	Initials
1	11.03.2024	SP

ICON LEGEND

	EMERGENCY 12 VOLT DC LIGHT
	SMOKE ALARM & DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN VENTED OUTSIDE

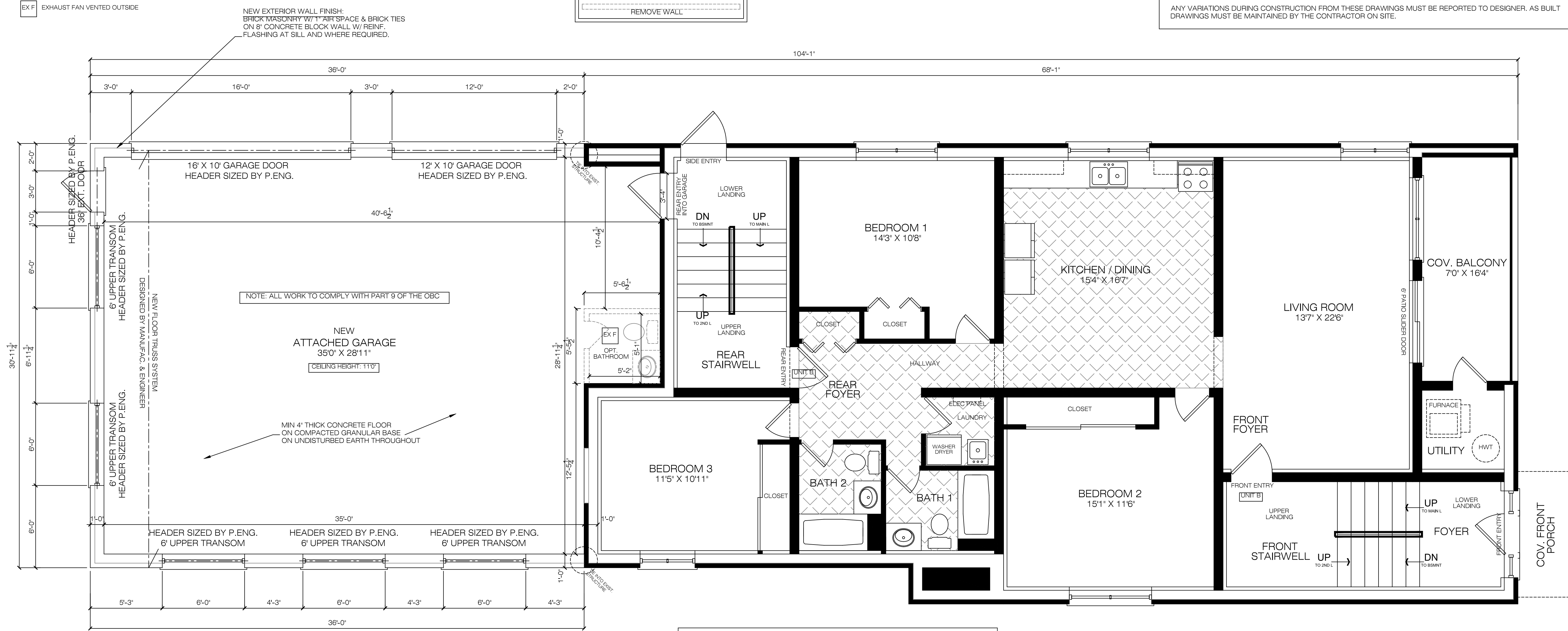
WALL TYPE LEGEND:

	NEWLY ADDED WALL
	EXISTING WALL
	REMOVE WALL

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE REPORTING ANY ERRORS AND OMISSIONS TO DZIGNERMAN & ASSOCIATES WITHOUT DELAY BEFORE STARTING CONSTRUCTION AND RENOVATION.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE DRAWINGS ARE BASED ON CURRENT DATA.

ANY VARIATIONS DURING CONSTRUCTION FROM THESE DRAWINGS MUST BE REPORTED TO DESIGNER. AS BUILT DRAWINGS MUST BE MAINTAINED BY THE CONTRACTOR ON SITE.



343 CARON AVE., WINDSOR, ONT.
A-1 Proposed Main Floor Plan
 INT. GARAGE FLOOR SPACE: 1,101 SF PERMIT PLAN
 NEW GARAGE COVERAGE: 1,114 SF
 EXIST. COVERAGE: 2,203 SF
 TOTAL COVERAGE: 3,317 SF
 EXIST. LIVING SPACE / INT. FLOOR SPACE: 1,884 SF



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WALL TYPE LEGEND:

	NEWLY ADDED WALL
	EXISTING WALL
	REMOVE WALL

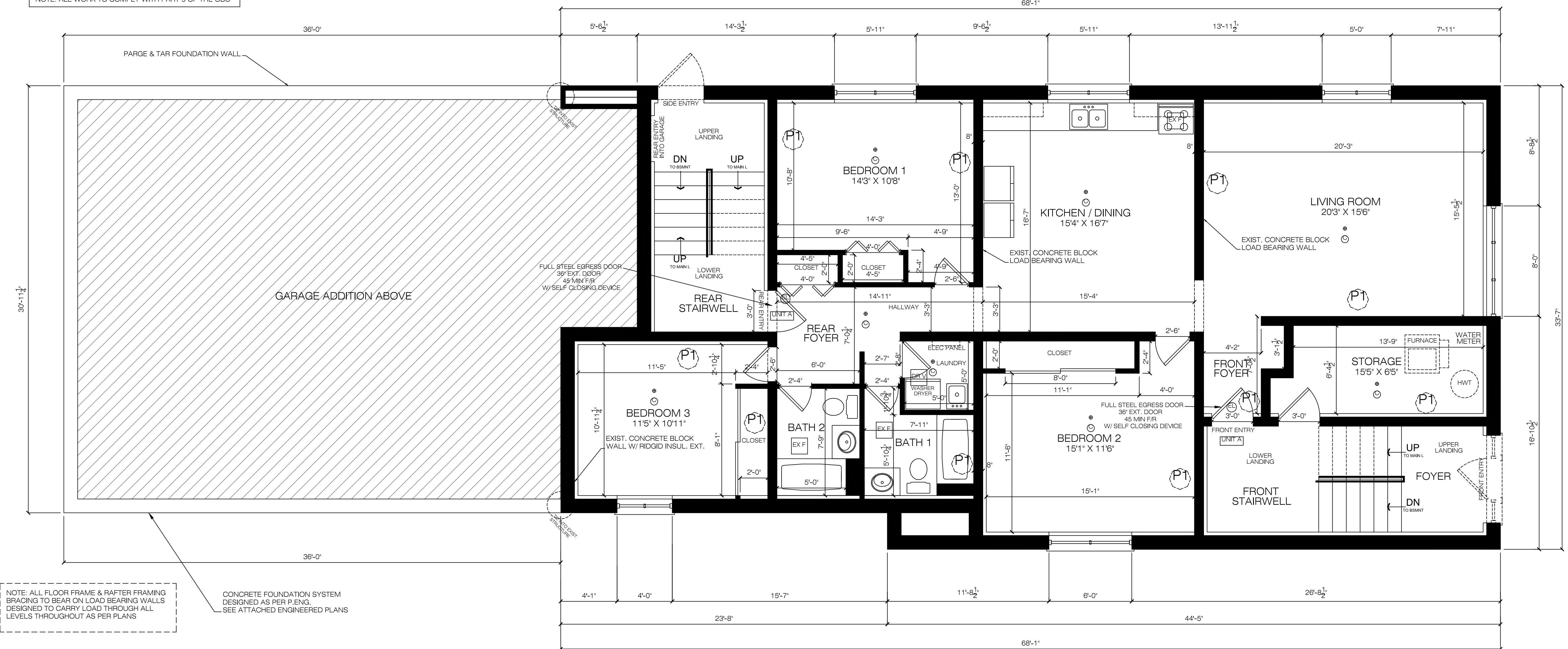
ICON LEGEND

	EMERGENCY 12 VOLT DC LIGHT
	SMOKE ALARM & DETECTOR
	CARBON MONOXIDE DETECTOR
	EX F EXHAUST FAN VENTED OUTSIDE
	DR V DRYER VENTED OUTSIDE

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NOTE: ALL WORK TO COMPLY WITH PART 9 OF THE OBC



NOTE: ALL FLOOR FRAME & RAFTER FRAMING BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THROUGH ALL LEVELS THROUGHOUT AS PER PLANS

CONCRETE FOUNDATION SYSTEM DESIGNED AS PER P.ENG. SEE ATTACHED ENGINEERED PLANS

343 CARON AVE., WINDSOR, ONT., UNIT 'A' (NEW)
A-2 Proposed Basement Floor Plan
EXIST. INT. FLOOR SPACE: 1,864 SF PERMIT PLAN

Issued For: Permit Drawings
City of Windsor, Ontario

P.O. #: 2412

Neslika Antunovic
343 Caron Ave.
Windsor, Ontario
N9A 6B3

Final Square Footage
As Noted

Drawing Type:
Attached Garage Addition
& Res. Multi Unit Conversion

Designed By:
Shawn Paskovic & John Kieffer
Lead BCN Designer

Scale: 1/4" = 1' Drawing I.D.

Date: 11.03.24

Province: Ontario



Office Address:
12122 Evergreen Dr.,
Toronto, Ontario, M9N 1G9

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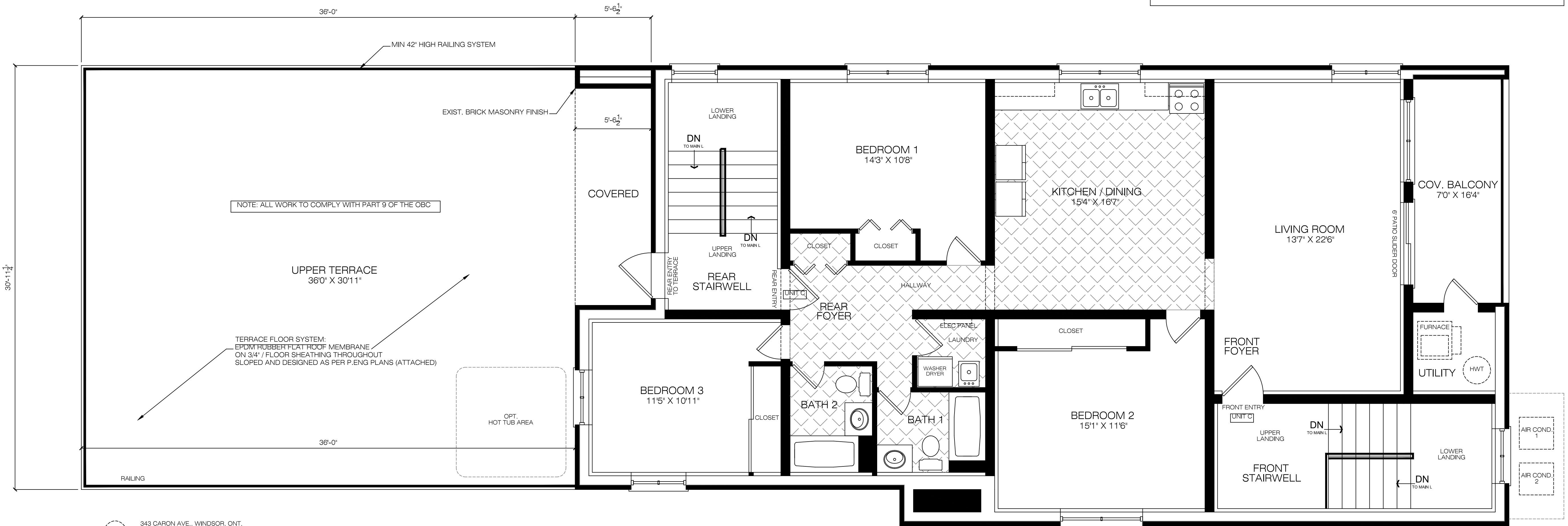
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MINIMUM DIMENSION REQUIREMENTS - RESIDENTIAL (O.B.C. SECTION 8.8)

STAIRS (EXTERIOR AND INTERIOR)	GUARDS & BALUSTRADES (EXTERIOR STAIRS)	GUARDS & BALUSTRADES (INTERIOR STAIRS)
MIN. RISE: 7" 00"	MIN. HEIGHT: 1.10 METRES (3' 06")	MIN. HEIGHT: 1.00 METRES (3' 00")
MIN. RUN: 11"	MIN. CLEARANCE: 2' 00"	MIN. CLEARANCE: 2' 00"
MIN. TREAD: 11"	MIN. SPACING: 4" (MAX.)	MIN. SPACING: 4" (MAX.)
MIN. RISE: 7" 00"	MIN. HEIGHT: 1.10 METRES (3' 06")	MIN. HEIGHT: 1.00 METRES (3' 00")
MIN. RUN: 11"	MIN. CLEARANCE: 2' 00"	MIN. CLEARANCE: 2' 00"
MIN. TREAD: 11"	MIN. SPACING: 4" (MAX.)	MIN. SPACING: 4" (MAX.)

3/4" T&G THICK FLOOR SHEATHING THROUGHOUT
GLUED & SCREWED TO NEW FLOOR FRAME SYSTEM

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE REPORTING ANY ERRORS AND OMISSIONS TO DZIGNERMAN & ASSOCIATES WITHOUT DELAY BEFORE STARTING CONSTRUCTION AND RENOVATION.
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ANY VARIATIONS DURING CONSTRUCTION FROM THESE DRAWINGS MUST BE REPORTED TO DESIGNER, AS BUILT DRAWINGS MUST BE MAINTAINED BY THE CONTRACTOR ON SITE.



A-3 Proposed 2nd Floor Plan
 INT. FLOOR SPACE: 1,884 SF
 TERRACE FLOOR SPACE: 1,202 SF
 PERMIT PLAN

NOTE: ALL FLOOR FRAME & RAFTER FRAMING BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THROUGH ALL LEVELS THROUGHOUT AS PER PLANS

GENERAL FRAMING MEMBERS TO BE PRE - SIZED AND INSTALLED ON SITE AS PER OBC, WITH NECESSARY METAL HARDWARE WHERE REQUIRED (I.E. HANGERS, BRACKETS, ETC.)

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Permit Drawings
City of Windsor, Ontario

P.O. # 2412

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N9A 5B3

Final Square Footage
As Noted

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& Res. Multi Unit Conversion

Designed By:
Shawn Paskovic & John Kieffer
Lead BCN Designer

Scale: 1/4" = 1'
Drawing I.D.

Date: 11.03.24
Province: Ontario

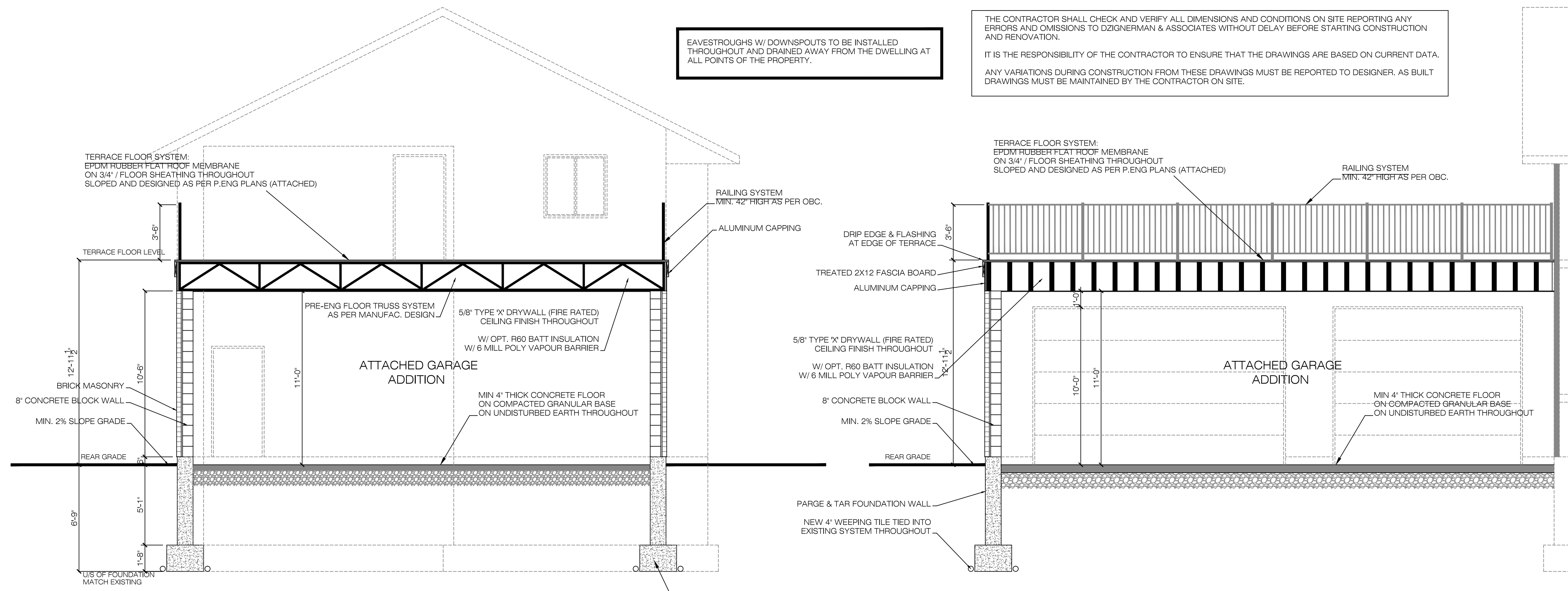


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EAVESTROUGHS W/ DOWNSPOUTS TO BE INSTALLED THROUGHOUT AND DRAINED AWAY FROM THE DWELLING AT ALL POINTS OF THE PROPERTY.

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343 CARON AVE., WINDSOR, ONT.
C-2 Proposed Side Crosssection
PERMIT PLAN

343 CARON AVE., WINDSOR, ONT.
C-1 Proposed Rear Crosssection
PERMIT PLAN

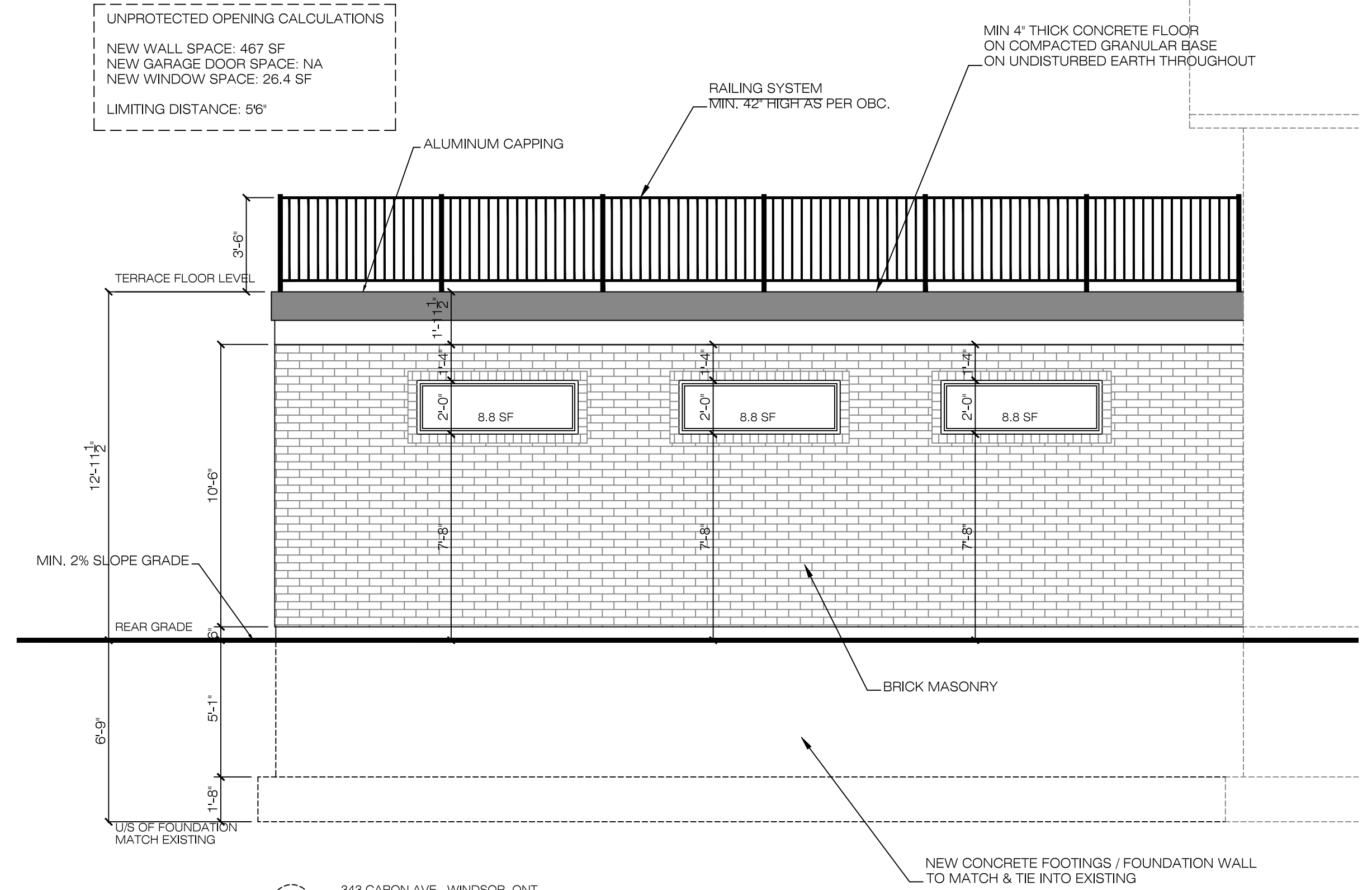
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P.O. #:	2412
	Nediljka Antunovic 343 Caron Ave. Windsor, Ontario N8A 5B3
Final Square Footage	As Noted
Drawing Type:	Attached Garage Addition & Res. Multi Unit Conversion
Designed By:	Shawn Paskovic & John Kieffer Lead BCN Designer
Scale:	1/4" = 1'
Date:	11.03.24
Province:	Ontario

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE REPORTING ANY ERRORS AND OMISSIONS TO DZIGNERMAN & ASSOCIATES WITHOUT DELAY BEFORE STARTING CONSTRUCTION AND RENOVATION.
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EAVESTROUGHS W/ DOWNSPOUTS TO BE INSTALLED THROUGHOUT AND DRAINED AWAY FROM THE DWELLING AT ALL POINTS OF THE PROPERTY.

UNPROTECTED OPENING CALCULATIONS
NEW WALL SPACE: 401 SF
NEW GARAGE DOOR SPACE: NA
NEW WINDOW SPACE: 17.6 SF
LIMITING DISTANCE: 330'

UNPROTECTED OPENING CALCULATIONS
NEW WALL SPACE: 467 SF
NEW GARAGE DOOR SPACE: NA
NEW WINDOW SPACE: 26.4 SF
LIMITING DISTANCE: 56'

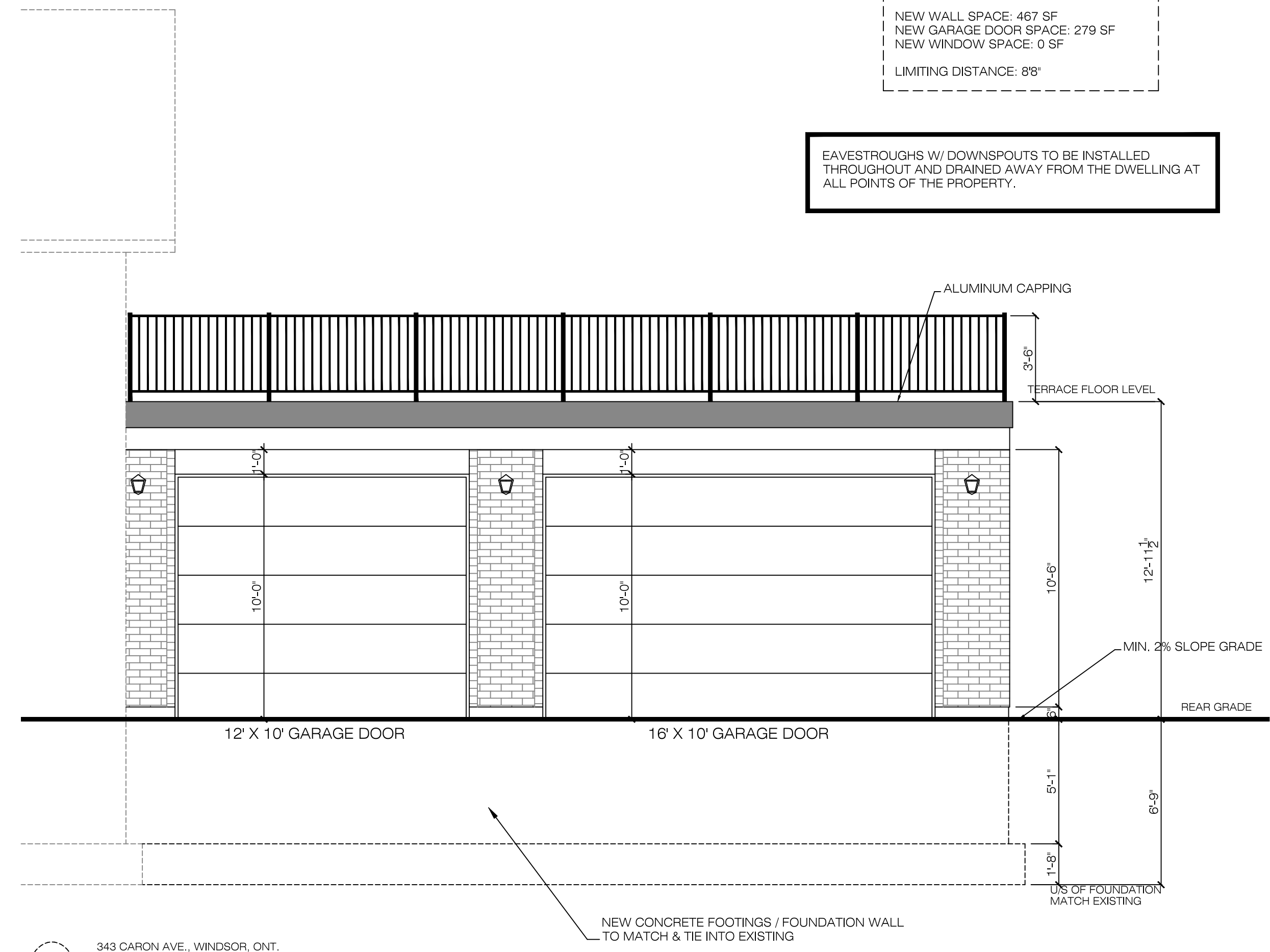


343 CARON AVE., WINDSOR, ONT.
E-3 Proposed Rear Elevation
PERMIT PLAN

343 CARON AVE., WINDSOR, ONT.
E-2 Proposed Side Elevation
PERMIT PLAN

UNPROTECTED OPENING CALCULATIONS
NEW WALL SPACE: 467 SF
NEW GARAGE DOOR SPACE: 279 SF
NEW WINDOW SPACE: 0 SF
LIMITING DISTANCE: 88'

EAVESTROUGHS W/ DOWNSPOUTS TO BE INSTALLED THROUGHOUT AND DRAINED AWAY FROM THE DWELLING AT ALL POINTS OF THE PROPERTY.



343 CARON AVE., WINDSOR, ONT.
E-1 Proposed Front Elevation
PERMIT PLAN

Design Firm:
DZIGNERMAN & ASSOCIATES
12122 Evergreen Dr.,
Tottenham, Ontario, N8N 1G9
Call / Text: 519-818-7024
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Permit Drawings
City of Windsor, Ontario
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2412
Nediljka Arunovic
343 Caron Ave.
Windsor, Ontario
N8A 5B3
Final Square Footage
As Noted
Drawing Type:
Attached Garage Addition
& Res. Multi Unit Conversion
Designed By:
Shawn Piskovic & John Kieffer
Lead BCN Designer
Scale: 1/4" = 1'
Date: 11.03.24
Province: Ontario