





# CITY OF WINDSOR

**File: A-047/25**

## COMMITTEE OF ADJUSTMENT PUBLIC HEARING

**PURSUANT** to Section 45 of the Planning Act, a Committee of Adjustment public hearing will be held to consider a minor variance to Zoning By-law 8600. This is not an application for a zoning change.

**You are receiving this notice of hearing as a courtesy because the Committee of Adjustment identified your property as located within a 40 meters circulation area of the subject lands.** Notice as required by the Planning Act was given by publication of the Committee of Adjustment's Agenda Record in the Windsor Star on May 28, 2025.

**APPLICATION FOR MINOR VARIANCE – Relief from the operation of Zoning By-law 8600**

**Owner:** AVERIE HUTNIK,  
TOBY KARCHUK

**Location:** 866 FRANK AVE

**Legal Description:** PLAN 1112 LOTS 39 & 40 & PT  
CLOSED ALLEY

**Zoning:** Residential RD1.1

**Official Plan:** Residential

**Explanation:** ADU with increased maximum lot coverage for all accessory buildings, thereby requesting the following relief:

**Section 5.10.9.10 – Maximum lot coverage for all accessory buildings**

<b>By Law Requirements</b>	<b>Proposed</b>
10.0%	12.0%

**COMMITTEE OF ADJUSTMENT HEARING - 519-255-6543 ext 6436 or 6450**

**When: June 12, 2025 at 3:30 pm**

**Where: VIA VIDEO CONFERENCE**

*(information on how to join the public meeting will be on the City of Windsor website prior to the meeting date)*

You are invited to attend this hearing and express any interest you may have in this application. Written comments are also acceptable and may be submitted in person, by mail, by fax or by email. All comments must be received **NO LATER than 4:30PM on the Wednesday, prior to the meeting date.** Comments received after such, will not be included at time of hearing.

**The applicant or agent must attend the meeting.** If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you. To be notified of the decision of the Committee of Adjustment regarding this application, you must submit a written request to the Secretary-Treasurer.

It is the practice of Committee of Adjustment members to visit the site prior to considering this application. Administrative comments are available by email after 12:00 noon on the Friday prior to the hearing.

Jessica Watson  
Secretary-Treasurer, Committee of Adjustment

Dated: May 29, 2025

Tel: 519-255-6543

Fax: 519-255-6544

Suite 210, 350 City Hall Square West  
Windsor ON N9A 6S1

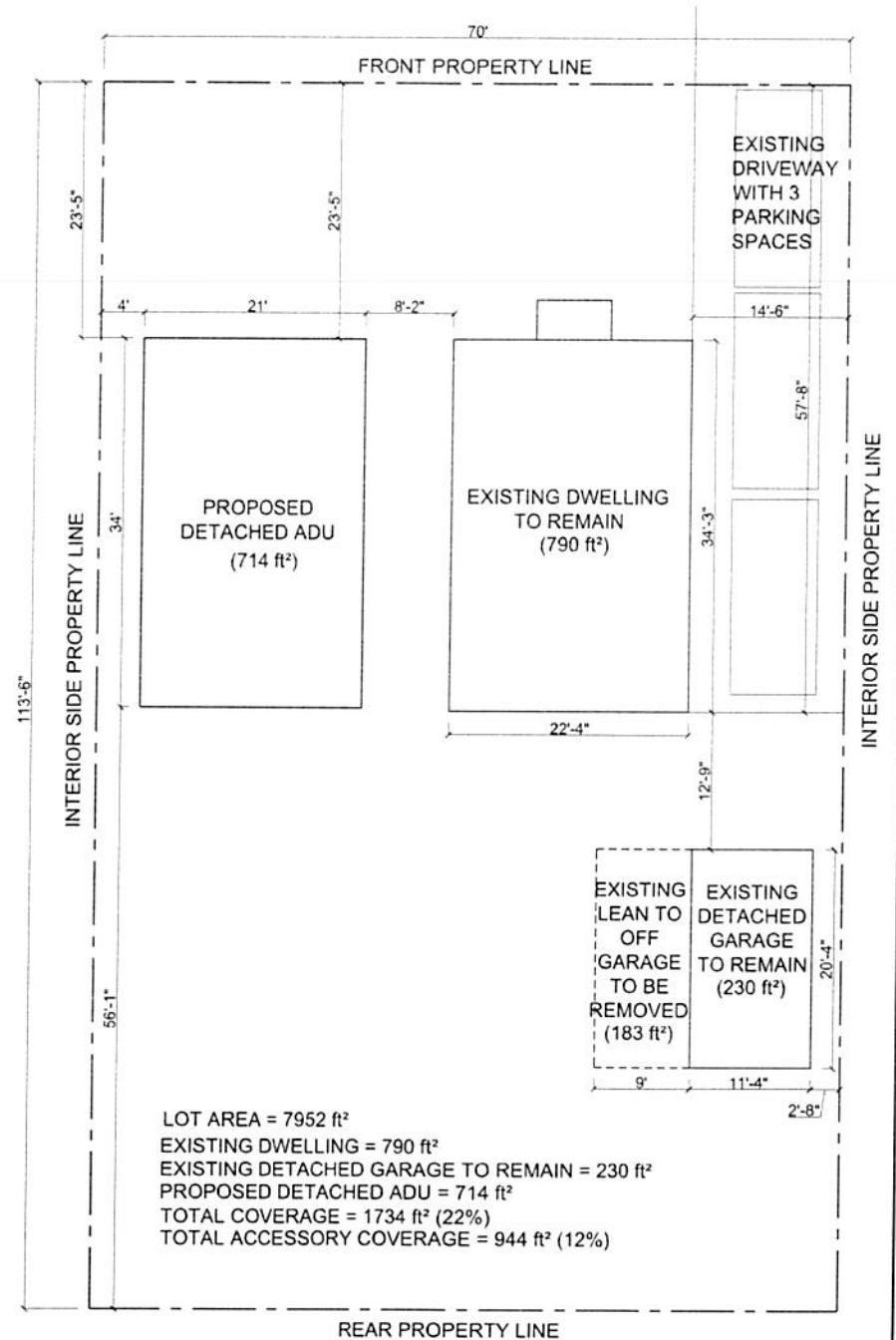
Email: [jwatson@citywindsor.ca](mailto:jwatson@citywindsor.ca)

Web: [www.citywindsor.ca](http://www.citywindsor.ca)

1	<b>Application Information</b>																
	Name of ALL Owners <b>TOBY KARCHUK/AVERIE HUTNIK</b>		Contact No. <b>5198908623</b>														
	Address <b>866 FRANK AVE WINDSOR</b>		Business Telephone No.														
	E-Mail Address:		Postal Code <b>N8S 3P5</b>														
	Name of Contact Person/Agent (if different than owner)		Business Telephone No.														
	Address		Postal Code														
E-Mail Address:		Fax No.															
<b>PAYMENT CONTACT INFORMATION ONLY:</b>																	
Name: <b>TOBY KARCHUK</b>																	
Contact No: <b>519-890-8623</b>																	
2	Date application submitted to the City of Windsor. MAY 13, 2025																
3	Present Official Plan Provisions applying to the land: RESIDENTIAL																
4	Present Zoning By-law provisions applying to the land: RD1.1																
5	Nature and extent of relief applied for: (you MUST list each By-law Section etc. and relief requested) ByLaw 8600 - 5.10.9.10 Maximum 10% of lot to be covered by Detached Accessory Structures (seeking relief to allow 12% lot coverage of Detached Accessory Structures)																
6	State why it is NOT possible to comply with the provisions of the by-law. ( Must be complete) Existing Detached Accessory structure must remain as it is currently being used for storage. However will be reduced in size by removing a previous addition to this structure to allow for the maximum 12% lot coverage while still accomplishing the intent of the proposed Detached Additional Dwelling Unit.																
7	<b>Legal Description of the Subject Land(s)</b>																
	Municipality <b>WINDSOR</b>	Street Name <b>FRANK AVE</b>	Street Address <b>866</b>														
	Concession Number(s)	Registered/reference Plan No.	Lot/Part No.(s)														
	Parcel No.	1112	39&40 AND PART CLOSED ALLEY														
8	<b>Dimensions of Land Affected: THIS SECTION MUST BE COMPLETE</b>																
	Lot Frontage/Width <b>70</b>	Depth <b>113.50</b>	Lot Area <b>7945</b>														
9	Access (check appropriate space)	Provincial Highway ..... Municipal road, maintained all year ..... Municipal road, seasonally maintained ..... Other public road ..... Right of way ..... Water only. If yes, the docking facilities to be used and the approximate distance of these facilities from the subject land and the nearest public road ..... _____	<table border="0"> <tr> <th>Yes</th> <th>No</th> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	Yes	No	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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10	Water Supply	Publicly owned and operated piped water system... Privately owned and operated..... Individual or communal well..... Lake or other water body..... Other ..... _____	<table border="0"> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				
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11	Sewage Disposal	Publicly owned and operated piped sewage system..... Privately owned and operated individual or communal septic tank system..... Pit, privy, or other ..... _____	<table border="0"> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>								
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12	Storm Drainage	Municipal Sewers Ditches or Swales Other (specify)	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>
13	<b>The existing uses of the subject land:</b>  <b>NOTE: legal non-conforming use applications <u>must</u> provide evidence to support its status to the Planning Department (Zoning Coordinator and Planner).</b>			
14	<b>The proposed uses of the subject land:</b> <b>RESIDENTIAL SINGEL UNIT DWELLING WITH DETACHED ACCESSORY STRUCTURE</b>			
15	<b>Whether any buildings or structures are proposed to be built on the subject land.</b>  <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown  If the answer to item 15 is yes, for each building or structure please provide on the drawing submitted the type of building or structure, the setback from the front lot line, rear lot line, and side lot lines, the height in metres of the building or structure and the dimensions or floor area of the building or structure.			
16	Date the subject land was acquired by the current owner.		<input type="checkbox"/> Unknown	
17	The date the existing buildings or structures on the subject land were constructed.		<input type="checkbox"/> Unknown	
18	The length of time that the existing uses of the subject land have continued.		<input type="checkbox"/> Unknown	
19	If known, whether the subject land has ever been the subject of an application under section 45 of the Act?  <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown  If yes, describe briefly: Year:                      Type of Relief:			
20	If known, whether the subject land is the subject of an application under the Act for approval of a plan of subdivision or a consent?  <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown  If yes, the status of the application:			
21	<b>Applications submitted without the noted requirements will be considered incomplete and will be returned.</b> <b><u>Minimum Standards for Drawings:</u></b>  <b>Ontario Regulations 200/96 of the Planning Act provides the requirement of a sketch showing the following: its:</b>		Included	Not Applicable
	a)	The boundaries and dimensions of the subject land.	<input type="checkbox"/>	<input type="checkbox"/>
	b)	The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and side yard lot lines.	X <input type="checkbox"/>	<input type="checkbox"/>
	c)	The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream bands, wetlands, wooded areas, wells and septic tank.	X <input type="checkbox"/>	<input type="checkbox"/>
	d)	The current uses on land that is adjacent to the subject land.	X <input type="checkbox"/>	<input type="checkbox"/>
	e)	The location, width and name of any roads withing or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.	<input type="checkbox"/>	<input type="checkbox"/>
	f)	If access to the subject land is by water only, the location of the parking and docking facilities to be used.	<input type="checkbox"/>	<input type="checkbox"/>
	g)	The location and nature of any easement affecting the subject land.	<input type="checkbox"/>	<input type="checkbox"/>
	<b>The required sketch map has been included with this application form.</b> <input type="checkbox"/> Yes <input type="checkbox"/> No			

**Note:** Drawings must be in metric units.  
Examples of acceptable drawings can be obtained upon request.



CONTRACTOR MUST HAVE FULLY COMPLETED ALL WORK PRIOR TO THE COMMENCEMENT OF THE PROJECT AND BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.

I, Ashley Kozachuk, declare that I am responsible for the design of this plan. I am qualified and registered with the Ministry of Municipal Affairs and Housing.

**AG  
DESIGN**

**NEW DETACHED ADU**  
 866 FRANK AVE  
 WINDSOR, ON

Date: April 30, 2025  
 Scale: 1/8" = 1'-0"  
 Project No.: 018/25  
 Drawing No.:

Individual BCIN: 37168 Firm BCIN: 43361

Windsor, ON  
 Phone: 519-965-7176

**SITE PLAN**

**A-0.1**

## GENERAL NOTES

### CODE AND PROCEDURES

THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE. THE OWNER / BUILDER IS RESPONSIBLE FOR ENSURING THAT ANY CHANGES TO THE CODE ARE COMPLIED WITH AND ALL AMENDMENTS ARE INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO LOCAL CODES AND BYLAWS. IT IS THE OWNER/BUILDERS RESPONSIBILITY TO NOTIFY AG DESIGN OF ANY REQUIREMENTS THAT EXCEED THE ONTARIO BUILDING CODE.

### CONCRETE

THE COMPRESSIVE STRENGTH OF CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN:

- 32 MPa (4650 PSI) WITH 5 TO 8 % AIR ENTRAINMENT FOR GARAGE FLOORS, CARPORTS FLOORS AND ALL EXTERIOR FLATWORK.
- 20 MPa (2900 PSI) FOR INTERIOR FLOORS OTHER THAN THOSE FOR GARAGES AND CARPORTS
- 15 MPa FOR FOUNDATION WALLS, COLUMNS, FOOTINGS, PIERS AND OTHER APPLICATIONS

SITE BATCHED CONCRETE SHALL CONFORM TO THE ONTARIO BUILDING CODE REQUIREMENTS.

WHEN THE AIR TEMPERATURE IS BELOW 5°C CONCRETE SHALL BE KEPT AT A TEMPERATURE OF NOT LESS THAN 10°C OR MORE THAN 25°C WHILE BEING PLACED AND MAINTAINED AT A TEMPERATURE OF NOT LESS THAN 10°C FOR 72 HOURS AFTER PLACING. NO FROZEN MATERIAL OR ICE SHALL BE USED IN THE CONCRETE.

### FOOTINGS

FOOTINGS AND PADS ARE TO BE PLACED ON UNDISTURBED SOIL, ROCK, OR COMPACTED GRANULAR FILL, TO AN ELEVATION BELOW FROST PENETRATION WITH A MINIMUM SOIL BEARING CAPACITY OF 75 KPA. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY THE SOIL BEARING CAPACITY PRIOR TO CONSTRUCTION. IF A LESSER BEARING CAPACITY IS ENCOUNTERED IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE THE FOUNDATION REDESIGNED BY A QUALIFIED PROFESSIONAL TO SUIT SITE CONDITION.

WHERE WATER TABLE LEVELS ARE WITHIN A DISTANCE BELOW THE BEARING SURFACE LESS THAN OR EQUAL TO THE WIDTH OF THE FOOTING, THE FOOTINGS SHALL BE DOUBLED IN WIDTH UNDER WALLS AND DOUBLED IN AREA UNDER POSTS.

### FOUNDATION WALLS

FOUNDATION WALLS TO EXTEND A MINIMUM 8" ABOVE FINISHED GRADE.

GRADE LINES ON PLANS ARE ASSUMED, OWNER/CONTRACTOR TO VERIFY.

WHERE EXTERIOR FINISHED GROUND LEVEL IS AT A HIGHER ELEVATION THAN THE GROUND LEVEL INSIDE THE FOUNDATION WALLS SHALL BE DAMP PROOFED & WHERE HYDROSTATIC PRESSURE OCCURS WATER PROOFING IS REQUIRED.

### WOOD FRAMING GENERAL

ALL WOOD FRAMING SHALL COMPLY WITH SECTION 9.2.3 OF THE ONTARIO BUILDING CODE.

ALL STRUCTURAL FRAMING LUMBER SHALL BE GRADE STAMPED AS SPRUCE - PINE - FIR (S-P-F) NO 2 OR BETTER WITH A MOISTURE CONTENT OF 19% OR LESS AT TIME OF CONSTRUCTION.

WOOD FRAMING MEMBERS THAT ARE NOT TREATED WITH A WOOD PRESERVATIVE AND BEAR ON CONCRETE OR IN DIRECT CONTACT WITH THE GROUND SHALL BE SEPARATED WITH A 6 MIL POLY OR TYPE 5' ROLL ROOFING.

ALL NOTCHING AND DRILLING OF FRAMING MEMBERS SHALL CONFORM TO SUBSECTION 9.2.3.5 OF THE ONTARIO BUILDING CODE.

FLUSHED FRAMED WOOD MEMBERS SHALL BE SUPPORTED WITH APPROPRIATE JOIST HANGERS AND FASTENERS.

### ROOF FRAMING

ROOF SHEETING SHALL BE INSTALLED WITH THE SURFACE GRAIN AT RIGHT ANGLES TO THE ROOF FRAMING JOINTS PERPENDICULAR TO ROOF RIDGE SHALL BE STAGGERED WITH EDGES SUPPORTED ON TRUSSES. IF TONGUED AND GROOVED EDGE PANEL TYPE SHEETING IS NOT USED THAN EDGES PARALLEL TO THE ROOF RIDGE SHALL BE SUPPORTED BY METAL 'Y' CLIPS OR NOT LESS THAN 1.5"x1.5" BLOCKING SECURELY NAILED BETWEEN FRAMING MEMBERS.

VENTILATION OF ROOF SPACE TO BE VENTED TO A MINIMUM OF 0F 1/150 OF INSULATED ROOF AREA.

### MECHANICAL & ELECTRICAL

MECHANICAL AND ELECTRICAL SERVICES DONE BY OTHERS.

### STEEL BEAMS

STEEL BEAMS SHALL MEET THE REQUIREMENTS FOR GRADE 350W STEEL IN CSA G40.21, "GENERAL REQUIREMENTS FOR ROLLED OR WELDED STRUCTURAL QUALITY STEEL."

### SMOKE ALARMS

SMOKE ALARMS SHALL CONFORM TO CAN/ULC-S531 "SMOKE ALARMS"

SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING AND BE INSTALLED AS PER CAN/ULC-S553 "INSTALLATION OF SMOKE ALARMS"

SMOKE ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT CONFORMING TO THE REQUIREMENTS IN 18.5.3. OF NFPA 72, "NATIONAL FIRE ALARM AND SIGNALING CODE"

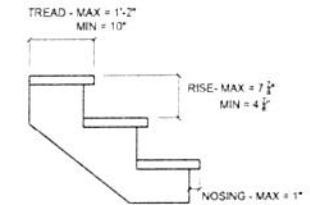
SMOKE ALARMS SHALL BE INSTALLED WITH PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT, C/W BATTERY BACKUP AS PER O.B.C. REQUIREMENTS

ALL SMOKE ALARMS SHALL BE INTERCONNECTED SO THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS TO SOUND

### DEADBOLT

DOORS THAT REQUIRE A DEADBOLT SHALL BE EQUIP WITH A DEADBOLT LOCK WITH A CYLINDER HAVING NO MORE THAN FIVE PINS AND A BOLT THROW NOT LESS THAN 25MM LONG, PROTECTED WITH A SOLID OR HARDENED FREE-TURNING RING OR BEVELED CYLINDER HOUSING

## STAIR AND GUARD INFORMATION



### STAIR DIMENSIONS

STAIRS SHALL HAVE A WIDTH OF NOT LESS THAN 34"

THE CLEAR HEIGHT OVER STAIRS SHALL BE NOT LESS THAN 6'4"

RISERS SHALL HAVE A UNIFORM HEIGHT IN ANY ONE FLIGHT WITH A MAXIMUM TOLERANCE OF 1/8" BETWEEN ADJACENT TREADS AND 1/8" BETWEEN THE TALLEST AND SHORTEST RISERS IN A FLIGHT.

TREADS SHALL HAVE A UNIFORM RUN WITH A MAXIMUM TOLERANCE OF 1/8" BETWEEN ADJACENT TREADS, AND 1/8" BETWEEN THE DEEPEST AND SHALLOWEST TREADS IN A FLIGHT

### HANDRAILS

THE HEIGHT OF HANDRAILS ON STAIRS AND RAMPS SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38"

### GUARDS

THE MINIMUM HEIGHT OF GUARDS SHALL BE NOT LESS THAN 36"

ALL GUARDS SHALL BE CONSTRUCTED AS PER SB-7 REQUIREMENTS

DO NOT SCALE

CONTRACTOR MUST VERIFY ALL INFORMATION ON THE JOB AND REPORT ANY DISCREPANCIES TO DESIGNER BEFORE PROCEEDING WITH WORK.  
THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR LIABILITY FOR DESIGN, CONSTRUCTION AND NOT REPORTS TO THE CONTRACTOR ON THE BASIS OF A  
THIS DESIGNER ASSUMES NO LIABILITY FOR THE CONSTRUCTION OF THE BUILDING. ALL ARE TO BE DONE BY THE CONTRACTOR AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE BUILDING. ALL SPECIFICATIONS AND RELATED DOCUMENTS.  
CONSTRUCTION MUST COMPLY WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE AND ANY OTHER APPLICABLE LAWS.  
ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND ARE PROTECTED BY COPYRIGHT.

I Ashley Kozachenko declare that I take responsibility for the design of this plan. I am qualified and registered with the Ministry of Municipal Affairs and Housing.

Individual BCIN: 37168

Firm BCIN: 43361

**AG**  
DESIGN

Windsor, ON  
Phone: 519-965-7176

**NEW DETACHED ADU**  
866 FRANK AVE  
WINDSOR, ON

GENERAL NOTES

Date: April 1, 2025  
Scale: 1/4" = 1'-0"  
Project No.: 016/25

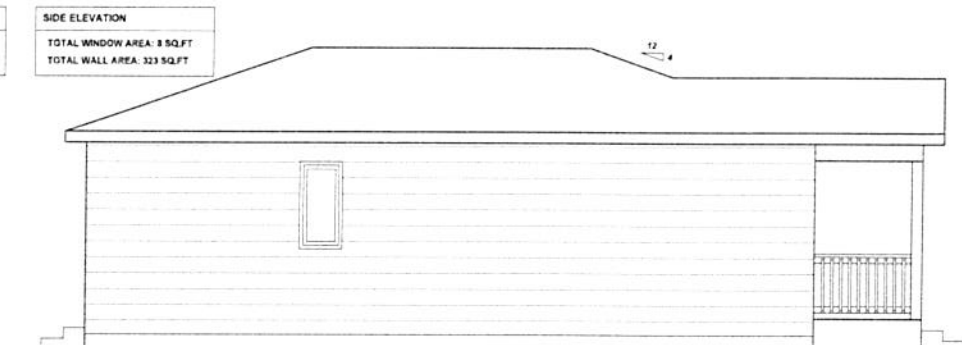
Drawing No.:

**A-0.2**





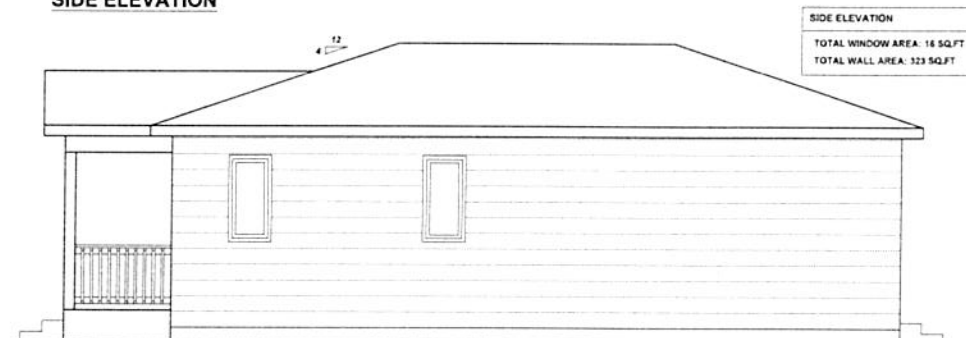
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

DO NOT SCALE  
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 THIS DESIGNER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR DESIGN, CONSTRUCTION, OR FINISHES NOT IN ACCORD WITH THE CONSTRUCTION DOCUMENTS.  
 THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR THE CONTRACTOR OR SUBS' WORK OR ANY OTHER WORK NOT SHOWN OR NOT ACCORDING TO THE CONSTRUCTION DOCUMENTS AND RELATED DOCUMENTS.  
 CONSTRUCTION SHALL COMPLY WITH THE LATEST SPECIFICATIONS OF THE NATIONAL BUILDING CODE AND ANY OTHER APPLICABLE CODES.  
 ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND ARE PROTECTED BY COPYRIGHT.

I, Ashley Kozachniko, declare that I take responsibility for the design of this plan. I am qualified and registered with the Ministry of Municipal Affairs and Housing.

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**AG**  
 DESIGN

Windsor, ON  
 Phone: 519-965-7176

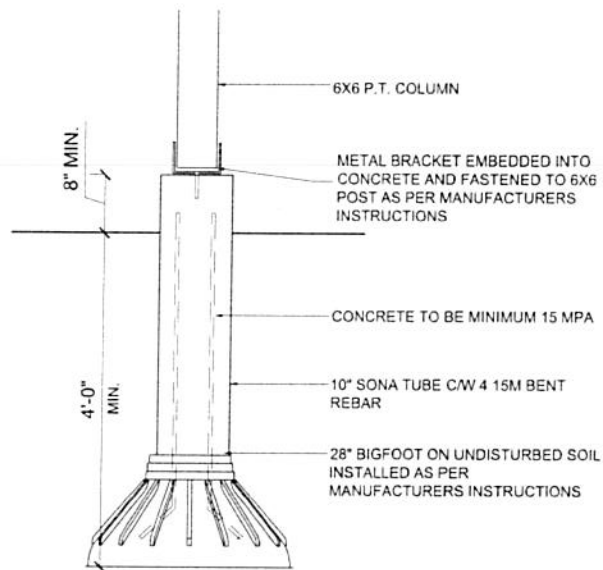
**NEW DETACHED ADU**  
 866 FRANK AVE  
 WINDSOR, ON

ELEVATIONS

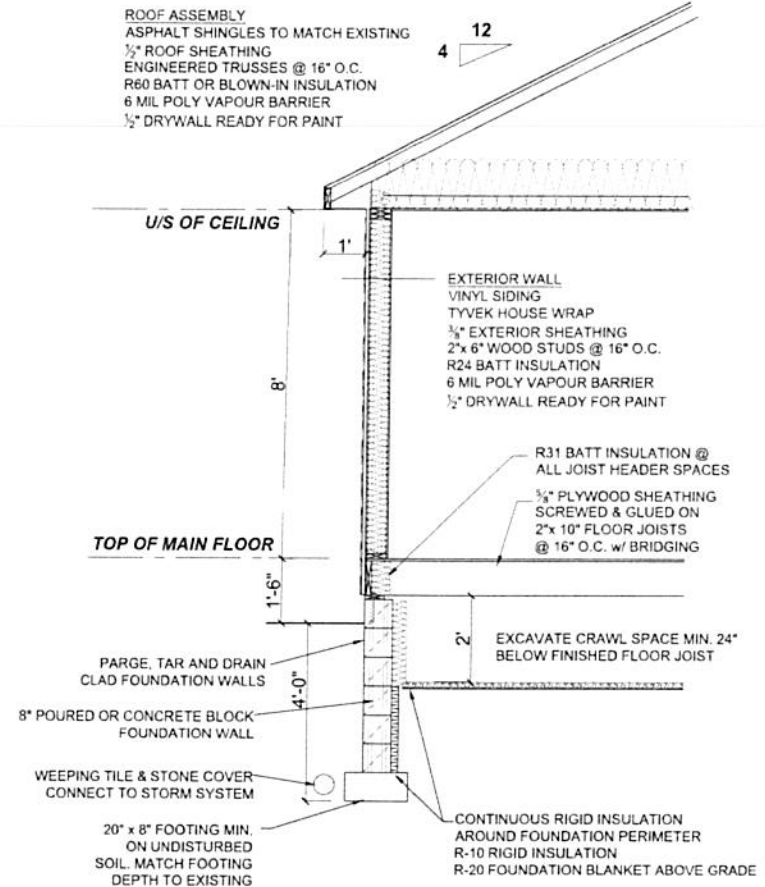
Date: April 1, 2025  
 Scale: 1/4" = 1'-0"  
 Project No.: 016/25  
 Drawing No.:

**A-2.0**





**DECK FOOTING DETAIL**  
SCALE - 1" = 1'-0"



NOTE: SITE VERIFY ALL DIMENSIONS

**TYPICAL WALL SECTION**  
SCALE - 1/2" = 1'-0"

DO NOT SCALE  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND MATCH ANY DISCREPANCY TO DESIGNER BEFORE PROCEEDING WITH WORK.  
THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ERRORS OR OMISSIONS NOT DETECTED BY THE CONTRACTOR OR ANY OTHER BUILDING PROFESSIONAL.  
THIS DRAWING IS THE PROPERTY OF THE DESIGNER AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.  
CONTRACTOR MUST COMPLY WITH THE LATEST EDITION OF THE APPLICABLE BUILDING CODE AND ANY OTHER APPLICABLE LAWS.  
ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND ARE PROTECTED BY COPYRIGHT.

I, Ashley Kozachanko, declare that I take responsibility for the design of this plan. I am qualified and registered with the Ministry of Municipal Affairs and Housing.

Individual BCIN: 37168 Firm BCIN: 43361

**AG**  
DESIGN

Windsor, ON  
Phone: 519-965-7178

**NEW DETACHED ADU**  
866 FRANK AVE  
WINDSOR, ON

SECTION & DETAILS

Date: April 1, 2025  
Scale: 1/4" = 1'-0"  
Project No.: 016/25  
Drawing No.:

**A-2.0**