

COMMITTEE OF ADJUSTMENT

APPLICANT : MAHMOUD ELEYAN

ADDRESS : 2979 RANDOLPH AVENUE

 SUBJECT LANDS

 SEVERED LANDS

N.T.S.



Notice of Public Hearing – Committee of Adjustment Application

File # A-015/26 & B-007/26 - 2979 RANDOLPH AVE

Date Mailed: April 1, 2026

Electronic hearing:

By videoconference on April 16, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on April 1, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 1193 LOTS 142 & 143;

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential RD1.4

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
<p>Owner Name: MAHMOUD ELEYAN</p> <p>Applicant Name: Mahmoud Eleyan</p>		2979 RANDOLPH AVE

PURPOSE OF APPLICATION

Both Minor Variance and Consent - Consent to create a new lot. Requesting relief for reduced minimum lot width and minimum lot area for both the severed and retained lots.

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-Law 8600	10.4.5.1	Minimum Lot Width - retained lot	18.0 m	10.7 m
Zoning By-Law 8600	10.4.5.2	Minimum Lot Area - retained lot	540.0 m ²	325.7 m ²
Zoning By-Law 8600	10.4.5.1	Minimum Lot Width - severed lot	18.0 m	10.7 m
Zoning By-Law 8600	10.4.5.2	Minimum Lot Area - severed lot	540.0 m ²	325.7 m ²

Type of Consent Application Transaction: New Lot

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

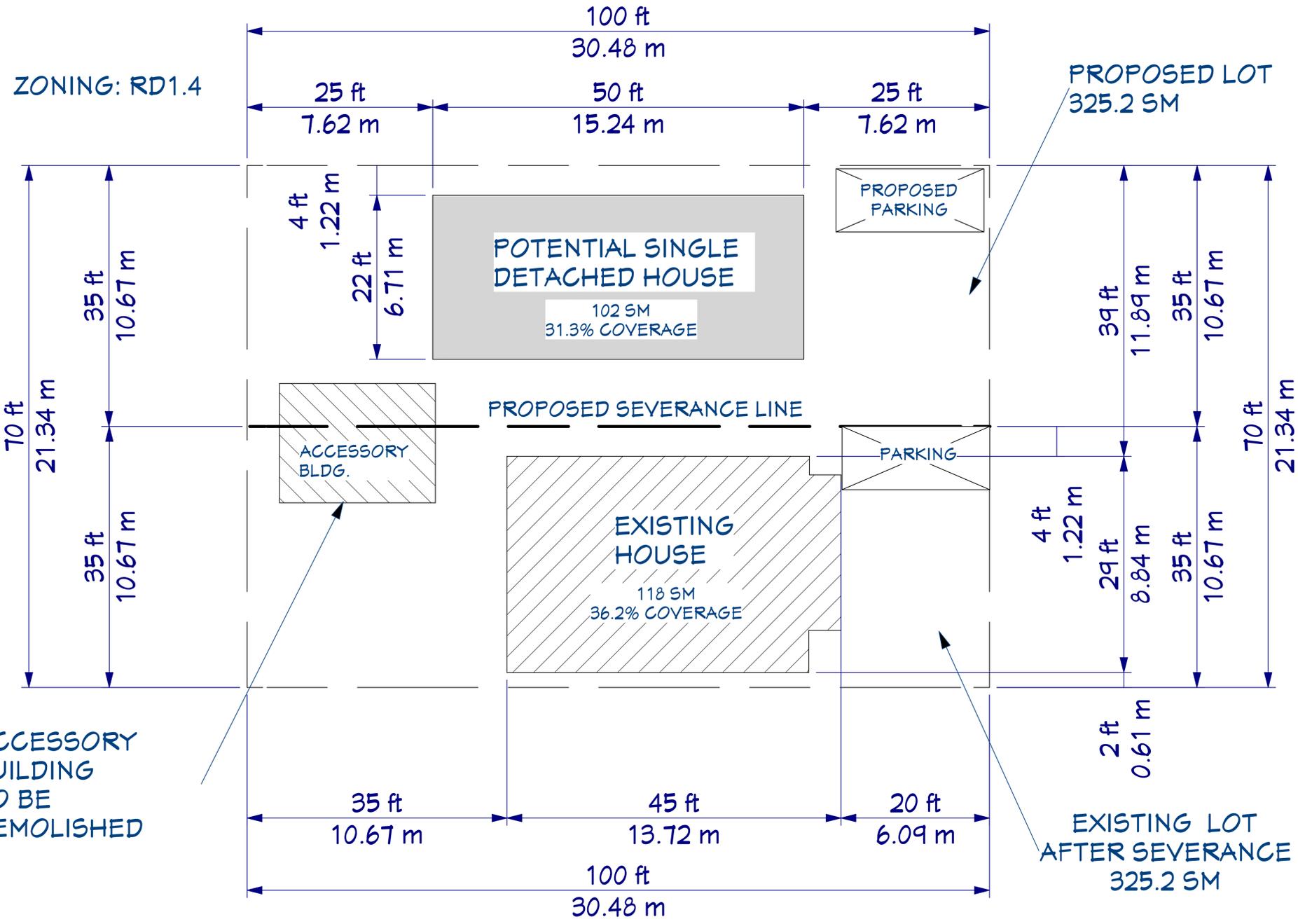
Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:
Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca



RANDOLPH AVE

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SCALE: 1/8" = 1'-0"

DIMENSIONS ARE FIELD MEASUREMENTS.
IF MORE ACCURACY IS REQUIRED THEN
OBTAIN A LEGAL SURVEY.

PAUL PETERSON BCIN DESIGNER
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07		
06		
05		
04		
03		
02	C	ACCESSORY BLDG TO BE DEMOLISHED 25/08/25
01	B	REVISED SITE PLAN 25/07/21
NO. LETTER	ISSUED FOR:	DATE Y/M/D

PROPERTY OWNER:
MAHMOUD BM ELEYAN
2979 RANDOLPH AVE.,
WINDSOR, ONTARIO
N9E 3E3
226-260-1592
mahmoud.eleyan15@gmail.com

GENERAL CONTRACTOR:

PROJECT DESCRIPTION:
LOT SEVERANCE APPLICATION

BUILDING SITE:
2979 RANDOLPH AVE
WINDSOR, ONT.,
N9E 3E3

DRAWING TITLE:

SITE PLAN

NOTE:
DO NOT SCALE DRAWINGS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CHECK & ENSURE THAT ALL MEASUREMENTS & DIMENSIONS & CONDITIONS ARE VERIFIED ON THE JOB SITE PRIOR TO QUOTING & CONSTRUCTION.
CONSULT WITH ALL TRADES: SUBMITTALS FOR FOUNDATION, CARPENTRY, HEATING & COOLING, PLUMBING, ELECTRICAL, WINDOWS & DOORS, ROOFING, CABINET, STAIRCASE TRADES & ANY OTHER APPLICABLE TRADE PRIOR TO CONSTRUCTION.
ANY AND ALL DISCREPANCIES AND ADVERSE CONDITIONS ARE TO BE REPORTED TO THE GENERAL CONTRACTOR AND DESIGNER PRIOR TO CONSTRUCTION.
ALL DRAWINGS REMAIN THE PROPERTY OF THE HOME OWNER & DESIGNER. COPYRIGHT.

DATE: Y/M/D	25/08/25
BUILDER: HOME OWNER	
TARIION: NOT APPLICABLE	
DESIGNER: PAUL PETERSON BCIN 22417 paul.peterson.bcinc@gmail.com Cell: 226-344-5772	A. DETAIL NO B. LOCATION SHEET C. DETAILED ON
FIRM: PAUL PETERSON BCIN DESIGNER BCIN 121115	
JOB NUMBER: 520	SCALE AS SHOWN ON EACH INDIVIDUAL SHEET. PRINT FOR FILE ON TO ARCH 'D' SIZE PAPER. 24" X 36" FOR PROPER ILLUSTRATION.
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	SHEET # REVISION

A-3
B-2 **C-5**