

Notice of Public Hearing – Committee of Adjustment Application

File # A-010/26 - 4705 LAVENDER AVE

Date Mailed: February 25, 2026

Electronic hearing:

By videoconference on March 12, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment's Agenda Record in the Windsor Star on February 25, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City's website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 12M443 LOT 129

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential District 1.2 (RD1.2)

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
<p>Owner Name: KAMAL JIT GOGNA</p> <p>Applicant Name: CQA DESIGN GROUP</p>		4705 LAVENDER AVE

PURPOSE OF APPLICATION

Minor Variance - Requesting relief for an increased maximum lot coverage and a decreased minimum rear yard depth.

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-law 8600	10.2.5.3	Maximum Lot Coverage	45.0%	47.6%
Zoning By-law 8600	10.2.5.6	Minimum Rear Yard Depth	7.50m	5.52m

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca

<p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.</p> <p>QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE</p> <p>STACIE AMO TEASDALE NAME SIGNATURE 32999 BCIN</p> <p>REGISTRATION INFORMATION REQUIRED UNLESS DESIGNED IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE</p> <p>CQ DESIGN GROUP FIRM NAME 103384 BCIN</p>		
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LOT AREA: 5811 SQ.FT.
EXISTING DWELLING: 2584 SQ.FT.
ADDITION: 190 SQ.FT.
2774 SQ.FT.
LOT COVERAGE = 2774/5811 = 47.7%

GENERAL NOTES

THESE GENERAL NOTES REFER TO ALL ARCHITECTURAL DRAWINGS

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE SOLE PROPERTY OF CQ DESIGN GROUP

BUILDING CLASSIFICATION UNDER THE BUILDING CODE IS PART 9

ALL WORK SHALL COMPLY OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, FIRE CODE, PLUMBING CODE, ELECTRICAL CODE AND/OR LOCAL BY-LAWS

THESE DRAWINGS ARE FOR MIN. BUILDING PERMIT ONLY AND DO NOT GIVE ALL DETAILS FOR COMPLETE BUILDING PROCESS. G.C. IS RESPONSIBLE FOR ALL OTHER DETAILS, INFORMATION, ENG. STAMPS FOR CONC. REINFORCING PORCHES OR POINT LOADING DIAGRAMS, LINTEL DESIGNS, BEAM REINFORCEMENT NEEDED FOR BUILDING PERMIT PROCESS IF REQUESTED BY LOCAL MUNICIPAL AUTHORITIES.

DO NOT SCALE DRAWINGS

ALL DIMENSIONS ON PLANS ARE SHOWN IN NOMINAL DIMENSIONS FOR EASE OF CONSTRUCTION AND ADDING OF FRACTIONS

SITE CHECK ALL DIMENSIONS AND EXISTING CONDITIONS AS REQUIRED, PRIOR TO BIDDING AND COMMENCEMENT OF WORK

G.C. OR OWNER IS TO COORDINATE ALL APPLICABLE ARCHITECTURAL AND MECHANICAL DRAWINGS OR SUB-TRADES DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION - THIS DESIGNER IS NOT RESPONSIBLE FOR MECHANICAL DUCT INTERFERENCES OR DUCT LAYOUTS, ELECTRICAL LAYOUTS OR ELECTRICAL REQUIREMENTS

SHOULD ANY CONFLICTS ARISE, NOTIFY THE DESIGNER IMMEDIATELY, IN WRITING, PRIOR TO PROCEEDING WITH ANY WORK

ENGINEERING (AS NOTED OR IF REQUIRED) BY OTHERS

ELECTRICAL, MECHANICAL AND HVAC AND PLUMBING BY OTHERS (AS PER O.B.C.)

THE DESIGNER IS NOT RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS AND OR TECHNIQUES USED IN CONSTRUCTION

THE CONTRACT BETWEEN THE CONTRACTOR AND PURCHASER SUPERSEDES THE DRAWINGS

G.C. IS RESPONSIBLE TO KEEP ALL DESIGN COMPONENTS AND LAYOUT THE SAME AS PER THESE DRAWINGS. FAILURE TO DO SO VOIDS THESE DRAWINGS AND FIELD MEASUREMENTS AND MUST BE DONE TO SIT ON SITE CONDITIONS. THIS CONTRACTOR MUST PAY FOR THESE REVISIONS

THIS CONSULTANT WAS HIRED VERBALLY AND WAS FURNISHED MARKUP SKETCHES BY E-MAIL - NO REAL ESTATE OR SALES INFO OF HOME WAS PROVIDED TO THIS DESIGNER NOTE: IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK ALL OWNERS DETAILS AND PRICE OPTIONS BEFORE PERMIT IS SUBMITTED

DESIGNER IS NOT HIRED NOR RESPONSIBLE FOR CONSTRUCTION REVIEW DURING CONSTRUCTION - IF ANY INTERIOR OR EXTERIOR CHANGES OR MODIFICATIONS MADE BY G.C. DURING CONSTRUCTION WITHOUT NOTIFYING THE DESIGNER THEN THE DESIGNER TAKES NO RESPONSIBILITY FOR CHANGES AND OR ERRORS MADE DURING CONSTRUCTION

THE OWNER IS RESPONSIBLE FOR HIRING A QUALIFIED GENERAL CONTRACTOR AND SUB-TRADES WITH A MINIMUM 10 YEARS OF HOME BUILDING EXPERIENCE

IF OWNER BECOMES G.C. HE/SHE ALONE TAKES THE RESPONSIBILITY OF THE COORDINATION OF ALL SUB-TRADES ON SITE AND ANY CONFLICTS DUE TO LACK OF CONSTRUCTION EXPERIENCE IS NOT THIS DESIGNERS RESPONSIBILITY

THE OWNER IS RESPONSIBLE FOR HIRING A QUALIFIED WOOD FRAMER WITH MINIMUM 10 YEARS OF HOME BUILDING EXPERIENCE WITH ROOF TRUSS FRAMING EXPERIENCE ALONG WITH JOINING CONVENTIONAL RAFTERS TO TRUSS FRAMING EXPERIENCE

G.C. TO CONFIRM "ERCA" REQUIREMENTS AND SITE CONDITIONS PRIOR TO CONSTRUCTION

THIS DESIGNER IS NOT RESPONSIBLE FOR LOCATING THE STRUCTURE ON THE SITE. AN ONTARIO LAND SURVEYOR IS RECOMMENDED TO LOCATE THE STRUCTURE, SET THE GRADE, AND TO PRODUCE LOT GRADING PLANS

A MIN. 2% GRADING TO BE MAINTAINED AROUND THE STRUCTURE

THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, APPROVALS AND DEVELOPMENTAL SITE CONDITIONS, AND LOT RESTRICTIONS.

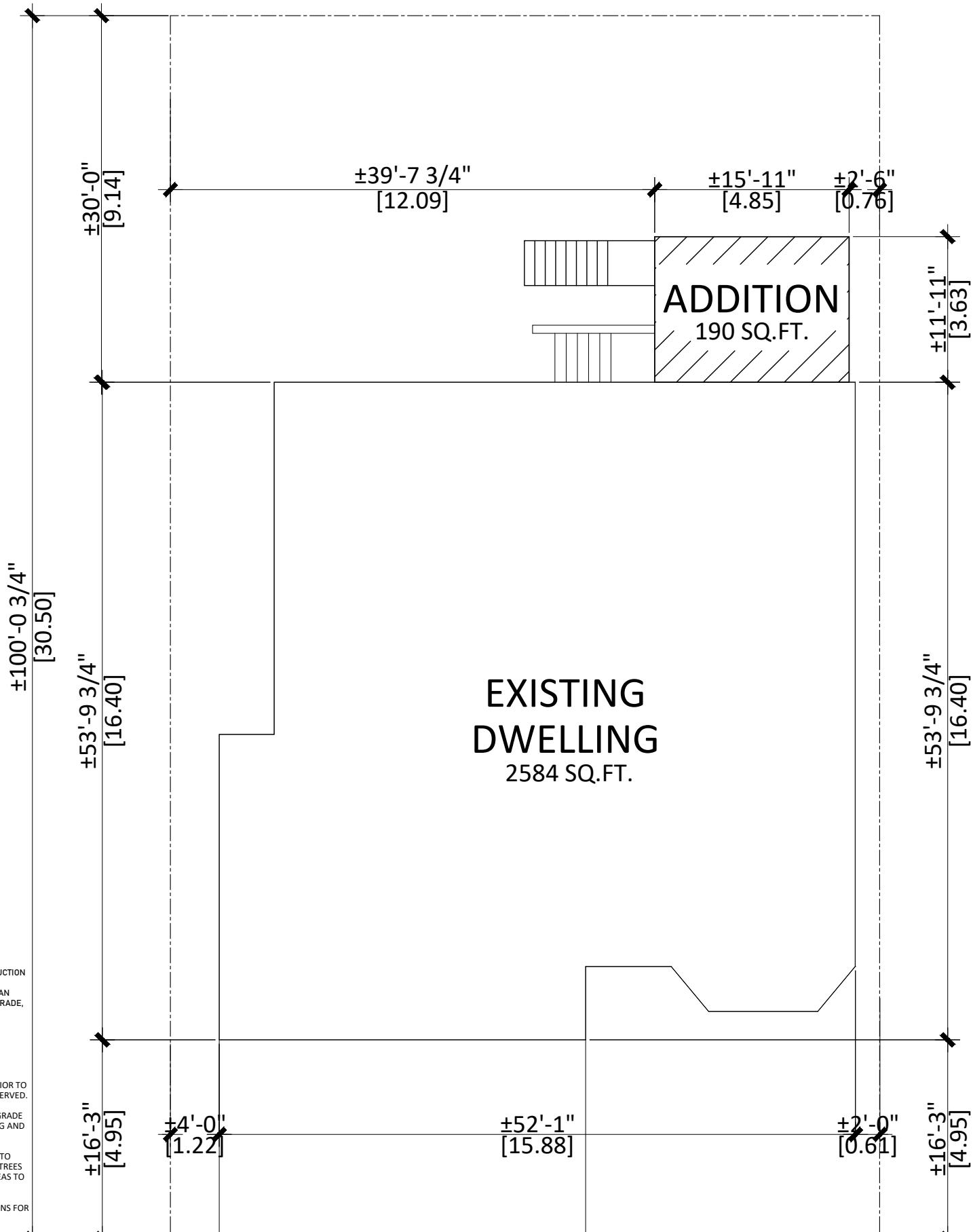
ALL WORK AND STORAGE AREAS ON SITE SHALL BE ESTABLISHED BY THE OWNER PRIOR TO COMMENCEMENT OF WORK. ALL ESTABLISHED BOUNDARIES SHALL BE STRICTLY OBSERVED.

ALL NEW SITE DRAINAGE WORK TO BE IN ACCORDANCE WITH LOCAL BY-LAWS. RE-GRADE WHERE REQUIRED AND EXTEND TO ORIGINAL GRADE LEVELS. PROVIDE NEW SODDING AND APPROPRIATE TOPSOIL AS REQUIRED.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED TO EXISTING SODDING, ASPHALT, CURBS, WALKWAYS, FENCES, ALL BUILDING SERVICES, TREES AND SHRUBS. THE GENERAL CONTRACTOR SHALL REPLACE OR REPAIR DAMAGED AREAS TO MATCH ADJOINING AND EXISTING SURFACES.

G.C. MUST HIRE ONT. LAND SURVEYOR TO PLACE HOME ON SITE AND SET ELEVATIONS FOR EXCAVATIONS.

THIS CONSULTANT IS UNAWARE OF ANY SOIL BEARING CAPACITY PROBLEMS. THIS CONSULTANT HAS ADVISED OWNER TO INVOLVE A GEOTECHNICAL CONSULTANT THROUGHOUT CONSTRUCTION TO ADVISE CONSULTANT OF ALL SUBSURFACE CAPACITIES. IF ANY SOIL PROBLEMS EXIST, THE OWNER MUST HIRE A ENG. TO SOLVE THESE PROBLEMS AND PAY FOR ALL FEES AND EXTRA MATERIALS DURING THIS TIME.



LAVENDER
OWNER/G.C. TO APPLY FOR PERMIT PRIOR TO EXCAVATION WORK TO
VERIFY ZONING AND CONFORMANCE

01	07DEC24	ISSUED FOR PERMIT
no.	date	revision

client	scale	date	notes
	3/32"=1'-0"	DEC 2024	
project	drawn by	drawing no.	
4705 LAVENDER ADDITION	ST		
drawing	checked by		
SITE PLAN			

A0

cq design group 519.817.6241 | stacie@cqadesign.com

WOOD LINTEL SCHEDULE (INTERIOR)

LINTEL SIZE	MAX. SPAN		
	ROOF + CEILING ONLY	ROOF + CEILING AND 1 STOREY	ROOF + CEILING AND 2 STOREY
2- 2"x4"	3'-0"	2'-5"	2'-1"
2- 2"x6"	4'-5"	3'-3"	2'-10"
2- 2"x8"	5'-4"	3'-11"	3'-5"
2- 2"x10"	6'-7"	4'-9"	4'-2"
2- 2"x12"	7'-7"	5'-5"	4'-9"

WOOD LINTEL SCHEDULE (EXTERIOR)

LINTEL SIZE	MAX. SPAN		
	ROOF + CEILING ONLY	ROOF + CEILING AND 1 STOREY	ROOF + CEILING AND 2 STOREY
2- 2"x4"	4'-1"	3'-5"	3'-0"
2- 2"x6"	6'-4"	4'-10"	4'-6"
2- 2"x8"	7'-8"	5'-11"	5'-4"
2- 2"x10"	9'-5"	7'-3"	6'-6"
2- 2"x12"	10'-11"	8'-5"	7'-6"

NOTES:

SPANS BASED ON TABLE A-15, 1.0 kPa SPECIFIED SNOW LOAD
 SPRUCE - PINE - FIR LINTEL - NO. 1 OR NO. 2 GRADE
 ROOF + CEILING ONLY (TRIBUTARY WIDTH OF 4.9M MAXIMUM)
 FOR ENDS OF LINTELS FULLY SUPPORTED BY WALLS, PROVIDE MINIMUM
 BEARING LENGTH OF 1.5" (38 mm) FOR LINTEL SPANS UP TO 9'-10" (3 M), OR
 MINIMUM BEARING LENGTH OF 3.0" (76 mm) FOR LINTEL SPANS GREATER
 THAN 9'-10" (3 M)

EXTERIOR WALL STUDS

STUD LENGTH	SUPPORTING 19'-8" OF ROOF (BRICK)	SUPPORTING 19'-8" OF ROOF (SIDING)
12'-5"	2x6" at 16"	2x6" at 16"
13'-9"	2x6" at 12"	2x6" at 16"
15'-1"	2-2x6" at 16"	2x6" at 16"
16'-4"	2-2x6" at 16"	2x6" at 16"
17'-4"	2-2x6" at 12"	2x6" at 12"
18'-4"	2-2x6" at 12"	2x6" at 12"

ASSUMES 0.5 kPa HOURLY WIND PRESSURE AND 1.0 kPa SNOW LOAD, BASED ON A-30 & A-31 O.B.C.

NOTE:
 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES
 ALL DIMS ARE NOMINAL AND ARE TO BE ADJUSTED IN FIELD
 ALL DIMS SHOWN ARE TO FACE OF ROUGH STUD/FOUNDATION WALL
 MINIMUM HEADROOM UNDER DUCTS AND BEAMS TO BE 6'-5"
 STAIR RAILING & GUARDS; 36" HIGH WOOD RAILING TO CONFORM TO DETAILS SB-7 OF
 THE OBC SUPPLEMENTARY GUIDELINES
 ALL LOADS SHOWN ARE UNFACTORED
 S.P. 4-2X4 OR 3-2X6 UNLESS OTHERWISE NOTED
 G.C. AND ENG. TRUSS COMPANY MUST FIELD MEASURE STUDS WALLS PRIOR TO
 FABRICATION OF TRUSS
 DESIGNER IS NOT RESPONSIBLE FOR G.C. FAILURE TO COORDINATE DIM. WITH TRUSS
 MANUFACTURER AND COORDINATION OF SAME
 ALL ENGINEERING BY OTHERS
 ALL NON-LOADBEARING WALLS PARALLEL TO THE FLOOR JOISTS SHALL BE SUPPORTED
 BY JOISTS BENEATH THE WALL OR ON BLOCKING BETWEEN THE JOISTS @ 48" O/C
 GC TO VERIFY WINDOW SIZE AND PLACEMENT BEFORE ORDERING
 ALL WINDOWS AND DOOR SIZES TO BE CONFIRMED BY BUILDER - SIZES SHOWN DO NOT
 NECESSARILY REFLECT ACTUAL PRODUCT SIZES
 EXACT DOOR AND WINDOW SIZES* TO BE CONFIRMED BY OWNER
 WINDOW SIZES SHALL NOT EXCEED EEDS FOR SB-12 COMPLIANCE
 BEFORE CONSTRUCTION OBTAIN ROUGH OPENING SIZES FROM WINDOW/DOOR
 MANUFACTURER
 INTERCONNECTED SMOKE ALARM REQUIRED ON ALL LEVELS. CARBON MONOXIDE
 DETECTOR REQUIRED AT BEDROOM AREA.
 SMOKE ALARM: VISUAL COMPONENT REQUIRED TO MEET UL1971 (STROBE)
 EXHAUST FANS AND DUCTS SHALL BE SIZED ACCORDING TO OBC PART 6 OR 9.32. ALL
 FANS SHALL EXHAUST DIRECTLY OUTDOORS. KITCHEN EXHAUST SHALL BE
 NON-COMBUSTIBLE PIPE.
 VAULTED CEILING TO INCLUDE BATT INSULATION

ALL STAIRS, RAMPS, HANDRAILS, AND GUARDS SHALL CONFORM TO O.B.C. 9.8

COVERS FOR SUMP PITS SHALL BE DESIGNED TO RESIST REMOVAL BY CHILDREN

INTERCONNECTED SMOKE ALARMS REQUIRED ON ALL FLOOR LEVELS - CARBON MONOXIDE DETECTOR REQUIRED AT BEDROOM AREAS AS PER 9.10.19.3 O.B.C.

RADON GAS ROUGH IN REQUIRED PER O.B.C.

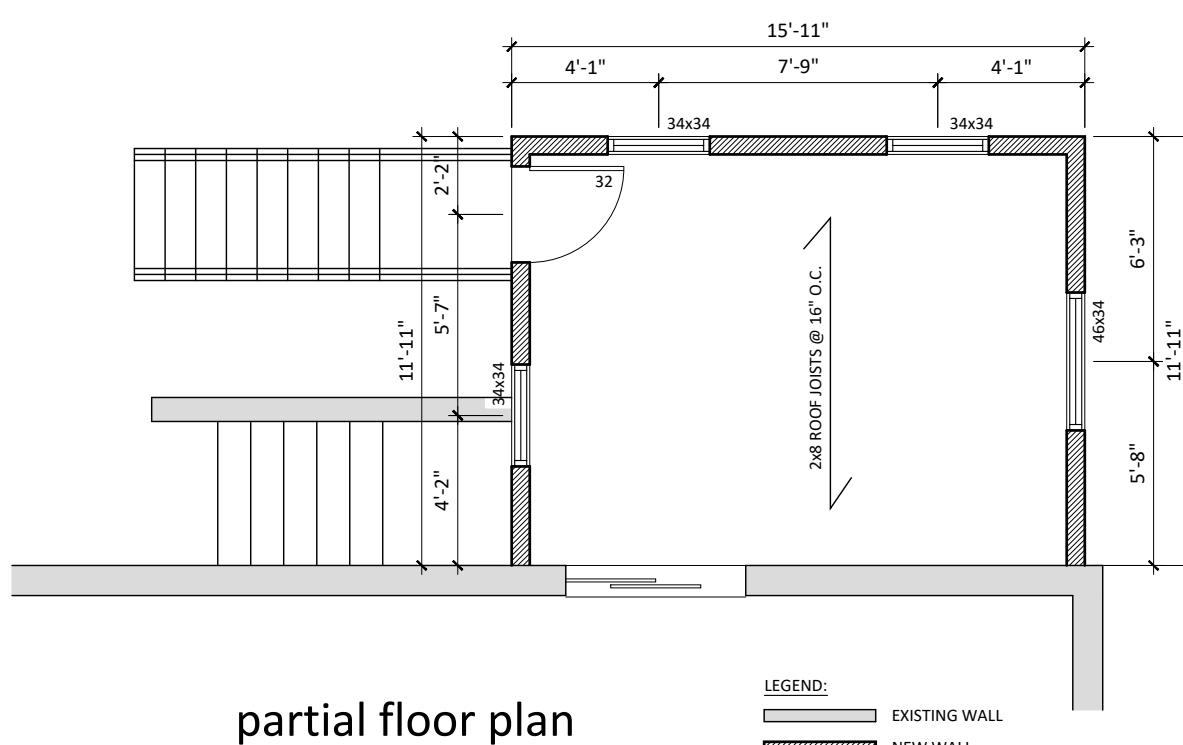
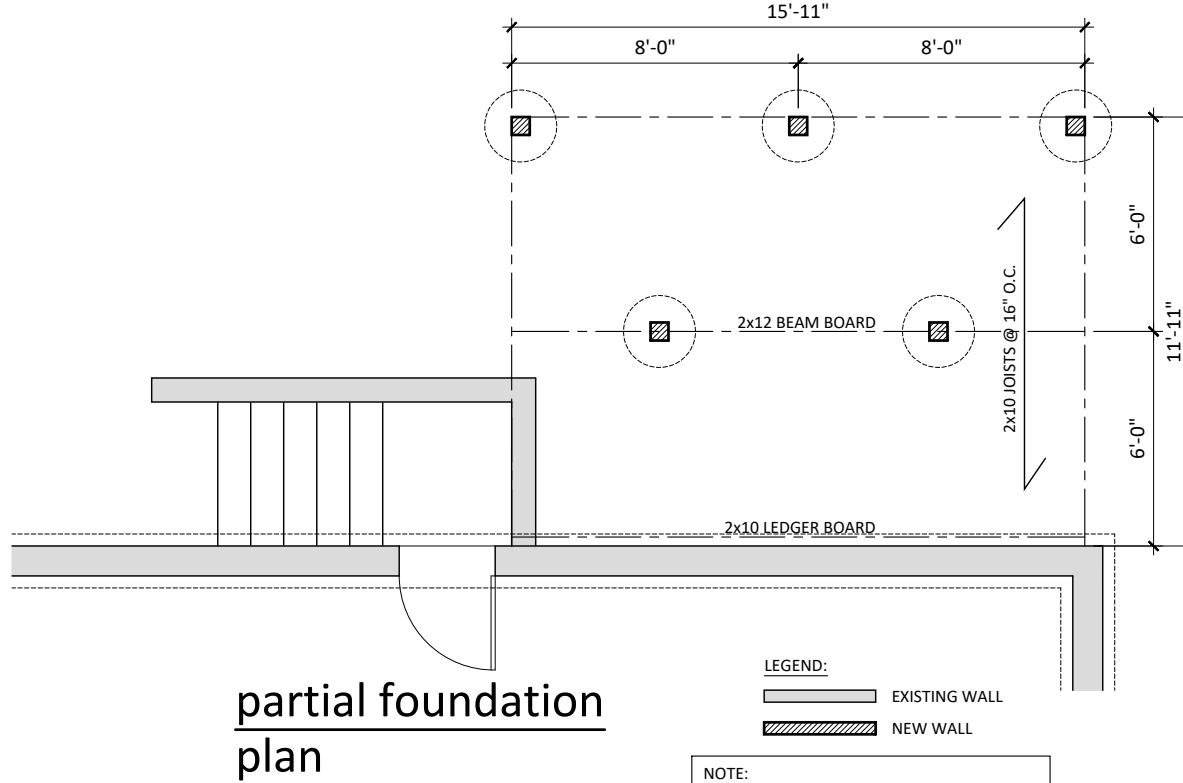
HEADERS POINT LOADED BY GIRDERS MUST BE LVL OR ENGINEERING REQUIRED

NON-LOADBEARING WALLS PARALLEL TO THE FLOOR JOISTS SHALL BE SUPPORTED BY JOISTS BENEATH THE WALL OR ON BLOCKING BETWEEN THE JOISTS @ 48" O/C.

STEEL LINTEL SCHEDULE (EXTERIOR)

MAX CLEAR SPAN	EXTERIOR ANGLES	
	FOR BRICK 100 mm	FOR STONE 100 mm + 50 mm STONE FACING
3'-10" OR LESS	3-1/2" X 3-1/2" X 1/4"	5" X 3-1/2" X 1/2"
4'-10" OR LESS	3-1/2" X 3-1/2" X 5/16"	5" X 3-1/2" X 1/2"
5'-10" OR LESS	4" X 4" X 5/16"	5" X 5" X 5/16"
6'-10" OR LESS	4" X 4" X 5/16"	5" X 5" X 5/16"
7'-10" OR LESS	5" X 3-1/2" X 5/16"	5" X 5" X 5/16"
8'-10" OR LESS	6" X 4" X 7/16"	5" X 5" X 7/16"
9'-10" OR LESS	6" X 4" X 7/16"	5" X 5" X 1/2"

NOTES:
 SPANS BASED ON TABLE 9.20.5.2.A.
 STEEL LINTELS SHALL HAVE NOT LESS THAN 6" (150 mm) LENGTH OF BEARING
 AT END SUPPORTS AND BEAR ON MASONRY, CONCRETE OR STEEL

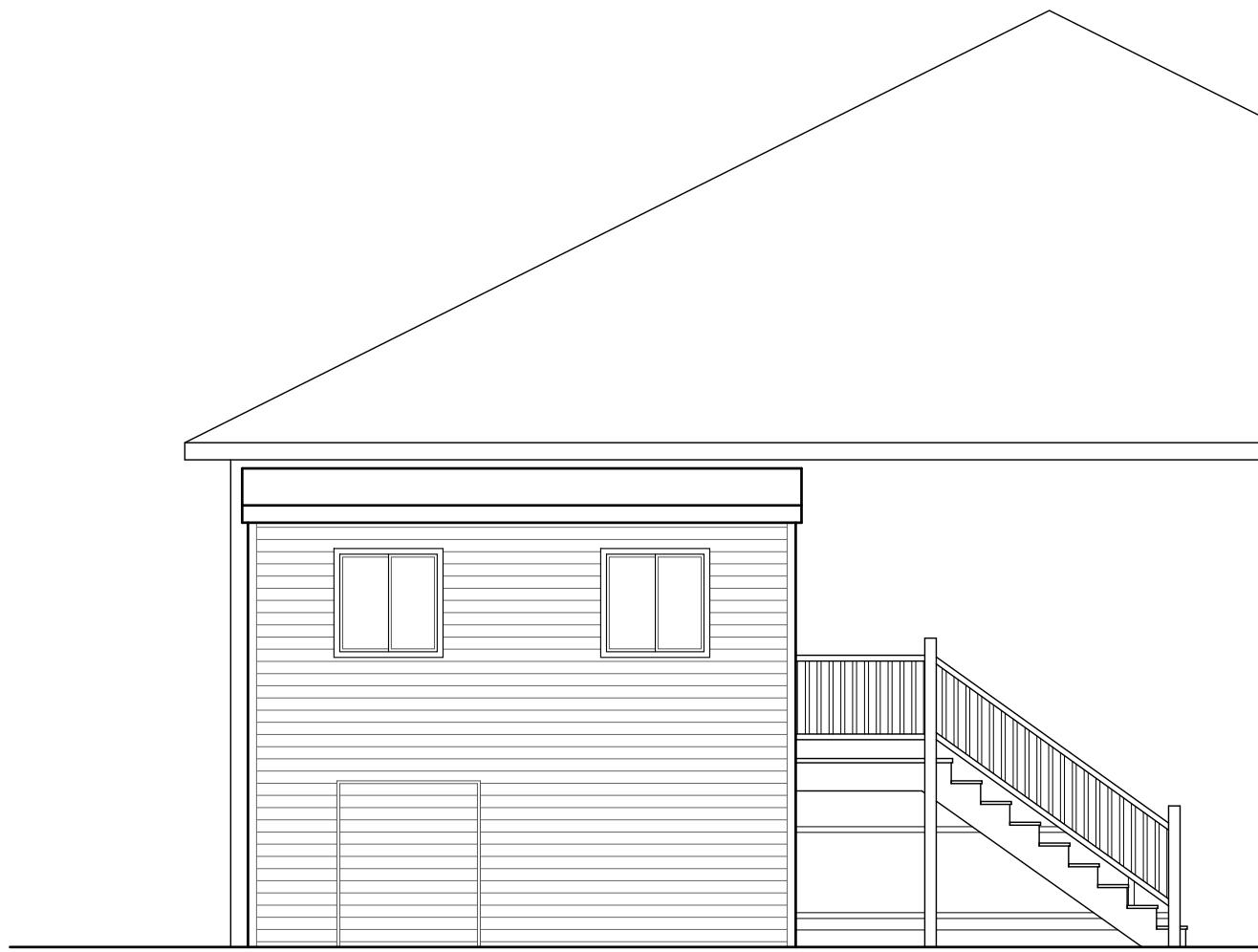


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no.	date	revision

client
 project 4705 LAVENDER ADDITION
 drawing FLOOR PLANS
 scale 3/16"=1'-0"
 date DEC 2024
 drawn by ST
 drawing no.
 checked by
 notes
 do not scale drawings
 all dimensions are to be checked and verified on the job site
 any and all discrepancies are to be reported to the designer before construction

A1

notes
 do not scale drawings
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 north



partial rear elevation

G.C. RESPONSIBLE FOR REVIEWING AND APPROVING ENGINEERED ROOF AND FLOOR TRUSS DESIGNS PRIOR TO MANUFACTURING AND MUST RELAY ANY RELEVANT INFORMATION TO THIS DESIGNER

EXTERIOR FINISHES AND FINISHING SYSTEMS ARE FOR DEMONSTRATION. G.C. MAY USE APPROVED FINISHES AND FINISHING SYSTEMS THAT MEET MINIMUM DESIGNER MUST BE INFORMED AND APPROVE CHANGES FROM DEMONSTRATED FINISHES AND FINISHING SYSTEMS

WINDOW AND DOOR SIZES ARE FOR REFERENCE ONLY. G.C. TO CONFIRM ALL SIZES w/ MANUF. OR SUPPLIER AND NOTIFY THIS DESIGNER OF ANY SIGNIFICANT CHANGES

G.C. TO OVERSEE ROOF DESIGN AND ADD SADDLES AS NECESSARY FOR ROOF DRAINAGE - FINAL ROOF DESIGN TO BE COMPLETED BY TRUSS MANUFACTURER

G.C. IS RESPONSIBLE TO ALSO REVIEW TRUSS SHOP DWG'S AND APPROVE AND UNDERSTAND ALL CONSTRUCTION METHODS AND DETAILS OF PRELIM. ROOF SHOP DRAWINGS AND APPROVE PRIOR TO SUBMITTING PERMIT DRAWINGS BY THIS DESIGNER

G.C. MUST CHECK ALL DIMENSION OF PLANS AND FIELD DIM. PRIOR TO ORDERING PRE. ENG TRUSSES AND REPORT AND DIFFERENCES TO THIS DESIGNER IN WRITING IMMEDIATELY PRIOR TO ERECTION AND FABRICATION OF TRUSSES

ALL WINDOWS AND DOOR SIZES TO BE CONFIRMED BY BUILDER - SIZES SHOWN DO NOT NECESSARILY REFLECT ACTUAL PRODUCT SIZES
EXACT DOOR AND WINDOW SIZES TO BE CONFIRMED BY OWNER
WINDOW SIZES SHALL NOT EXCEED EEDS FOR SB-12 COMPLIANCE
BEFORE CONSTRUCTION OBTAIN ROUGH OPENING SIZES FROM WINDOW/DOOR MANUFACTURER

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no.	date	revision

client
project
drawing

4705 LAVENDER
ADDITION
ELEVATION

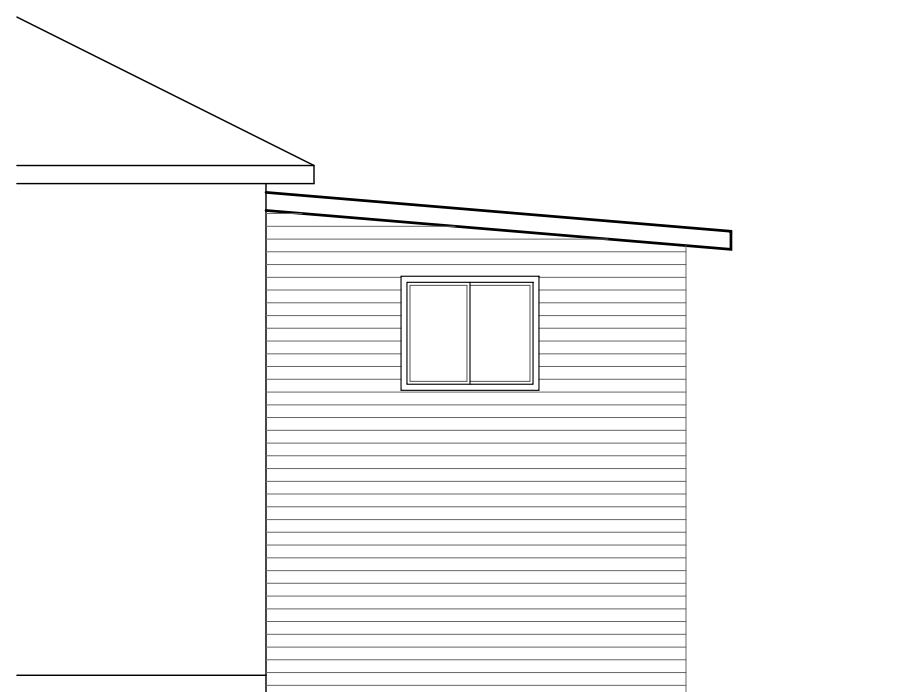
scale
3/16"=1'-0"
date
DEC 2024
drawn by
ST
drawing no.
checked by

notes
do not scale drawings
all dimensions are to be checked and verified on the job site
any and all discrepancies are to be reported to the designer before construction
north

A2



partial right elevation



partial left elevation

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no.	date	revision

client

project 4705 LAVENDER
3 SEASONS ROOM
drawing ELEVATIONS

scale
ADDITION

date
DEC 2024

drawn by

drawing no.

ST

checked by

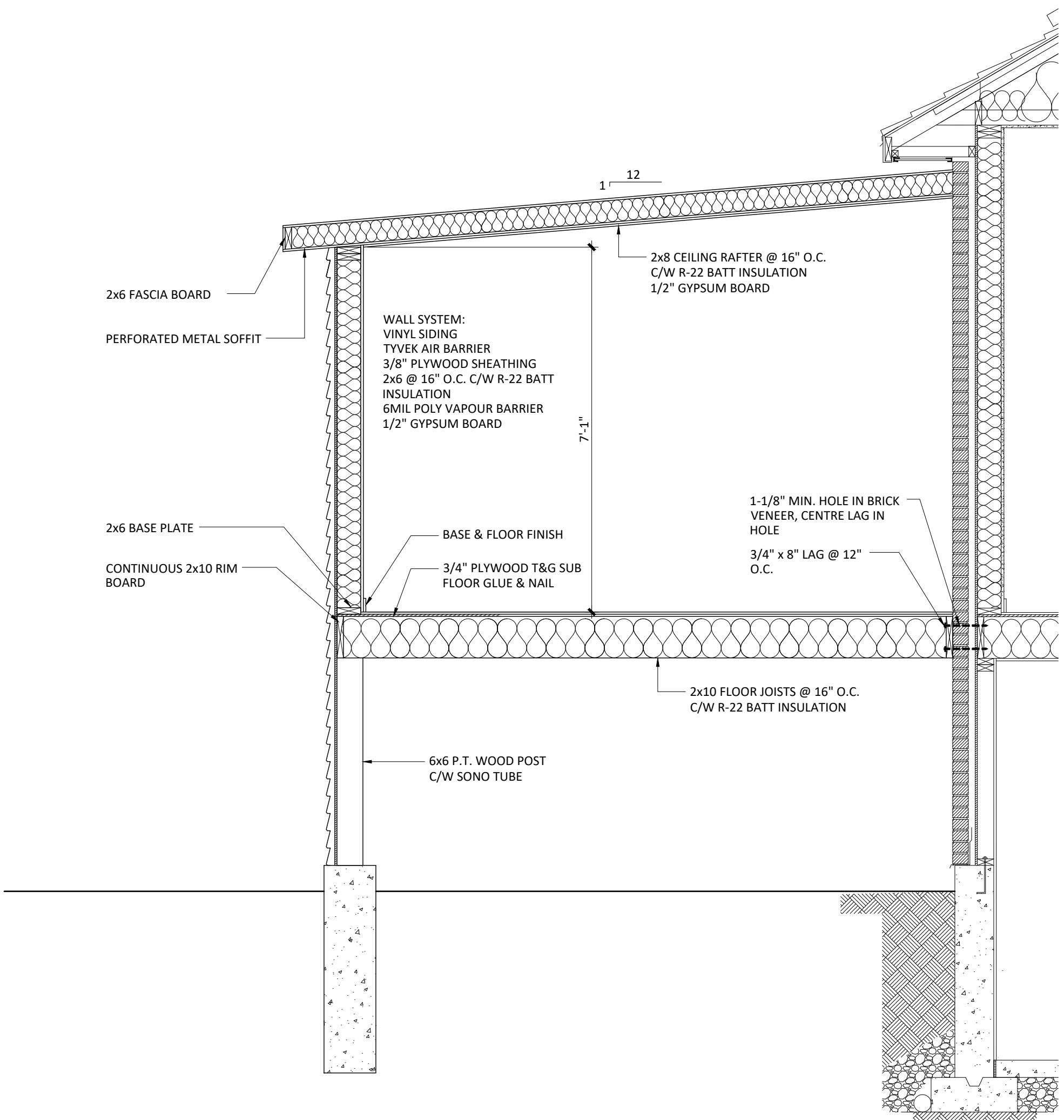
notes

do not scale drawings
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verified on the job site
any and all discrepancies are to be reported
to the designer before construction

north

A2

cq design group 519.817.6241 | stacie@cqadesign.com



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no.	date	revision

client
 project 4705 LAVENDER
 ADDITION
 drawing SECTION

scale
 $1/2''=1'-0''$
 date
 DEC 2024
 drawn by
 ST
 drawing no.

checked by

notes
 do not scale drawings
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 verified on the job site
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 to the designer before construction

north

A4