

COUNTERPOINT  
LAND DEVELOPMENT BY

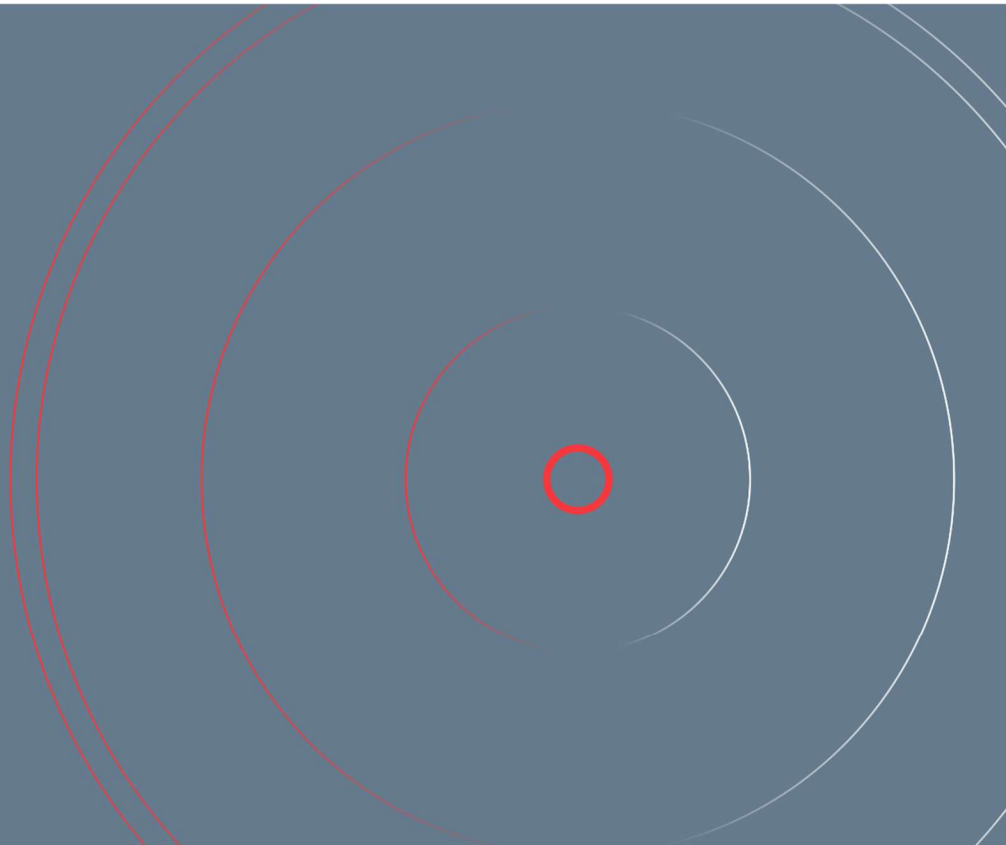
DILLON  
CONSULTING

THE CORPORATION OF THE CITY OF WINDSOR

# FUNCTIONAL SERVICING AND STORMWATER MANAGEMENT REPORT

455 Kennedy Drive West

APRIL 2026 – 26-3266



# TABLE OF CONTENTS

<b>1.0 INTRODUCTION .....</b>	<b>1</b>
1.1 Reference Documents.....	1
<b>2.0 TRANSPORTATION SERVICING .....</b>	<b>2</b>
2.1 Existing Conditions.....	2
2.2 Proposed Roadways.....	2
<b>3.0 SANITARY SERVICING.....</b>	<b>3</b>
3.1 Existing Conditions.....	3
3.2 Proposed Sanitary Servicing.....	3
<b>4.0 STORMWATER SERVICING .....</b>	<b>4</b>
4.1 Existing Conditions.....	4
4.2 Proposed Storm Servicing.....	4
<b>5.0 WATERMAIN SERVICING.....</b>	<b>5</b>
5.1 Existing Conditions.....	5
5.2 Proposed Watermain Servicing.....	5
<b>6.0 UTILITIES .....</b>	<b>6</b>
6.1 Gas .....	6
6.2 Bell .....	6
6.3 Cogeco.....	6
6.4 MNSi.....	6
6.5 Enwin.....	6
<b>7.0 CONCLUSIONS .....</b>	<b>7</b>

## APPENDICES

Appendix A – Concept Plan

Appendix B – Reference Drawings

# 1.0 INTRODUCTION

This Functional Servicing Report (‘FSR’) has been prepared to support a Zoning Bylaw Amendment (‘ZBA’) application for a portion of the property municipally known as 455 Kennedy Dr. W. in Windsor, Ontario (referred to as ‘the Site’). This report has been prepared on behalf of the applicant, The Corporation of the City of Windsor (or ‘the City’) to outline the servicing strategy, including supporting studies and related information for the transportation, sanitary, stormwater management, and watermain servicing for the site.

The site encompasses approximately 0.54 ha and is situated within the Roseland Golf Club property, as illustrated in **Figure 1** below. Upon ultimate build-out, the proposed development will consist of a four-storey multi-residential building containing 48 dwelling units, supported by both at-grade and below-grade parking facilities. A conceptual site plan illustrating the proposed layout is provided in **Appendix A**.



Figure 1: Site Location

The subject property is currently occupied by the Roseland Golf & Curling Club; however, the existing structure is scheduled for demolition in early 2026 as part of the City of Windsor’s Servicing Redistribution and Clubhouse Decommissioning and Demolition project. Following demolition, the facility will be rebranded as the “Roseland Golf Club”. A new clubhouse facility is slated for construction south of the current footprint, with site servicing for the new building being established concurrently with the decommissioning project this year.

## 1.1 REFERENCE DOCUMENTS

The following documents and drawings were referenced when completing this study:

- City of Windsor Development Manual (City of Windsor, 2015);
- MappMyCity Sewer Mapping (City of Windsor);
- Design Criteria for Environmental Compliance Approval (MECP, 2023);
- Windsor/Essex Region Stormwater Management Standards Manual (WERSMSM, 2018); and
- Roseland Golf – Servicing Redistribution and Clubhouse Decommissioning and Demolition (Dillon 2025)

## 2.0 TRANSPORTATION SERVICING

### 2.1 EXISTING CONDITIONS

Existing access to the subject property is currently provided via two entrance points on Kennedy Drive West. The primary easterly entrance is situated at the intersection with McGregor Boulevard, which currently operates as a four-way stop-controlled intersection. The existing parking facilities consist of approximately 211 stalls, serviced by internal drive aisles with a minimum width of 7.0 meters.

### 2.2 PROPOSED ROADWAYS

The proposed development strategy maintains two access points off Kennedy Drive for the Roseland Golf Club parking facilities. To ensure a clear separation of traffic, a dedicated residential entrance will be established at the McGregor Boulevard intersection, providing exclusive access to the multi-residential building and its associated parking. This residential component will provide a total of 85 parking stalls, comprising 14 at-grade spaces and 71 below-grade spaces. The pavement structure will be consistent with geotechnical recommendations and will be provided during detailed design.

## 3.0 SANITARY SERVICING

### 3.1 EXISTING CONDITIONS

Currently, there is a 1050mm diameter trunk sanitary sewer located within the Kennedy Drive right-of-way, which conveys flows westward via gravity. Under the City's Servicing Redistribution and Clubhouse Decommissioning and Demolition project, the existing sanitary service for the Roseland Golf & Curling Club will be abandoned. In its place, a new 200mm diameter sanitary service is slated for installation, connecting to the trunk sewer on Kennedy Drive and extending southward to provide a dedicated connection for the future clubhouse facility. Servicing for the existing Roseland Golf Club Pro Shop, Snack Building, and Maintenance Building is currently provided by a 125mm diameter sanitary service located south of the site, which outlets to the trunk sewer on Kennedy Drive East, external to the site boundaries.

### 3.2 PROPOSED SANITARY SERVICING

Under proposed conditions the site will accommodate 48 residential units. Utilizing a density of three (3) persons per unit (PPU), the anticipated equivalent population is 144 persons. The current Roseland Golf & Curling Club has an occupant capacity of 1123 people, while the future clubhouse is expected to have an occupant capacity of 450 people based on the proposed building area shown in **Appendix A**. This redistribution results in a residual capacity of 529 people within the original servicing allocation. Consequently, the net change in sanitary demand is negligible, and the proposed development is not expected to adversely affect the capacity of the existing 1050mm trunk sewer.

The connection to the existing sewer on Kennedy Drive allows for adequate cover of the proposed sanitary service. It is recommended that all serviced buildings install sewage ejector pumps to provide a hydraulic break between the sewer and the building.

The future detailed design of the sanitary sewers and services are to be consistent with the requirements of the Ontario Building Code.

## 4.0 STORMWATER SERVICING

### 4.1 EXISTING CONDITIONS

There are two parallel municipal storm sewers within the Kennedy Drive right-of-way: a 2100mm diameter storm sewer situated along the south boulevard and a 250mm diameter storm sewer along the north boulevard. Both systems convey flows westward via gravity, ultimately discharging into the Lennon Drain further downstream.

The open channel Lennon Drain currently traverses the Roseland Golf Course to the south of the site. Existing drainage for the Roseland Golf & Curling Club parking lot is currently managed via a private network of catch basins and leads that outlet directly into the Lennon Drain within the subject property through a private storm sewer network ranging in size from 200mm to 300mm in diameter. The original design records are provided in **Appendix B**.

### 4.2 PROPOSED STORM SERVICING

There is a catch basin located within the development limits which will need to be relocated to accommodate the proposed site configuration. As shown on the original design records in **Appendix B**, the highlighted existing 300mm diameter outlet pipe governs the system outflow into the Lennon Drain. A combination of aboveground and underground storage will be required to maintain the existing outlet pipe capacity.

The proposed building and future parking lot will be serviced through a new storm sewer network constructed within the proposed development and sized to accommodate a 1:5-year storm event. An internal pumping system will be required to lift drainage from the underground parking into the storm sewer system. A backflow prevention device is recommended at the outlet into the Lennon Drain to protect the proposed development from high water levels in the open drainage system.

During detail design, the impact of tailwater conditions will be considered to understand the required quantity control and governing water levels on the site. It is recommended that stormwater quality control be provided through an Oil and Grit Separator (OGS) unit to 70% TSS.

A comprehensive grading plan is to be developed during the detailed design phase to further evaluate on-site surface storage and overland flow routing for the site. To mitigate the risk of flooding during extreme storm events, the minimum finished floor elevation (FFE) for the multi-residential building shall be established of at least 0.30m above the higher of either the 100-year high-water level (HWL) of the Lennon Drain or the proposed 100-year HWL for the site surface ponding. This vertical separation is to be verified and refined through further analysis at the final design stage.

A Geotechnical Investigation is required to establish the localized groundwater table elevation, which is a critical design constraint for the underground parking facility.

## 5.0 WATERMAIN SERVICING

### 5.1 EXISTING CONDITIONS

There is an existing 200mm diameter watermain situated along the north boulevard of Kennedy Drive. The subject property is currently served by a 100mm diameter water service, which is scheduled for abandonment as part of the City's Servicing Redistribution and Clubhouse Decommissioning and Demolition project. Under this project, the existing service will be superseded by two new watermains – 150mm and 100mm in diameter, respectively – to provide dedicated domestic and fire protection services to the future clubhouse, maintenance facility, snack building, and pro shop.

### 5.2 PROPOSED WATERMAIN SERVICING

Watermain servicing to the proposed multi-residential building will be from the 200mm diameter watermain on Kennedy Drive. Pressor and/or flow testing may need to be completed during detailed design.

The detailed design of the watermain is to be consistent with the requirements of Windsor Utility Commissions (W.U.C.) and the Ontario Building Code (OBC). The detailed design process will be coordinated with W.U.C.

## 6.0 UTILITIES

### 6.1 GAS

There is a 4" gas main that runs along the north side of Kennedy Drive. Future coordination with Enbridge will be required during detailed design.

### 6.2 BELL

Existing Bell service is provided to the property from the south of the site. Future coordination with Bell will be required during detailed design.

### 6.3 COGECO

Cogeco has both fibre and coax service available along Kennedy Drive. Future coordination with Cogeco will be required during detailed design.

### 6.4 MNSI

MNSi has an aerial plant on Enwin poles along Kennedy Drive. Future coordination with MNSi will be required during detailed design.

### 6.5 ENWIN

Enwin has primary and secondary hydro located along Kennedy Drive. There is existing three-phase hydro that enters onto the property. Future coordination with Enwin will be required during detailed design.

## 7.0 CONCLUSIONS

This FSR presents a site servicing strategy for the proposed development that addresses the requirements of the applicable regulatory agencies and provides the basis for detailed servicing design.

We trust this report sufficiently addresses the site servicing requirements and allows for approval of the ZBA application. Should there be any questions or comments, please feel free to contact the undersigned.

Sincerely,

Counterpoint Land Development by Dillon Consulting Limited



Kailee Dickson, P.Eng  
Project Engineer  
Email: [kdickson@dillon.ca](mailto:kdickson@dillon.ca)



Ryan Langlois, P.Eng  
Water Resources Engineer  
Email: [rlanglois@dillon.ca](mailto:rlanglois@dillon.ca)

### Terms of Use

*This Report was prepared by Counterpoint Engineering Inc. for the exclusive use of the 'Client' and in accordance with the Terms and Conditions set out in the Agreement between Counterpoint Engineering Inc. and said Client. The material contained in this Report and all information relating to this activity reflect Counterpoint Engineering's assessment based on the information made available at the time of preparation of this report and do not take into account any subsequent changes that may have occurred thereafter. It should be noted that the information included in this report and data provided to Counterpoint Engineering has not been independently verified. Counterpoint Engineering Inc. represents that it has performed services hereunder with a degree of care, skill, and diligence normally provided by similarly-situated professionals in the performance of such services in respect of projects of similar nature at the time and place those services were rendered. Counterpoint Engineering Inc. disclaims all warranties, or any other representations, or conditions, either expressed or implied. With the exception of any designated 'Approving Authorities' to whom this report was submitted to for approval by Counterpoint Engineering Inc., any reliance on this document by a third party is strictly prohibited without written permission from Counterpoint Engineering Inc. Counterpoint Engineering Inc. accepts no responsibility for damages, if any, suffered by a third party as a result of decisions made or actions based on this Report.*



# APPENDIX A

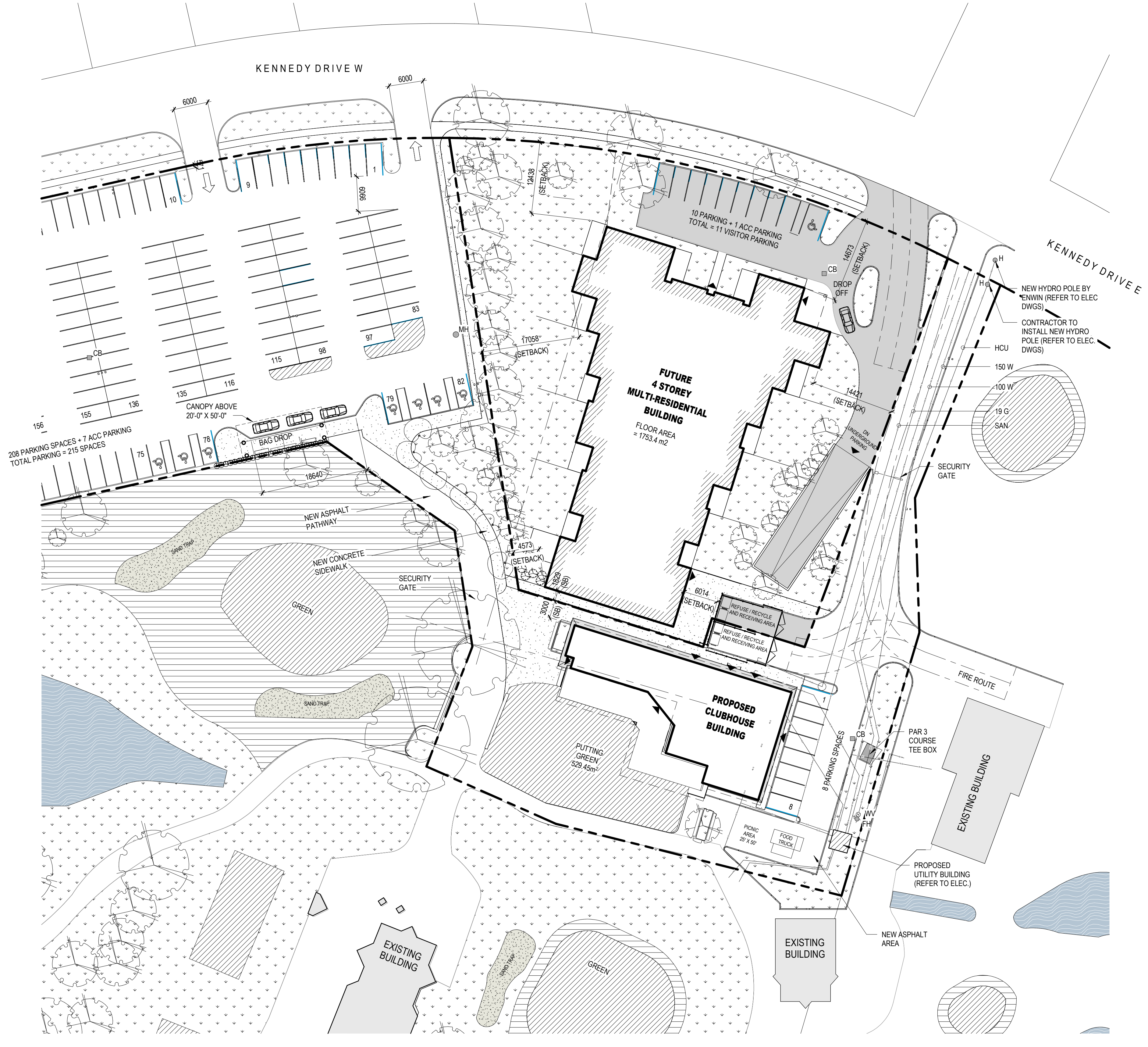
## CONCEPT PLAN

**SITE LEGEND**

			<p><b>NOTES:</b></p> <p>1. REFER TO CIVIL DRAWINGS FOR ALL PAVEMENT MATERIAL PROFILES AND BASE MATERIALS</p> <p>2. REFER TO LANDSCAPE PLAN FOR LANDSCAPE INFORMATION.</p> <p>3. REFER TO CIVIL DRAWINGS FOR ALL PROPOSED GRADES.</p> <p>4. ALL CONCRETE APRONS AT EXTERIOR DOOR OPENINGS TO MEET FLUSH (BARRIER FREE).</p> <p>5. PROVIDE BARRIER FREE CURB DROPS WHERE SIDEWALKS MEET ASPHALT PAVEMENT.</p>
<p>B.F. - "BARRIER FREE PARKING" SIGN          F.R. - "FIRE-ROUTE - NO PARKING" SIGN          B.D.O. - "BUS DROP OFF ZONE" SIGN          S.S. - "STOP" SIGN</p>			
<p>REFER TO PLAN FOR LOCATION OF ALL SIGNAGE          (REVIEW w/ ARCHITECT PRIOR TO FINAL PLACEMENT)</p>			

**ZONING CHART - INSERT ZONING / BY-LAW REFERENCE HERE**

DESCRIPTION	REQUIRED	PROVIDED	BY-LAW REF.	ADDITIONAL NOTES
ZONING REGULATION	GD1.2	RD3.2 *	12.2	-
PERMITTED USE	CLUB	MULTIPLE DWELLING	12.2.1	-
MINIMUM LOT AREA	3,190 m <sup>2</sup>	5,394.29 m <sup>2</sup>	12.2.5(d)(e)(f)	FOR ANY OTHER LOT: (d) FOR THE FIRST 4 DWELLING UNITS 540m <sup>2</sup> / UNIT (e) FOR THE NEXT 15 DWELLING UNITS 85m <sup>2</sup> / UNIT (f) FOR EACH ADDITIONAL DWELLING UNIT 55m <sup>2</sup> / UNIT
MINIMUM LOT FRONTAGE	30.0m	89.91m	-	-
SETBACK - FRONT YARD	-	12.4m, SEE PLAN	-	LOT FRONTS KENNEDY DRIVE
SETBACK - INTERIOR SIDE YARD	-	14.5 & 4.5m SEE PLAN	-	YARD ABUTS GOLF COURSE
SETBACK - REAR YARD	-	1.83m SEE PLAN	-	YARD ABUTS GOLF COURSE
BUILDING AREA	-	1753.4 m <sup>2</sup>	-	-
LOT COVERAGE	MAXIMUM 35%	32.50%	12.2.5.3	LOT AREA COVERED BY ALL BUILDINGS AT GROUND LEVEL: 1,809.46m <sup>2</sup>
LANDSCAPED AREA	MINIMUM 35%	33.54%	-	LANDSCAPED OPEN SPACE YARD
BUILDING HEIGHT	MAXIMUM OF 18.0 m	16.0 m	12.2.5.4	BUILDING HEIGHT - MAXIMUM CORNER LOT - 24.0m INTERIOR LOT - 18.0m
PARKING SPACE - SIZE	MIN. 2.5m x 5.5m	2.75m x 5.5m (AT GRADE) 2.67m x 5.5m (UNDERGRND)	24.20.10.1	-
PARKING SPACE - COUNT	1.5 x 48 UNITS = 72	72 SPACES + 11 VISITOR = 83 TOTAL SPACES SEE PLAN	-	-
PARKING SPACE - ACCESSIBLE SIZE	TYPE A: 3.5m x 5.5m ACCESS AISLE: 1.5m	TYPE A: 3.50m x 5.5m ACCESS AISLE: 1.7m	24.24.10.1 24.24.10.2 24.24.15.2	-
PARKING SPACE - ACCESSIBLE COUNT	4 FOR 26 TO 100 SPACES	4, SEE PLAN	24.24.1.1	TYPE A: 2% OF PARKING SPACES TYPE B: 2% OF PARKING SPACES
PARKING AISLE - WIDTH	6.0m (90° SPACES, TWO-WAY)	6.0m OR GREATER, SEE PLAN	25.25.5.50.3	-
LOADING SPACE - SIZE	3.0m x 7.50m x 3.5m (HEIGHT)	3.0m x 7.50m x 3.5m (HEIGHT)	24.40.10.1	-
LOADING SPACE - COUNT	1	1	24.40.1.9	OVER 275m <sup>2</sup> TO 2,500m <sup>2</sup> = 1 LOADING SPACE
BICYCLE PARKING	5	5	24.30.1	20 OR MORE - 2 FOR THE FIRST 19 SPACES PLUS 1 FOR EACH ADDITIONAL 20 PARKING SPACES
BICYCLE PARKING - SIZE	0.6m x 2.5m	0.6m x 2.5m	24.30.10	-



**SITE PLAN - RESIDENCE**  
SCALE: 1:400



# APPENDIX B

## REFERENCE DRAWINGS

**INDEX OF DRAWINGS**

- ARCHITECTURAL — A-1 TO A-25
- KITCHEN — K-1 TO K-4
- STRUCTURAL — S-1 TO S-7
- MECHANICAL — M-1 TO M-15
- ELECTRICAL — EL-1 TO EL-7

**WORKING DRAWINGS REQUIRED FOR APPROVAL BEFORE ERECTION FOR:**

- STRUCTURAL STEEL
- WOOD TRUSSES
- LAMINATED WOOD BEAMS
- CONCRETE

WELDING SHALL BE DONE ONLY BY WELDING CONTRACTORS AND FABRICATORS APPROVED BY CANADIAN WELDING BUREAU. WELDING SHALL BE DONE ONLY BY WELDERS QUALIFIED BY C.W.B. TO C.S.A. STANDARD W-47.

STRUCTURAL MEMBERS INCLUDING O.W.S.J. SHALL NOT BE ALTERED IN ANY MANNER WITHOUT APPROVAL FROM THE MANUFACTURER AND THE BUILDING DEPARTMENT OF THE DESIGN AND METHOD OF MAKING ANY SUCH ALTERATIONS.

ALL PUMPINGS AND DRAINAGE SHALL COMPLY WITH PLUMBING REGULATION NO. 647 MADE UNDER THE O.W.R.A.

**NEW CLUBHOUSE FACILITIES**

AT

**ROSELAND MUNICIPAL GOLF CLUB LTD.**

FOR

THE CORPORATION OF THE CITY OF WINDSOR

J. P. THOMSON ASSOCIATES ARCHITECTS & ENGINEERS

WINDSOR CHATHAM

See application & work sheets on 2nd Page.



All drawings and related documents are the copyright property of the ARCHITECT and must be returned upon request. Reproductions of drawings and related documents in part or in whole is forbidden without the ARCHITECT'S WRITTEN PERMISSION.

DATE: NOV 17 1977  
ISSUED FOR: OWNER'S APPROVAL  
NOV 24 1977  
BY: BCS & CONSTRUCTION

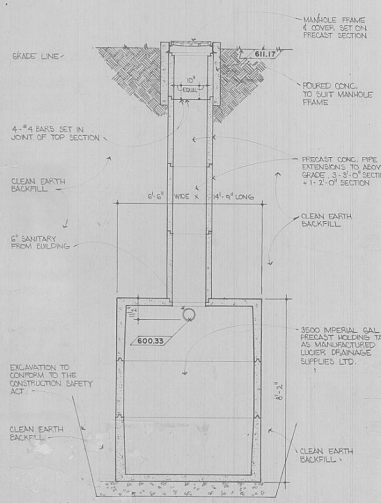
PROJECT: NEW CLUBHOUSE FACILITIES AT ROSELAND MUNICIPAL GOLF CLUB LTD. FOR THE CORPORATION OF THE CITY OF WINDSOR

DRAWING TITLE: SITE PLAN

CERTIFICATE OF CONFORMANCE PER ARTICLE 2-1 OF ONTARIO BUILDING CODE SHALL BE SUBMITTED BEFORE AN OCCUPANCY PERMIT CAN BE OBTAINED.

THESE PLANS SHALL BE KEPT ON THE SITE UNTIL CONSTRUCTION IS COMPLETED AND SHALL BE AVAILABLE FOR INSPECTION PURPOSES AT ANY TIME.

DATE: NOV 10 1977  
DRAWN BY: M.J. & J.P.C.  
CHECKED BY: J.P.  
APPROVED FOR CONSTRUCTION: [Signature]  
DRAWING NO.: A-1  
JOB FILE NO.: 77-110



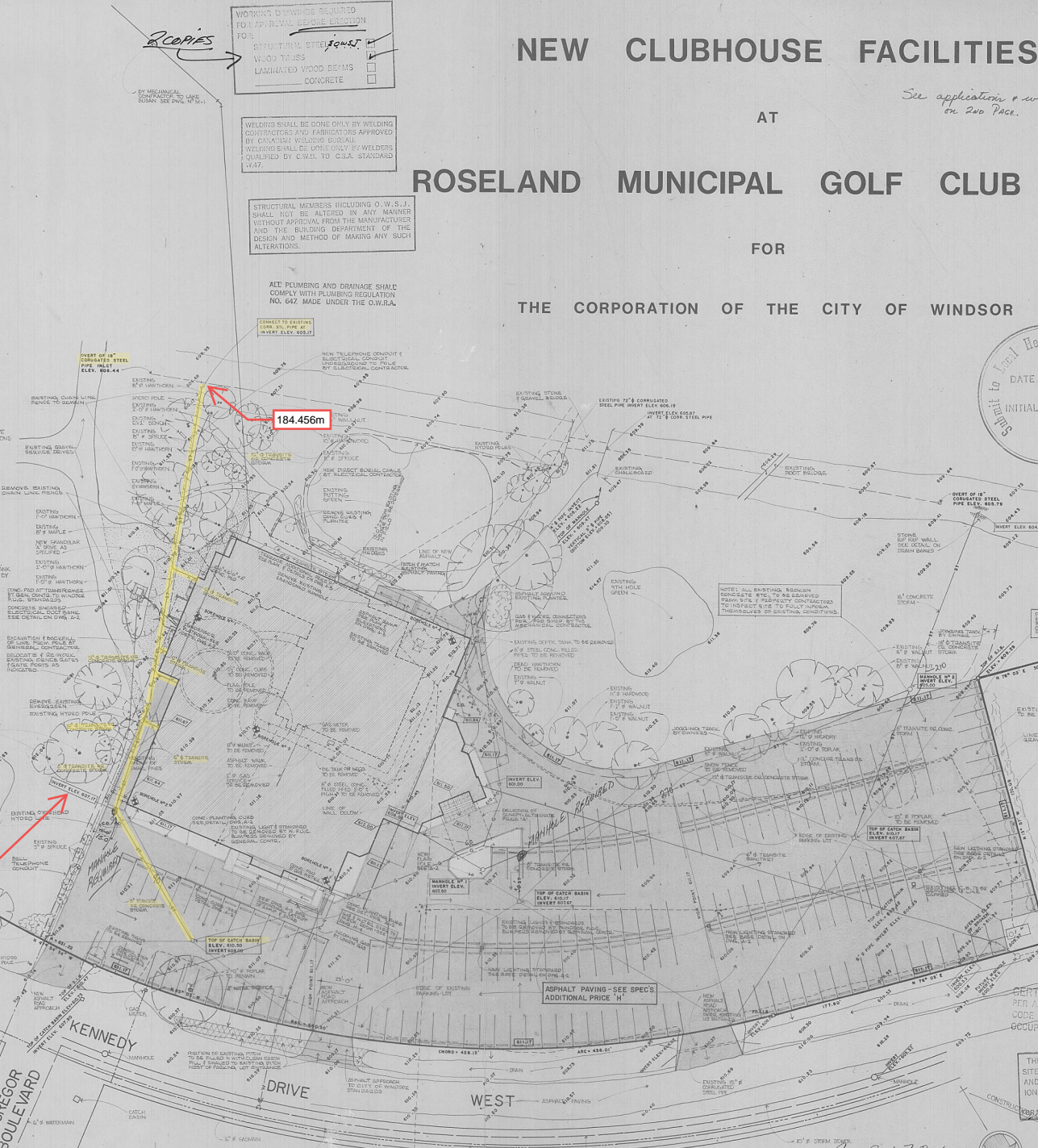
**DETAIL OF PRECAST CONCRETE HOLDING TANK**  
SCALE: 3/8" = 1'-0"

**PLOT PLAN**

OF PART OF BLOCK 'E' R.P. 1241 IN THE CITY OF WINDSOR COUNTY OF ESSEX  
SCALE: 1" = 30'

INFORMATION FOR THIS PLOT PLAN TAKEN FROM SURVEY PREPARED BY JOHN B. SIMEON ONTARIO LAND SURVEYOR DATED: JULY 21, 1976

ELEVATIONS ARE IN FEET ABOVE SEA-LEVEL CANADIAN GEOMETRIC DATUM. GEOMETRIC POINT IN ELEVATION INDICATES POSITION OF LEVEL TAKEN EXCEPT WHERE OTHERWISE NOTED.  
BENCH MARK: CITY OF WINDSOR BENCH MARK # 469 LOCATED ON THE BRIDGE ABUTMENT OVER DITCH LEADING INTO ROSELAND GOLF COURSE ON KENNEDY DRIVE EAST, WEST SIDE OF ROAD, 1/10 MILE SOUTH OF MC GREGOR STREET. PLATE IS ON WEST FACE OF BRIDGE ABUTMENT 0.60' SOUTH OF NORTH FACE AND 0.50' BELOW TOP BENCH MARK ELEVATION # 811.85

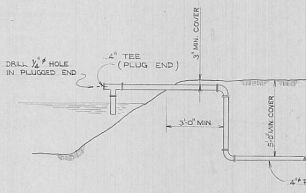


SEWER DRAINAGE OUTSIDE 270 270 270 270 900ft  
SANITARY DRAINAGE OUTSIDE 360ft  
ply approved on this sheet  
APR 9 1978  
April 6/78 [Signature]

455 KENNEDY

B-94784

[Handwritten signature]



**LEGEND**

— S —	SANITARY SEWER
— ST —	STORM SEWER
— P —	PUMPED CONDENSER WATER DRAIN PIPING
— DC —	DOMESTIC COLD WATER PIPING
— DH —	DOMESTIC HOT WATER PIPING
— DHC —	DOMESTIC HOT WATER RECIRC. PIPING
— HWS —	HOT WATER HEATING SUPPLY PIPING
— HWR —	HOT WATER HEATING RETURN PIPING
— CWS —	CHILLED WATER SUPPLY PIPING
— CWR —	CHILLED WATER RETURN PIPING
— G —	GAS PIPING
— V —	VENT PIPING (SHOWN IN OBLIQUE)

(A) THIS SYMBOL DENOTES A 2-1/2 GAL. CAPACITY (AIR EXPELLED - 100#) PRESSURIZED WATER TYPE EXTINGUISHER  
 (B) THIS SYMBOL DENOTES A DRY CHEMICAL TYPE EXTINGUISHER - SEE PLAN FOR WEIGHT  
 (C) THIS SYMBOL DENOTES A CO2 TYPE EXTINGUISHER. SEE PLAN FOR WEIGHT.

□	WATER CLOSET (TANK TYPE)
□	WATER CLOSET (FLUSH VALVE TYPE)
□	URINAL
□	LAVATORY
□	HAND SINK
□	VANITY BOWL
□	KITCHEN SINK (COUNTER-TOP TYPE)
□	BAR SINK (COUNTER-TOP TYPE)
□	SHOWER HEAD
□	FLOOR DRAIN
□	FUNNEL FLOOR DRAIN
□	HUB DRAIN

**ABBREVIATIONS**

C.O.	CLEANOUT	S.A.D.	SUPPLY AIR DIFFUSER
R.D.	ROOF DRAIN	S.A.R.	SUPPLY AIR REGISTER
V.D.R.	VALVE ON RISER	S.A.G.	SUPPLY AIR GRILLE
V.S.	VEGETABLE SINK	R.A.G.	RETURN AIR GRILLE
P.S.	POT SINK	E.A.R.	EXHAUST AIR REGISTER
D.W.	DISHWASHER	L.D.	LINEAR DIFFUSER
G.W.	GLASS WASHER	V.C.D.	VOLUME CONTROL DAMPER
R.W.L.	RAIN WATER LEADER	F.L.D.	FUSIBLE LINK FIRE DAMPER
H.W.H.	HOT WATER HEATER	R.E.F.	ROOF EXHAUST FAN

**NOTE**

CONTRACTOR TO UNCOVER EXISTING SERVICES AND RE-CONNECT AS SHOWN ON PLAN. ANY DEVIATIONS IN LOCATION OF EXISTING SERVICES ARE TO BE REPORTED TO THE ENGINEERS AT ONCE.

**J. P. THOMSON ASSOCIATES**  
ARCHITECTS & ENGINEER

WINDSOR CHATHAM



**LA FONTAINE, COWE BURATTO & ASSOCIATES LIMITED**  
Consulting Engineers  
Windsor, Ontario

LCBA File No. **THO-108**

All drawings and related documents are the copyright property of the ARCHITECT and must be returned upon request. Reproduction of drawings and related documents in part or whole is forbidden without the ARCHITECT'S WRITTEN PERMISSION.

A	DETAIL NO.
B	LOCATION SHEET
C	DETAILED ON

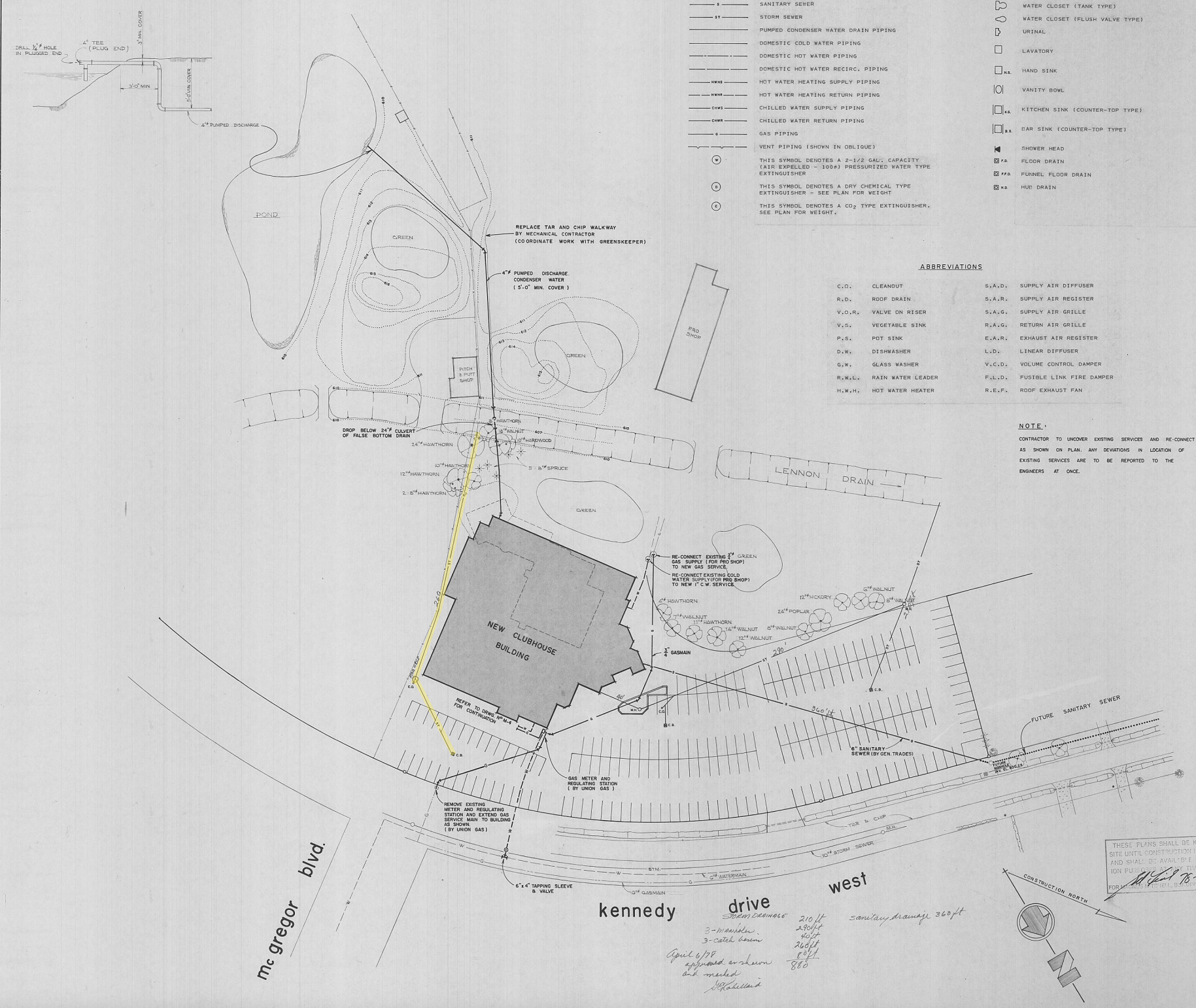
DATE	ISSUED FOR
NOV. 11, 1977	CONCESS APPROVAL
NOV. 24, 1977	BIDS AND CONSTRUCTION

**PROJECT**  
NEW CLUBHOUSE FACILITIES AT ROSELAND MUNICIPAL GOLF CLUB LTD. FOR THE CORPORATION OF THE CITY OF WINDSOR

**DRAWING TITLE**  
SITE PLAN

THESE PLANS SHALL BE KEPT ON THE SITE UNTIL CONSTRUCTION IS COMPLETED AND SHALL BE AVAILABLE FOR INSPECTION PURSUANT TO ANY TIME FOR TERMS REFERRED TO IN THE CONTRACT.

DATE:	NOV. 16, 1977
SCALE:	1" = 40'-0"
DRAWN BY:	J. K.
CHECKED BY:	A. A.
APPROVED FOR CONSTRUCTION	
DRAWING NO.:	M-1
JOB FILE NO.:	77-110



30" DIAM. DRAINAGE 210 ft  
 3" MANHOLE 230 ft  
 3" CATCH BASIN 40 ft  
 24" DIAM. 260 ft  
 8" DIAM. 80 ft  
 8" DIAM. 880 ft  
 April 6/78 approved as shown and marked  
 J. P. Thomson

THESE PLANS SHALL BE KEPT ON THE SITE UNTIL CONSTRUCTION IS COMPLETED AND SHALL BE AVAILABLE FOR INSPECTION PURSUANT TO ANY TIME FOR TERMS REFERRED TO IN THE CONTRACT.

