

Development & Heritage Standing Committee Meeting Agenda

Date: Monday, March 2, 2026

Time: 4:30 o'clock p.m.

Location: Council Chambers, 1st Floor, Windsor City Hall

All members will have the option of participating in person in Council Chambers or electronically and will be counted towards quorum in accordance with Procedure By-law 98-2011 as amended, which allows for electronic meetings. The minutes will reflect this accordingly. Any delegations have the option to participate in person or electronically.

MEMBERS:

Ward 1 – Councillor Fred Francis

Ward 4 - Councillor Mark McKenzie

Ward 7 - Councillor Angelo Marignani

Ward 9 - Councillor Kieran McKenzie

Ward 10 - Councillor Jim Morrison (Chairperson)

Member Anthony Arbour

Member Joseph Fratangeli

Member John Miller

Member Charles Pidgeon

Member Robert Polewski

Member Khassan Saka

Member William Tape

ORDER OF BUSINESS

Item # Item Description
1. CALL TO ORDER

READING OF LAND ACKNOWLEDGMENT

We [I] would like to begin by acknowledging that the land on which we gather is the traditional territory of the Three Fires Confederacy of First Nations, which includes the Ojibwa, the Odawa, and the Potawatomi. The City of Windsor honours all First Nations, Inuit and Métis peoples and their valuable past and present contributions to this land.

2. DISCLOSURES OF PECUNIARY INTEREST AND THE GENERAL NATURE THEREOF

3. REQUEST FOR DEFERRALS, REFERRALS OR WITHDRAWALS

4. COMMUNICATIONS

5. ADOPTION OF THE *PLANNING ACT* MINUTES

5.1. Adoption of the Development & Heritage Standing Committee (*Planning Act*) minutes of its meeting held February 2, 2026 (**SCM 67/2026**)

6. PRESENTATION DELEGATIONS (*PLANNING ACT* MATTERS)

7. *PLANNING ACT* MATTERS

7.1. Official Plan Amendment and Zoning By-law Amendment Applications for 0 Mercer Street, Z-002/26 [ZNG-7353] & OPA 200 [OPA-7354], Ward 3 (**S 13/2026**) *Author: Brian Nagata, Planner III - Development (Acting)*

8. ADOPTION OF THE MINUTES

8.1. Adoption of the Development & Heritage Standing Committee minutes of its meeting held February 2, 2026 (**SCM 66/2026**)

9. PRESENTATIONS AND DELEGATIONS (COMMITTEE ADMINISTRATIVE MATTERS)

10. HERITAGE ACT MATTERS

- 10.1. Request for Community Heritage Fund – 3056 Alexander Avenue (Sandwich HCD) (Ward 2) (**S 17/2026**) *Author: Tracy Tang, Planner III – Heritage (Acting)*

11. ADMINISTRATIVE ITEMS

- 11.1. University Wyandotte CIP - 591 Wellington Ave - Ward 3 (**S 12/2026**) *Author: Simona Simion Planner III – Economic Development (Acting)*
- 11.2. Ford City CIP/ Main Street CIP Application, 1037-1039 Drouillard Road, Owner: MB Land and Building Corp. (c/o: Christiaan Meyer and Jay Meyer), Ward 5 (**S 14/2026**) *Author: Kevin Alexander, Senior Planner-Special Projects*
- 11.3. Main Streets CIP Application: 1519 Wyandotte Street East; Owners: ADHOC Development Inc. (C/O: Philip Duym), Ward 4 (**S 15/2026**) *Author: Kevin Alexander, Senior Planner - Special Projects*

12. COMMITTEE MATTERS

- 12.1. International Relations Committee Annual Reports 2024/2025 (**SCM 29/2026**)

13. QUESTION PERIOD

14. ADJOURNMENT



Committee Matters: SCM 67/2026

Subject: Adoption of the Development & Heritage Standing Committee (*Planning Act*) minutes of its meeting held February 2, 2026

**Development & Heritage Standing Committee Meeting
(Planning Act Matters)**

Date: Monday, February 02, 2026

Time: 4:30 o'clock p.m.

Members Present:

Councillors

Ward 1 - Councillor Fred Francis
Ward 4 - Councillor Mark McKenzie
Ward 7 - Councillor Angelo Marignani
Ward 9 - Councillor Kieran McKenzie
Ward 10 - Councillor Jim Morrison (Chairperson)

Members

Member Anthony Arbour
Member Joseph Fratangeli
Member John Miller
Member Charles Pidgeon
Member William Tape - Participated via video conference

Member Regrets

Member Robert Polewski
Member Khassan Saka

PARTICIPATING VIA VIDEO CONFERENCE ARE THE FOLLOWING FROM ADMINISTRATION:

Sandra Gebauer, Council Assistant

ALSO PARTICIPATING IN COUNCIL CHAMBERS ARE THE FOLLOWING FROM ADMINISTRATION:

Jelena Payne, Deputy Chief Administrative Officer / Commissioner, Economic Development
Neil Robertson, City Planner
Greg Atkinson, Deputy City Planner – Development
Jason Campigotto, Deputy City Planner – Growth
Aaron Farough, Senior Legal Counsel
Stacey McGuire, Executive Director Operations

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James Abbs, Manager-Planning
Patrick Winters, Manager, Development
Laura Diotte, Manager, Planning
Elara Mehrilou, Supervisor, Coordinator Maintenance
Adam Szymczak, Planner III - Development
Brian Nagata, Planner III – Development
Kevin Alexander, Planner III - Special Projects
Simona Simion, Planner III – Economic Development
Tracy Tang, Planner III – Heritage
Anna Ciacelli, Deputy City Clerk

Delegations—participating via video conference

Item 7.1 Tracey Pillon-Abbs, Principal Planner, Pillon Abbs Inc
Item 7.2 Jackie Lassaline, Lassaline Planning Consultants

Delegations—participating in person

Item 7.1 Daniel Grenier, President, Hausology Inc
Item 7.1 Gladys Chiasson, Area Resident
Item 7.1 Eileen Daly, Area Resident
Item 7.1 Roger Hines, Area Resident
Item 7.3 Andi Shallvari, Applicant
Item 7.3 Michael Davis, Agent for Applicant, Siv-ik Planning and Design Inc.
Item 10.2 Alex Seguin, Designer, Adhoc Development, Seguin Design Studio
Item 11.3 Scott Stover, Leasing Representative, Pattison Outdoor Advertising
Item 11.3 Nathan Jankowski, Manager, Legislation and Permits, Pattison Outdoor Advertising

1. CALL TO ORDER

The Chairperson calls the meeting of the Development & Heritage Standing Committee to order at 4:30 o'clock p.m.

2. DISCLOSURES OF PECUNIARY INTEREST AND THE GENERAL NATURE THEREOF

None disclosed.

3. REQUEST FOR DEFERRALS, REFERRALS OR WITHDRAWALS

None requested.

4. COMMUNICATIONS

None presented.

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5. ADOPTION OF THE *PLANNING ACT* MINUTES

5.1. Adoption of the Development & Heritage Standing Committee minutes (*Planning Act*) of its meeting held January 5, 2026

Moved by: Member Anthony Arbour
Seconded by: Councillor Mark McKenzie

THAT the *Planning Act* minutes of the Development & Heritage Standing Committee meeting held January 5, 2026 **BE ADOPTED** as presented.

Report Number: SCM 23/2026

7. *PLANNING ACT* MATTERS

7.1. Zoning By-law Amendment Application for 291 Watson Avenue, Z-035/25 [ZNG-7344], Ward 6

Brian Nagata (author), Planner III – Development, presents the application.

Daniel Grenier (applicant) is available for questions.

Tracey Pillon-Abbs (agent) states that the applicant is in agreement with the staff's recommendation. Ms. Pillon-Abbs states that the applicant reduced the number of dwelling units from nine to eight in response to feedback from residents at the open house. Ms. Pillon-Abbs states that the applicant issued letters to property owners within 200 metres of the subject property before this meeting, informing them of the change, with no responses received to date. Ms. Pillon-Abbs addresses concerns from the letters submitted to the Development and Heritage Standing Committee (DHSC). Ms. Pillon-Abbs is available for questions.

Gladys Chiasson (area resident) expressed her opposition to the development, citing concerns about flooding, safety due to the narrowness of the street, and the high number of multi-unit residences in the area, which has led to an increase in garbage bins placed along the street.

Eileen Daly (area resident) expressed concerns that many multi-residential buildings direct traffic onto Watson Avenue, that developers are replacing single-family homes with multi-residential dwellings, and that garbage and service trucks create unsafe road conditions. She also raised concerns that the proposed development near a busy intersection could negatively affect pedestrian safety.

Roger Hines (area resident) expressed concerns about recurring flooding that has caused damage to his personal property despite the installation of a large drain. He noted that unstable soil conditions have led to foundation shifting and cracking, resulting in significant expenses for his

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property and several others. Mr. Hines suggested that the property instead be incorporated into the Ganatchio Trail and that the existing trees be left to mature to enhance the tree canopy.

Councillor Angelo Marignani inquired whether flooding in the area had ever reached one metre in height. Mr. Hines responded that he could not recall flooding reaching that level on the street; however, he stated that flooding had occurred three times, destroying his basement, and that he is no longer eligible for flood insurance.

Councillor Marignani further inquired whether the area floods in its entirety. Mr. Hines stated that this has not occurred.

Councillor Marignani asked how the flooding program, including the East Marsh pumping station and the Sewer Master Plan, would assist with floodwater control and mitigation in the area. Patrick Winters responded that there are plans in place for the broader area under the Sewer Master Plan.

Councillor Marignani inquired whether improvements to a sewer line in the area would also lower the water table. Mr. Winters responded that the Sewer Master Plan prioritizes projects and that Disaster Mitigation and Adaptation Fund (DMAF) is allocated to address the most critical projects first.

Councillor Marignani asked about an Essex Region Conservation Authority (ERCA) comment regarding potential obstruction to emergency services and how that concern would be addressed. Chair Morrison noted that no ERCA representative was present, but stated that regular meetings are held to discuss property access and that the project would require an ERCA permit. Neil Robertson added that, for a previous nearby application, emergency services had indicated they would have no issue accessing and servicing 233 Watson Avenue.

Councillor Marignani inquired about the potential increased burden on existing residents and the reduction of permeable surfaces as a result of the development. Mr. Robertson stated that the proposed development significantly reduces and consolidates the built surface area, improving stormwater management. He added that the current site conditions exceed the built area proposed under the new development.

Councillor Marignani asked how the proponent could ensure that basement units would not flood, given the site's location within a flood-prone area. Mr. Nagata advised that ERCA will evaluate all opening elevations to ensure the dwellings are protected during a 1:100-year flood event.

Councillor Marignani further inquired whether modifications to the site plan could help mitigate flooding. Mr. Nagata deferred the question to the Engineering Department. Stacey McGuire explained that the development is within the St. Paul pumping station service area, which is currently undergoing capacity upgrades through DMAF funding, with construction underway to improve the system significantly. She added that the proposed parking lot would manage stormwater onsite to mimic pre-development runoff levels.

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Councillor Marignani asked whether the site plan guarantees that basement units will not flood. Mr. Robertson stated that during the ERCA and building permit review stages, if the units cannot be constructed safely, the basement units would not proceed. He noted that the proposed height limitation forms part of the rezoning request.

Councillor Marignani inquired whether ERCA could require a reduction in the total number of units. Mr. Robertson explained that a technical review would establish minimum elevations or required mitigation measures, after which the developer could determine whether to proceed with all proposed units or reduce them to address flooding concerns.

Councillor Kieran McKenzie asked about past flooding incidents and whether any significant events have occurred since 2017. Ms. McGuire responded that staff have reviewed sewer drawings predating 2017 and confirmed that a storm relief sewer services the area.

Councillor Kieran McKenzie inquires if there would be a pathway for a reasonable stormwater plan that would address some of the flooding issues brought up today. Mr. Winters states that, from a functional level, administration has agreed to an allowable release rate from this site and demonstrated that it will not adversely affect the existing residents.

Councillor Kieran McKenzie inquires about the comments presented by Ms. Daly and the responses to her concerns. Mr. Nagata states that the development presented adequate parking, landscape open space, and no traffic-related concerns based on the density.

Councillor Kieran McKenzie inquires if the characteristics of the surrounding neighbourhood (i.e., density, traffic, servicing capacity, etc.) factor into a decision to increase the density on a property, in addition to the impact on the property itself. Councillor Kieran McKenzie also inquires if there is a threshold for density on a property. Mr. Nagata states that the resulting zoning requirements (i.e., additional parking spaces, increased minimum lot area, etc.), in conjunction with site functionality, often indicate the threshold for density on a property.

Councillor Kieran McKenzie acknowledges that the property consists of two existing lots that could each potentially have a single-unit dwelling with up to two additional dwelling units (ADU) as of right, resulting in six total dwelling units. Councillor Kieran McKenzie inquires about the possibility of subdividing the subject property into three lots, each containing a single-unit dwelling with up to two ADUs as of right. Mr. Nagata states that the proposal was not reviewed for the creation of three lots and would be hard to comment on. The configuration of three lots would be difficult to create.

Councillor Kieran McKenzie inquires whether there are similar lots in the City that have greater lot width than lot depth. Mr. Nagata agrees and states that such lots exist in older neighbourhoods within the City.

Councillor Marignani inquired whether the City is waiting for ERCA confirmation to determine if emergency services would be able to access the site during a 100-year flood, and whether the City is meeting its obligation in this regard. Aaron Farough stated he could not comment, noting that the Legal Department typically does not receive information from the Police Department about

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fulfillment of this obligation. Chair Morrison responded that he would follow up with ERCA and noted that the Fire Department usually provides a response.

Moved by: Councillor Kieran McKenzie

Seconded by: Member Anthony Arbour

Decision Number: **DHSC 797**

- I. THAT Zoning By-law 8600 **BE AMENDED** by adding the following zoning exception to Section 91.10:

18. **NORTHWEST CORNER OF CLAIRVIEW AVENUE AND WATSON AVENUE**

For the lands comprising of Lots 1 & 2, Plan 829 (PIN 01055-0107 LT), the following additional provisions shall apply:

- a) *Lot Area: minimum 827.2 m²*
- b) *Building Height: Main Building: maximum 9.0 m*
- c) *Side Yard Width: minimum:*
 1. From the north *side lot line*: 2.20 m
 2. From the south *side lot line*: 1.22 m
- d) Notwithstanding Table 24.20.5.1, the *minimum* number of required *parking spaces* for a *Multiple Dwelling* shall be 9.
- e) Notwithstanding clause .6 of Table 25.5.20.1, the *minimum* separation of a *parking area* from a *building* wall containing a *habitable room window* or containing both a main pedestrian entrance and a *habitable room window* facing the *parking area* where the *building* is located on the same *lot* as the *parking area* shall be 2.00 m and the *parking area* separation shall be maintained with *soft landscaping*, save and except any area occupied by a public walkway providing access to a main pedestrian entrance.

[ZDM 10; ZNG/7344]

- II. THAT Zoning By-law 8600 **BE FURTHER AMENDED** by changing the zoning of Lots 1 & 2, Plan 829 (PIN 01055-0107 LT) situated at the northwest corner of Clairview Avenue and Watson Avenue from RD1.2 to RD3.1x(18).

Carried.

Councillor Angelo Marignani voting nay.

Report Number: S 144/2025

Clerk's File: Z/15073

7.2. Zoning By-law Amendment Application for 401-431 Shepherd Street West, Z-036/25 [ZNG-7345], Ward 3

Brian Nagata(author), Planner III – Development, is available for questions.

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Jackie Lassaline (agent) is available for questions.

Moved by: Councillor Mark McKenzie

Seconded by: Councillor Fred Francis

Decision Number: **DHSC 798**

- I. THAT Zoning By-law 8600 **BE AMENDED** by adding the following zoning exception to Section 91.10:

21 SOUTH SIDE OF SHEPHERD STREET WEST BETWEEN YORK STREET AND CHURCH STREET

For the lands comprising of Lot 107 & Part of Lot 108, Plan 652 (PIN 01184-0428 LT), for a *Combined Use Building* the following additional provisions shall apply:

- f) *Lot Coverage: maximum* As Existing
- g) *Front Yard depth: minimum* As Existing
- h) *Rear Yard depth: minimum* As Existing
- i) *Side Yard width: minimum* As Existing

[ZDM 7; ZNG/7345]

- II. THAT Zoning By-law 8600 **BE FURTHER AMENDED** by changing the zoning of Lot 107 & Part of Lot 108, Plan 652 (PIN 01184-0428 LT), situated on the south side of Shepherd Street West between York Street and Church Street, from CD1.3 to CD1.3x(21).

Carried.

Report Number: S 145/2025
Clerk's File: Z/15074

7.3. Rezoning - 1360 & 1376 Howard Ave - Z-037/25 ZNG/7349 - Ward 4

Adam Szymczak (author), Senior Planner - Development, is available for questions.

Michael Davis (agent) and Andi Shallvari (applicant) is available for questions.

Moved by: Councillor Mark McKenzie

Seconded by: Councillor Angelo Marignani

Decision Number: **DHSC 799**

1. THAT Zoning By-law 8600 **BE AMENDED** by adding the following to Section 91.10:

19. SOUTHEAST CORNER OF HOWARD AVENUE AND OTTAWA STREET

For the lands comprising Plan 128 PT Lot 13; Corner; Plan 128 N PT Lot 14; Plan 936 PT Lot 19; PIN 01163-0214, 01163-0217, 01163-0511, a *Stacked Dwelling* shall be an additional permitted *main use*, and for a *Multiple Dwelling* having five or more *dwelling units* or a *Stacked Dwelling*, the following additional provisions shall apply:

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- a) *Lot Area: minimum: 1,900 m²*
 - b) *Lot Coverage: maximum 40% of lot area*
 - c) *The Front Yard Depth, Rear Yard Depth, Side Yard Width provisions in Section 12.1.5 shall not apply*
 - d) *Building Setback:*
 - 1. *From an exterior lot line abutting Lillian Avenue: minimum 6.0 m*
 - 2. *From any other exterior lot line: minimum 0.0 m*
 - 3. *From an interior lot line: minimum 2.20 m*
 - e) *Landscaped Area: minimum 30.0% of lot area*
 - f) *Required Parking Spaces: minimum: 1 for each dwelling unit*
 - g) *Required Visitor Parking Spaces: 0*
 - h) *Notwithstanding Sections 24.20.10 and 24.22.10, each parking space or visitor parking space shall have a minimum length of 5.5 m and a minimum width of 2.5 m*
 - i) *Notwithstanding Clause .2 in Table 25.5.20.1, the minimum parking area separation of a parking area from Ottawa Street shall be 1.5 m*
 - j) *Notwithstanding Section 25.5.30.4, each lane shall have a minimum width of 3.0 m*

[ZDM 7; ZNG/7349]

- 2. THAT Zoning By-law 8600 **BE FURTHER AMENDED** by changing the zoning of the lands comprising Plan 128 PT Lot 13; Corner; Plan 128 N PT Lot 14; Plan 936 PT Lot 19; PIN 01163-0214, 01163-0217, 01163-0511; situated southeast corner of Howard Avenue and Ottawa Street, (Roll No. 030-330-08700 & 030-330-08900), from RD1.3, RD2.2, and CD2.6 to RD3.1x(19).
- 3. THAT the Site Plan Approval Officer **BE DIRECTED** to review the comments from municipal departments and external agencies in Appendix B to Report S 146/2025.

Carried.

Report Number: S 146/2025
Clerk's File: Z/15075

8. ADJOURNMENT

There being no further business the meeting of the Development & Heritage Standing Committee (*Planning Act* Matters) portion is adjourned at 5:50 o'clock p.m.

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Development & Heritage Standing Committee

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Ward 10 – Councillor Jim Morrison
(Chairperson)

Deputy City Clerk / Supervisor of Council
Services

Subject: Official Plan Amendment and Zoning By-law Amendment Applications for 0 Mercer Street, Z-002/26 [ZNG-7353] & OPA 200 [OPA-7354], Ward 3

Reference:

Date to Council: March 2, 2026
Author: Brian Nagata, MCIP, RPP
Planner III - Development (A)
(519) 255-6543 ext. 6181

Planning & Building Services
Report Date: January 30, 2026
Clerk's File #: Z/15097

To: Mayor and Members of City Council

Recommendation:

- I. THAT Schedule "A" of Volume I: The Primary Plan of the City of Windsor Official Plan **BE AMENDED** by designating Lots 17 to 30, Plan 649, known municipally as 0 Mercer Street; situated on the southeast corner of Hanna Street East and Mercer Street as a Special Policy Area.
- II. THAT the City of Windsor Official Plan, Volume II, Chapter 1 - Special Policy Areas, **BE AMENDED** by adding site-specific policies as follows:

1.xx. Southeast Corner of Hanna Street East and Mercer Street

- 1.xx.1 The property described as Lots 17 to 30, Plan 649, known municipally as 0 Mercer Street, situated on the southeast corner of Hanna Street East and Mercer Street, is designated on Schedule A: Planning Districts & Policy Areas in Volume I - The Primary Plan.
- 1.xx.2 Notwithstanding Policy 6.5.3.1 of the City of Windsor Official Plan, Volume I, Chapter 6 - Land Use:
 - a) A Group Home shall be an additional permitted use.
- 1.xx.3 Notwithstanding Policy 6.5.3.3(a) of the City of Windsor Official Plan, Volume I, Chapter 6 - Land Use:
 - a) A Mixed-Use Corridor development shall have a building height of no more than five storeys (18.0 metres).

- III. THAT Zoning By-law 8600 **BE AMENDED** by adding the following zoning exception to Section 91.10:

22. **SOUTHEAST CORNER OF HANNA STREET EAST AND MERCER STREET**

For the lands comprising Lots 17 to 30, Plan 649 (PIN 01180-0194 LT), the following additional provisions shall apply:

- a) *Main Building Height: maximum* 18.0 m
- b) *Rear Yard Depth: minimum:* 23.8 m
- c) *Side Yard Width: minimum:*
 - 1. From the east *side lot line:* 20.8 m
- d) Notwithstanding Sections 5.99.30 and 10.1.5.10, the *maximum gross floor area* for a *Group Home* shall be 760.0 m²
- e) For a *Group Home* and any *Dwelling Unit*, a central air conditioning system shall be provided.

[ZDM 7; ZNG/7353]

- IV. THAT Zoning By-law 8600 **BE FURTHER AMENDED** by changing the zoning of Lots 17 to 30, Plan 649 (PIN 01180-0194 LT), situated at the southeast corner of Hanna Street East and Mercer Street from MD1.2 to RD3.2x(22).
- V. THAT Lots 17 to 30, Plan 649, (PIN 01180-0194 LT), **BE CLASSIFIED** as a Class 4 area pursuant to the "Environmental Noise Guideline - Stationary and Transportation Sources - Approval and Planning (NPC-300)".
- VI. THAT, at the discretion of the City Planner, Deputy City Planner, or Site Plan Approval Officer, the following **BE SUBMITTED** with an application for Site Plan Approval:
- a. Functional Servicing Report, prepared by Dillon Consulting, dated October 2025 (Reference File No. 24-8715).
 - b. Noise Impact Study, prepared by Dillon Consulting, dated June 2025 (Reference File No. 24-8715).
 - c. Planning Justification Report, prepared by Dillon Consulting, dated December 2025.
 - d. Stage 1-2 Archaeological Assessment, prepared by Haruta Archaeology, dated April 8, 2025 (Reference File No. PIF P1131-0111-2025), with letter from the Ministry of Citizenship and Multiculturalism, dated May 14, 2025 (Reference File No. 0023357).
- VII. THAT the Site Plan Approval Officer **BE DIRECTED** to incorporate the following, subject to any updated information, into an approved site plan and executed and registered site plan agreement:
- a. Noise Mitigation Measures identified in the Noise Impact Study, prepared by Dillon Consulting, dated June 2025 (Reference File No. 24-8715).

- VIII. THAT the Site Plan Approval Officer **CONSIDER** the following matters in an approved site plan and/or executed and registered site plan agreement:
- a. General and Special Provisions identified in the Engineering Department's comments included under Appendix "F".
 - b. Record of Site Condition.
 - c. Required Drawing Revisions identified in the Engineering Department's comments included under Appendix "F".

Executive Summary:

N/A

Background:

Application Information:

Location: 0 Mercer Street
(Lots 17 to 30, Plan 649; Roll No. 030-480-09400; PIN No. 01180-0194 LT)

Ward: 3

Planning District: South Central

Zoning District Map: 7

Owner: LRU Leasing Inc. (Elizabeth Musyj)

Applicant: Same as Owner

Authorized Agent: Dillon Consulting Limited (Amy Farkas)

Proposal:

The applicant requests an amendment to the Official Plan to add a Special Policy Area within the Mixed-Use Corridor land use designation, allowing a Group Home as an additional permitted use and a Mixed-Use Corridor development a maximum building height of no more than five storeys (18.0 metres).

The applicant is requesting an amendment to Zoning By-law 8600 to change the zoning for the lands located on the southeast corner of Hanna Street East and Mercer Street, known municipally as 0 Mercer Street (the subject property), from Manufacturing District 1.2 (MD1.2) to Residential District 3.2 (RD3.2) with a zoning exception to allow a two-storey Group Home and a five storey, 60-unit Multiple Dwelling with an 80-space parking area.

The zoning exception is requested to increase the maximum gross floor area for a Group Home, reduce the maximum main building height for a Multiple Dwelling, and establish minimum interior side-yard width and rear-yard depth provisions.

The applicant also requests that Council confirm the subject property as a Class 4 area per the "Environmental Noise Guideline - Stationary and Transportation Sources -

Approval and Planning (NPC-300)", as recommended by the Noise Impact Study submitted with these applications.

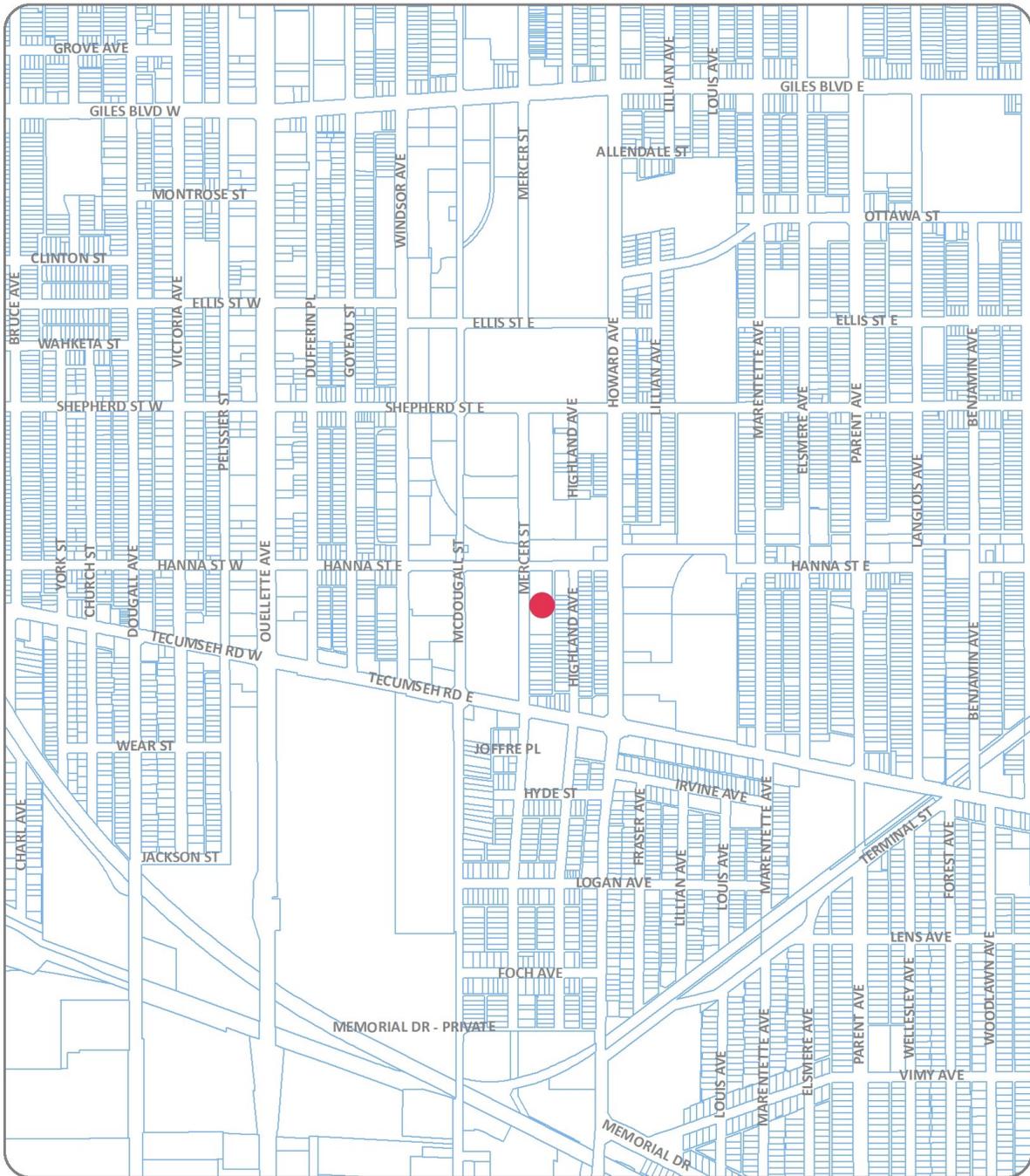
Submitted Information: Deed, Functional Servicing Report, Noise Impact Study, Official Plan Amendment Application, Planning Justification Report (includes Conceptual Plans and Renderings), Stage 1-2 Archaeological Assessment with Ministry of Citizenship and Multiculturalism Letter, and Zoning By-law Amendment Application

All submitted information (except the Deed) is available on the City's [Current Development Applications webpage](#), referencing the file number and municipal address.

Site Information:

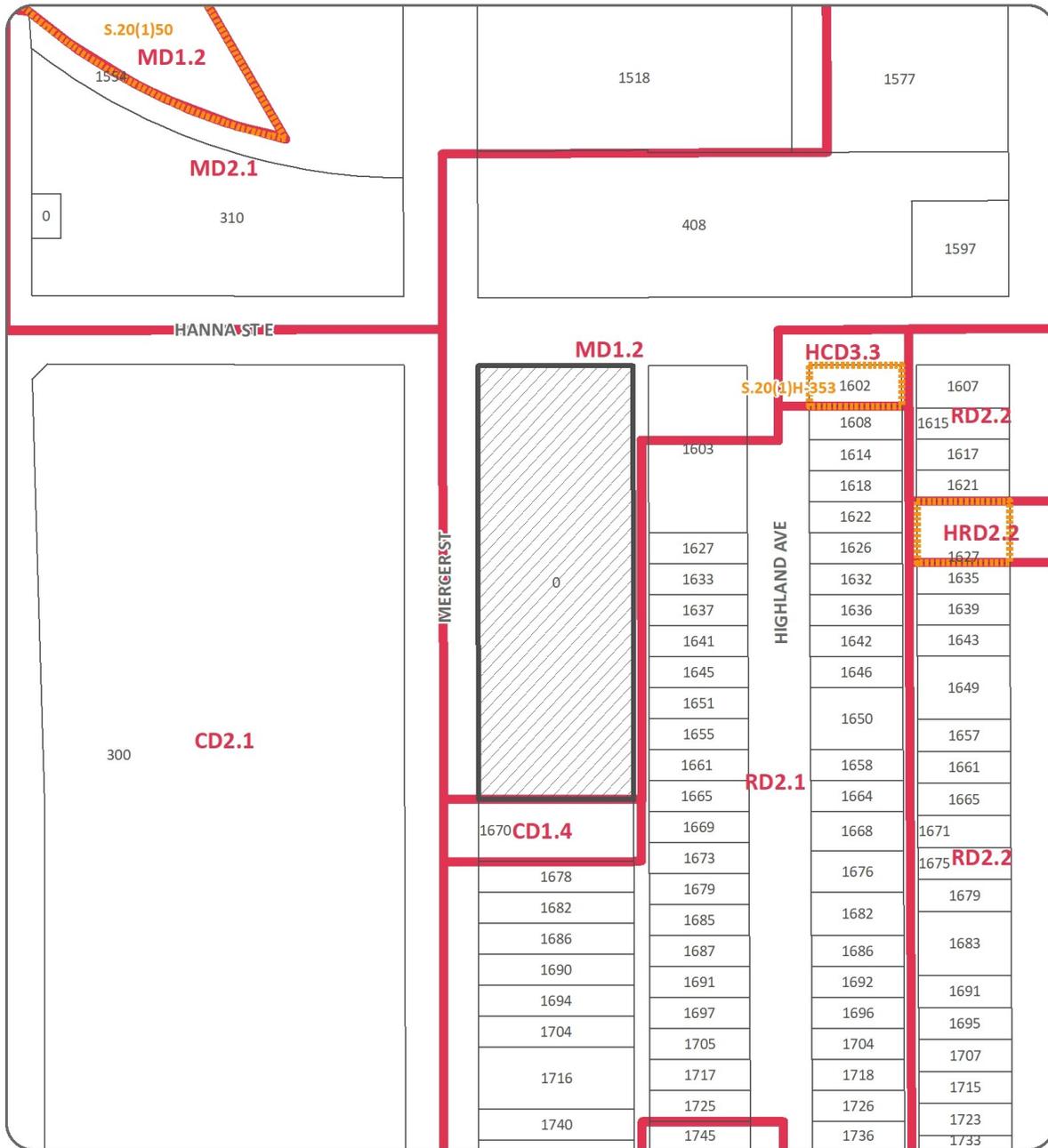
Official Plan	Zoning	Current Use	Previous Use
Mixed-Use Corridor	Manufacturing District 1.2 (MD1.2)	Parking Area	Chrysler Corporation of Canada Limited Steel Chassis Storage
Lot Width	Lot Depth	Lot Area	Lot Shape
45.7 m	128.0 m	5,852.9 m ²	Rectangular
<i>Measurements per Registered Plan 649</i>			

A parking area occupies the subject property.



KEY MAP - Z-002-26 [ZNG-7353] & OPA 200 [OPA-7354] 

 SUBJECT LANDS



PART OF ZONING DISTRICT MAP 7

N.T.S.

REQUESTED ZONING AMENDMENT

Applicant: LRU Leasing Inc.

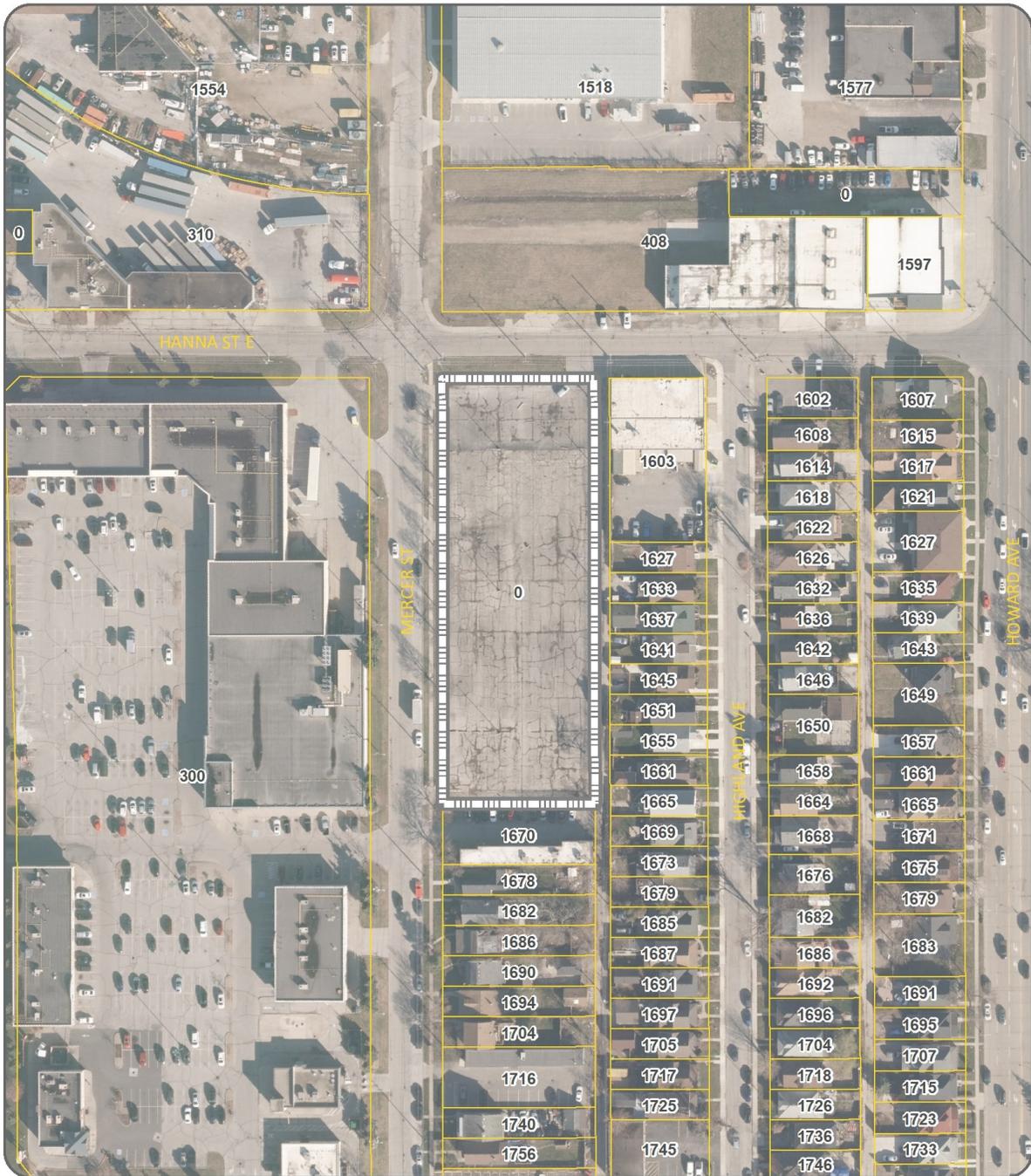


SUBJECT LANDS

PLANNING & BUILDING DEPARTMENT



DATE : JANUARY, 2026
FILE NO. : Z-002/26, ZNG/7353



NEIGHBOURHOOD MAP - Z-002-26 [ZNG-7353] &
 OPA 200 [OPA-7354]



SUBJECT LANDS

Neighbourhood Characteristics:

The subject property sits on the eastern side of the South Central neighbourhood. The South Central neighbourhood constitutes the area north of the Canadian Pacific Railway and Essex Terminal Railway corridors, east of the Canadian Pacific Railway corridor, south of Erie Street East/West and west of Howard Avenue.

Surrounding Land Uses:

North	<ul style="list-style-type: none">• Food Processing Facility• James L. Dunn Public School• Manufacturing Facility• Print Shop• Small-scale forms of low-profile dwellings• Wigle Park
East	<ul style="list-style-type: none">• Automobile Repair Garage• Gignac Park• St. Angela Catholic Elementary School• Small-scale forms of low-profile dwellings
South	<ul style="list-style-type: none">• Catholic Central High School• Convenience store• Business Offices• Honourable W.C. Kennedy Collegiate• Jackson Park• Medical Office• Optimist Community Centre• Restaurants• Retail Stores• Small-scale forms of low-profile dwellings• W.F. Chisholm Branch Library
West	<ul style="list-style-type: none">• Major Commercial Centre (Plaza 300)• Medical Offices• Mitchell Park• Queen Victoria Public School• Retail Store

Municipal Infrastructure:

	Rural Cross Section	Curbs & Gutters	Lanes	Sidewalks (One Side)	Sidewalks (Both Sides)	Streetlights (One Side)	Streetlights (Both Sides)	On-street Parking	Combined Sewer	Sanitary Sewer	Storm Sewer	Watermain	Hydro
Hanna St E		x	2	x		x		x	x		x	x	x
Mercer St		x	2	x		x		x	x		x	x	x

Discussion:

The defined role of the Provincial Planning Statement, 2024 (the "PPS") is to provide *"policy direction on matters of provincial interest related to land use planning and development. As a key part of Ontario's policy-led planning system, the PPS sets the policy foundation for regulating the development and use of land province-wide, helping achieve the provincial goal of meeting the needs of a fast-growing province while enhancing the quality of life for all Ontarians."*

Appendix C lists policies of the PPS that are considered relevant in discussing provincial interests related to this amendment.

The Planning Department found this amendment to be consistent with the above policies.

Official Plan

Appendix C provides relevant excerpts from Volume I of the Official Plan. The following policies from these excerpts are considered appropriate in discussing this amendment's conformity with the Official Plan.

Table 1 - Volume I Schedules

Schedule	Designation
Schedule A - Planning Districts & Policy Areas	South Central
Schedule A-1 - Special Policy Areas	N/A
Schedule B - Greenway System	N/A
Schedule C - Development Constraints	N/A
Schedule C-1 - Archaeological Potential	Archaeological Potential Zone
Schedule D - Land Use	Mixed-Use Corridor
Schedule E - City Centre Planning District	N/A

Schedule F - Roads & Bikeways	N/A
Schedule F-1 - Railways	N/A
Schedule G - Civic Image	N/A
Schedule H - Baseplan Development Phasing	N/A
Schedule J - Urban Structure Plan	N/A
Schedule K - Source Water Protection Areas	N/A

Volume I

Chapter 3 - Development Strategy

This amendment complies with the following applicable key policy direction for managing growth consistent with the Vision of the City of Windsor Community Strategic Plan.

3.2 - Growth Concept

3.2.1 - Safe, Caring and Diverse Communities

Encouraging a range of housing types will ensure that people have an opportunity to live in their neighbourhoods as they pass through the various stages of their lives. Residents will have a voice in how this new housing fits within their neighbourhood. As the City grows, more housing opportunities will mean less sprawl onto agricultural and natural lands (Policy 3.2.1.2).

Chapter 5 - Environment:

5.4 Environmental Management

5.4.5 Noise and Vibration Policies

5.4.5.1 Regard for Noise & Vibration

Applicants proposing developments that introduce sensitive land uses in proximity to existing noise or vibration sources shall evaluate potential negative impacts.

5.4.5.2 Require Study

Where a proposed development could be subject to noise or vibration, the applicant shall submit a noise study satisfactory to the Municipality, in accordance with the Procedures chapter of this Plan.

The applicant has submitted a Noise Impact Study to demonstrate that the proposed development may proceed while protecting sensitive land uses from unacceptable noise levels associated with nearby industrial operations.

The Noise Impact Study has been considered and supported in this report.

5.4.5.3 Abatement Measures & 5.4.5.4 Implementation

The Noise Impact Study identified the following mitigation measures, as set out in the NPC-300 document, to ensure that indoor sound levels comply with the limits therein.

- Class 4 area designation
 - NPC-300 has four area classifications:
 - Class 1 - Urban,
 - Class 2 - Rural/Urban,
 - Class 3 - Rural, and
 - Class 4 - Infill (Area that would otherwise be defined as Class 1 or 2, and which:
 - is an area intended for development with new noise-sensitive land use(s) that are not yet built;
 - is in proximity to existing, lawfully established stationary source(s); and
 - has formal confirmation from the land use planning authority with the Class 4 area classification, which is determined during the land use planning process.
 - The Class 4 area classification alleviates some of the noise burden from the proximate noise-generating industry making it easier for industry to remain in compliance with MECP requirements while also allowing municipalities to achieve sensitive infill development goals in accordance with their land use policies in proximity to industrial uses.
 - The Planning Department recommends that the Council confirm the subject property as a Class 4 area.
 - The Planning Department recommends that the Site Plan Approval Officer incorporate a special provision into the registered site plan agreement requiring the Owner to demonstrate compliance with the mitigation measures outlined in the Noise Impact Study by submitting, with the building permit application, detailed drawings, plans, specifications, or other supporting documentation that satisfy the Chief Building Official.
- A Group Home and Multiple Dwelling Units shall include a central air conditioning system.
 - The Planning Department recommends that the zoning exception include a provision requiring that a Group Home and Multiple Dwelling Units include a central air conditioning system.
- Type C (Section C8.1 Transportation Sources), and Type E and Type F: Warning Clauses (Section C8.2 Stationary Sources)

- The Planning Department recommends that the Site Plan Approval Officer incorporate the above Warning Clauses into an approved site plan and executed and registered site plan agreement.

Chapter 6 - Land Use:

6.1 Goals

Appendix D identifies the Goals with which this amendment conforms.

6.5 Commercial

6.5.1 Objectives

Appendix D identifies the Objectives with which this amendment conforms.

6.5.3 Mixed Use Corridor

Permitted Uses (Policy 6.5.3.1)

Medium-profile residential uses, including a 60-unit multiple dwelling, are permitted uses.

A Group Home is not permitted. The requested and recommended Special Policy Area will include a policy allowing a Group Home.

The subject property is suitable for use as a Group Home given its proximity to medical offices, parks, personal service shops, places of worship, public halls, public transit, restaurants, and retail stores (including a grocery store). A Group Home is also similar in scale and character to the abutting low-profile dwelling units to the east and south.

Street Presence

Council will encourage Mixed-Use Corridor development to provide a continuous street frontage and presence. Accordingly, development along a Mixed-Use Corridor shall be: (Policy 6.5.3.3)

- *(a) no more than four storeys in height, except on lands at an intersection of any combination of the following roads: Class I Arterial Road, Class II Arterial Road, Class I Collector Road, or Class II Collector Road. The height of buildings shall generally not exceed the width of the road right-of-way abutting the development site;*
 - Refer to the response to Official Plan Policy 6.5.3.3(b) below.
- *(b) Notwithstanding the identified maximum building height, Council may consider additional height, where Council is satisfied that the proposed height achieves compatible development, and where appropriate transitions to abutting lower scale development are established. Appropriate transitions may be achieved through the implementation of regulatory techniques including, but not limited to new height limitations, enhanced building setbacks and step backs, enhanced landscape buffers and planting requirements and/or the*

implementation of an angular plane. Permissions for taller buildings may be established through a site-specific Zoning By-Law Amendment.

- The requested and recommended Special Policy Area includes a policy permitting a maximum building height of 18.0 metres for a medium-profile residential use.
- The requested and recommended zoning exception includes the following provisions to support the aforementioned building height:
 - Minimum rear yard depth of 23.8 metres from the south lot line.
 - A business office at 1670 Mercer Street sits between the subject property and the low-profile dwellings to the south, providing an additional 18.3 metres of separation.
 - The proposed development achieves a total separation of 42.1 metres from the nearest residential property.
 - Minimum side yard width of 20.8 metres from the east lot line.
 - An alley separates the subject property from the low-profile dwellings to the east, providing an additional 4.6 metres of separation.
 - The proposed development achieves a total separation of 25.4 metres from the nearest residential property.
- Dillon Consulting Limited conducted a shadow analysis to demonstrate that the location and height of the proposed Multiple Dwelling will not cause undue shading of the private outdoor amenity areas of the neighbouring small-scale low-profile dwellings. The shadow analysis concluded that the proposed building height, in conjunction with the requested minimum rear yard depth and side yard width, results in a negligible impact. The Planning Justification Report incorporates the findings of the shadow analysis. The shadow analysis has been considered and is supported.
 - Typical parameters for a shadow analysis are as follows:
 - The spring/fall, summer and winter solstices are the dates used for data collection.
 - Shadows cast on the no-impact zone [7.5 metres from the rear wall of a dwelling that abuts the amenity area (rear yard)] should be no more than two hours up to 1.5 hours after sunrise and 1.5 hours before sunset.
 - The shadow analysis used the winter and summer solstices.
 - The Planning Department reviewed the spring/fall, summer, and winter solstices. It concluded that shadows cast on the no-impact zone occur only during the afternoon and evening hours and meet the aforesaid criteria.

- Under the MD1.2 zoning, a building with a maximum height of 14.0 metres may be constructed along the east and rear lot lines, resulting in shadows exceeding the aforesaid criteria.
 - The completion of a Landscape Plan, prepared by a landscape architect registered with the Ontario Association of Landscape Architects (OALA), to the satisfaction of the City's Landscape Architect, will be a condition of Site Plan Approval.
- *(c) Encouraged to locate the buildings at the street frontage lot line with parking accommodated at the rear of the site.*
 - The Group Home and Multiple Dwelling are setback 6.0 metres from the lot line bordering Mercer Street.
 - This setback maintains consistency with the established built line south of the subject property.
 - This setback provides the ground-floor dwelling units with adequate separation from Mercer Street.
 - 6.0 metres is the typical minimum front yard depth under the Residential Zoning Districts of Zoning By-law 8600.
 - The Group Home is setback 7.50 metres from the lot line bordering Hanna Street East.
 - This setback provides adequate separation from Hanna Street East and greater separation from the industrial uses to the north.
 - This setback also accommodates the 6.0-metre by 6.0-metre sight triangle at the intersection of Hanna Street East and Mercer Street.

Locational Criteria

New residential development and intensification shall be located where: (Policy 6.5.3.6)

- *(a) there is access to Class I or Class II Arterial Roads or Class I Collector Roads;*
 - The subject property is within approximately 110.0 metres of Howard Avenue, a Class II Arterial Road, 130.0 metres of McDougall Street, a Class I Collector Road and 140 metres of Tecumseh Road East, a Class II Arterial Road.
- *(b) full municipal physical services can be provided; and*
 - Full municipal physical services are available to the subject property.
 - Refer to the Municipal Infrastructure section herein for specifics.

Evaluation Criteria

At the time of submission, the proponent shall demonstrate to the satisfaction of the Municipality that a proposed commercial mixed use corridor development is: (Policy 6.5.3.7)

- *(a) feasible having regard to the other provisions of this Plan, provincial legislation, policies and appropriate guidelines and support studies for uses:*
 - *(ii) within a site of potential or known contamination;*
 - The Chrysler Corporation of Canada Limited used the subject property to store steel chassis from approximately 1952 to 1969.
 - The proposed residential development represents a change to a more sensitive land use. It therefore requires the filing of a Record of Site Condition with Ontario's Ministry of the Environment, Conservation and Parks before any building permits can be issued.
 - *(iii) where traffic generation and distribution is a provincial or municipal concern; and*
 - The Transportation Planning Department did not identify any concerns with traffic generation and distribution associated with the proposed development.
- *(c) capable of being provided with complete municipal physical services and emergency services;*
 - Refer to the response provided to Official Plan Policy 6.5.3.6(b) and Municipal Infrastructure section herein for details on the municipal physical services available to the subject property.
 - Essex-Windsor EMS, Windsor Fire & Rescue Services (Fire Hall No. 1) and Windsor Police Service serve the Subject Property.
- *(d) provided with adequate off-street parking;*
 - The proposed development will accommodate the required number of on-site parking spaces.
- *(e) compatible with the surrounding area in terms of scale, massing, height, siting, orientation, setbacks, parking and landscaped areas; and*
 - These amendments will allow development compatible with the established built environment in the surrounding neighbourhood.

Characteristic	Commentary
Scale	<ul style="list-style-type: none"> - The surrounding neighbourhood exhibits a diverse land-use pattern, with industrial uses to the north, small-scale low-profile residential dwellings interspersed with small-scale commercial uses to the east and south, and a varied range of commercial developments to the west. - The proposed Group Home and Multiple Dwelling will compliment the existing scale of the neighbourhood. - The Multiple Dwelling will also serve as a sound and visual barrier to the adjacent small-scale low-profile residential dwellings from the commercial and industrial uses to the north

	and west.
Massing	- Refer to the response provided to the Scale section above
Height	- Refer to the responses provided to Official Plan Policy 6.5.3.3(b) herein and the Scale section above.
Siting	- Refer to the response provided to Official Plan Policy 6.5.3.3(c) herein.
Orientation	- The Group Home and Multiple Dwelling are proposed to be oriented south towards Mercer Street, similar to the other residential uses within the block.
Setbacks	- Refer to the response provided to Official Plan Policy 6.5.3.3(c) herein.
Parking	- Refer to the response provided to Official Plan Policies 6.5.3.7(d) and 6.5.3.8(b) (i) herein.
Amenity Areas	- The Landscape Plan will incorporate amenity areas into the site layout. - The RD3.2 zoning requires a minimum of 35.0% of the lot area to be landscaped open space yard.

Design Guidelines

The following guidelines shall be considered when evaluating the proposed design of a Mixed-Use Corridor development: (Policy 6.5.3.8)

- *(a) the ability to achieve the associated policies as outlined in the Urban Design chapter of this Plan;*
 - Refer to the responses provided to the Official Plan Policies listed under Chapter 8: Urban Design herein.
- *(b) the provision of appropriate landscaping or other buffers to enhance:*
 - *(i) all parking lots, and outdoor loading and service areas; and*
 - The completion of a Landscape Plan, prepared by a landscape architect registered with the Ontario Association of Landscape Architects (OALA), to the satisfaction of the City's Landscape Architect, will be a condition of Site Plan Approval.
 - *(ii) the separation between the use and adjacent sensitive uses, where appropriate;*
 - Refer to the response provided to Official Plan Policies 6.5.3.3(b) and 6.5.3.8(b) (i) herein.
- *(c) as a general rule, the height of buildings are consistent with the height of buildings which characterize the Mixed Use Corridor Commercial Corridor. Where Council deems it desirable that higher profile development be permitted in*

an existing Mixed Use Corridor Commercial Corridor, the development should be built at a human scale by utilizing one or both of the following measures:

- *(ii) setting back the upper floors of building(s) from the street to avoid overpowering effects at-grade;*
 - Refer to the response provided to Official Plan Policy 6.5.3.3(c) herein.
- *(d) where possible, parking is located in the rear of the property to encourage continuous building facades adjacent to the street; and*
 - The development locates the parking area at the rear and side of the Group Home and Multiple Dwelling.
- *(e) measures are taken in site design which provide for ease of access for pedestrians between the public sidewalk and building main entrances in a manner which is distinguishable from access provided for vehicles.*
 - The Site Plan Approval stage of the development process will evaluate pedestrian connections between the public and private realms and on-site circulation.

Site Plan Control

Council shall require all development within areas designated as Mixed Use Corridor to be subject to site plan control, with the exception of Public Open Space uses. (Policy 6.5.3.9)

The issuance of Site Plan Approval, the execution of a Site Plan Agreement, and the fulfillment of certain conditions of Site Plan Approval are prerequisites for the issuance of any building permits.

Neighbourhood Involvement

Council will encourage the improvement of areas designated as Mixed Use Corridor Commercial Corridor to be undertaken in consultation with the surrounding neighbourhood. (Policy 6.5.3.11)

Refer to the Consultation section of this report herein.

Chapter 8 - Urban Design:

8.7 Built Form

8.7.2 Policies

Infill Development

Council will ensure that proposed development within an established neighbourhood is designed to function as an integral and complementary part of that area's existing development pattern by having regard for: (Policy 8.7.2.3)

- (a) *massing*;
 - Refer to the responses provided to Official Plan Policy 6.5.3.7(e) herein.
- (b) *building height*;
 - Refer to the responses provided to Official Plan Policy 6.5.3.3(b) herein.
- (d) *volumes of defined space*;
 - Refer to the responses provided to Official Plan Policy 6.5.3.7(e) herein.
- (e) *lot size*;
 - The size of the subject property is appropriate for the proposed development.
 - The proposed development will comply with the minimum lot frontage, lot area and landscaped open space yard provisions of the RD3.2 zoning.
 - The proposed development will comply with the maximum lot coverage and dwelling unit density provisions of the RD3.2 zoning.
- (f) *position relative to the road; and*
 - Refer to the response provided to Official Plan Policy 6.5.3.3(c) herein.
- (g) *building area to site area ratios*.
 - The building area to site area ratio of the surrounding neighbourhood ranges from approximately 1:5 (20.0% lot coverage) to 3:5 (60.0% lot coverage).
 - The proposed development has a building area to site area ratio of approximately 1:4 (25.0% lot coverage).
 - The RD3.2 zoning permits a maximum building area to site area ratio of 7:20 (35.0% lot coverage).
- (h) *the pattern, scale and character of existing development; and*,
 - Refer to the response provided to Official Plan Policy 6.5.3.7(e) herein.
- (j) *Council adopted Design Guidelines that will assist in the design and review of applications for development in accordance with the policies noted above*.
 - The evaluation of the applicable Official Plan policies considered the City of Windsor Intensification Guidelines referenced herein.

Transition in Building Heights

Council will ensure a transition among Very High, High, Medium and Low-Profile developments through the application of such urban design measures as incremental

changes in building height, massing, space separation or landscape buffer. (Policy 8.7.2.4)

- Refer to the response provided to Official Plan Policy 6.5.3.3(b) herein.

8.11 Streetscape

8.11.2 Policies

Partial Screening of Parking Lots

Council will encourage the partial screening of surface parking lots through the use of low fences, walls, berms and other landscape elements, and through the location of lots away from street view, while still permitting views for orientation and safety (Policy 8.11.2.19)

- Refer to the response provided to Official Plan Policy 6.5.3.8(b) (i) herein.

Location of Surface Parking Lots

Council will encourage parking lots that avoid large expanses fronting the road. (Policy 8.11.2.21)

- Refer to the response provided to Official Plan Policy 6.5.3.8(b) (i) herein.

Chapter 11 - Tools:

The City aims to achieve land use compatibility throughout Windsor when administering any planning tool under this Chapter. Compatibility between land uses is also an objective of the Zoning By-law Amendment planning tool (Policy 11.6.1.2).

Council considers applicable policies, evaluation criteria, supporting studies, staff and agency comments, relevant provincial legislation and guidelines, and potential impacts on adjacent or similar lands when reviewing Zoning By-law amendment applications (Policy 11.6.3.3).

Zoning By-Law

Appendix E includes relevant excerpts from Zoning By-law 8600.

The subject property is in an MD1.2 zone under Zoning By-law 8600, which does not permit group home or multiple-dwelling uses.

The applicant requests an amendment to Zoning By-law 8600 to change the zoning of the subject property to RD3.2, subject to a zoning exception permitting a two-storey Group Home and a five-storey, 60-unit Multiple Dwelling, with an 80-space parking area.

The zoning exception is requested to increase the maximum gross floor area for a Group Home from 400.0 m² to 760.0 m², reduce the maximum main building height for a

Multiple Dwelling from 24.0 metres to 18.0 metres, and establish minimum interior side-yard width and rear-yard depth provisions of 20.8 metres and 23.8 metres, respectively.

The applicant has submitted a Planning Justification Report in support of the requested amendment. The Planning Justification Report has been considered and supported in this report, in conjunction with the provisions recommended by the Planning Department herein.

No other zoning deficiencies have been identified or supported.

A draft amending by-law is attached as Appendix H. Subsection 24 (1) of the *Planning Act*, R.S.O. 1990, c. P.13, prohibits a by-law from being passed that does not conform with the Official Plan. As discussed through the Official Plan section herein, the proposed amendment conforms to the applicable policies of the Official Plan.

Risk Analysis:

N/A

Climate Change Risks

Climate Change Mitigation:

Residential intensification minimizes the community's greenhouse gas emissions. Development within existing communities and neighbourhoods, while using existing infrastructure such as sewers, sidewalks, and public transit, helps mitigate development impacts.

Situating development in areas with access to active transportation and transit increases the likelihood that residents will use non-vehicular modes of transportation, thereby collectively reducing greenhouse gas emissions in the City of Windsor.

Climate Change Adaptation:

Climate change may affect the new building, particularly through increased extreme precipitation and more days with temperatures above 30 °C. Although this report does not address these issues in detail, any new construction must comply with the current provisions of the Building Code, which the building permit process will enforce. The project must also incorporate best practices for stormwater management.

Financial Matters:

N/A

Consultations:

City Departments, external agencies, and members of the public provided comments on the application, which informed the preparation of this report. Appendix F contains a record of the comments received.

There are no objections to the proposed amendment.

The applicant hosted an in-person public open house at the Giovanni Caboto Club (2175 Parent Avenue), and a virtual open house from Dillon Consulting's offices on Wednesday, May 21, 2025, from 5:30 PM to 7:00 PM.

Section 3.5.3 of the Planning Justification Report summarizes the comments and questions, along with their corresponding responses.

Comments received were taken into consideration when preparing this report.

The City published a statutory notice in the Windsor Star, a local daily newspaper, and mailed a courtesy notice to property owners and residents within 200 metres of the subject property.

Conclusion:

The Planning Act requires that a decision of Council in respect of the exercise of any authority that affects a planning matter, "shall be consistent with the Provincial Planning Statement 2024. The Planning Department evaluated the recommended zoning amendment to ensure it is consistent with the Provincial Planning Statement 2024 and complies with the City of Windsor Official Plan.

The recommended Zoning By-law and Official Plan amendments are consistent with the PPS, conform to the City of Windsor Official Plan's policy direction, are compatible with existing and permitted uses in the surrounding neighbourhood, and constitute good planning.

Planning Act Matters:

Brian Nagata



Brian Nagata, MCIP, RPP
Planner III - Development (A)

I concur with the above comments and the Registered Professional Planner's opinion.

Greg Atkinson, MCIP, RPP
Deputy City Planner - Development

Neil Robertson, MCIP, RPP
City Planner

I am not a Registered Professional Planner and have reviewed as a Corporate Team Leader

JP RM

Approvals:

Name	Title
Brian Nagata	Planner III - Development (A)
Greg Atkinson	Deputy City Planner - Development

Name	Title
Aaron Farough	Senior Legal Counsel, Legal & Real Estate
Neil Robertson	City Planner
Jelena Payne	Deputy CAO/Commissioner, Economic Development
Jelena Payne	On behalf of the Chief Administrative Officer

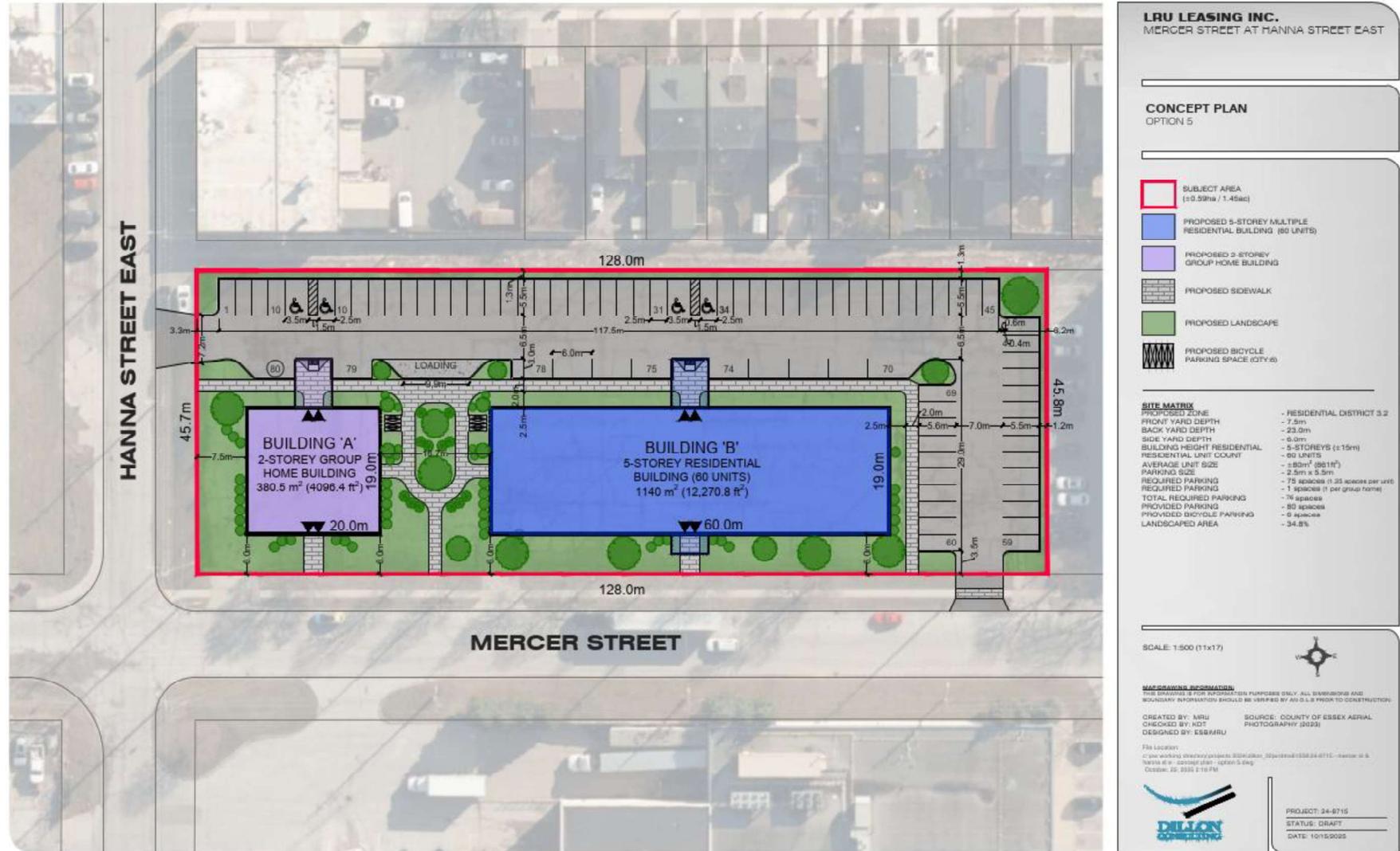
Notifications:

N/A

Appendices:

- 1 Appendix A - Conceptual Plans
- 2 Appendix B - Site Images
- 3 Appendix C - Excerpts from PPS 2024
- 4 Appendix D - Excerpts from Official Plan
- 5 Appendix E - Excerpts from Zoning By-law 8600
- 6 Appendix F - Consultations
- 7 Appendix G - Draft OPA 200
- 8 Appendix H - Draft Amending By-law

Figure 4: Conceptual Development Plan



APPENDIX "B"
Site Photos
(Google Street View - June 2025)



Figure 1 - Looking south towards the subject property from the intersection of Hanna Street East and Mercer Street



Figure 2 - Looking north towards the subject property from Mercer Street (1670 Mercer Street on the right)



Figure 3 - Looking south towards the subject property from Hanna Street East (alley on the left)

APPENDIX “C”

Excerpts from Provincial Planning Statement 2024 (PPS)

Chapter 2: Building Homes, Sustaining Strong and Competitive Communities

2.1 Planning for People and Homes

6. Planning authorities should support the achievement of complete communities by:
 - a. accommodating an appropriate range and mix of land uses, housing options, ... to meet long-term needs;
 - b. improving accessibility for people of all ages and abilities by addressing land use barriers which restrict their full participation in society; and
 - c. improving social equity and overall quality of life for people of all ages, abilities, and incomes, including equity-deserving groups.

2.2 Housing

1. Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by:
 - a. permitting and facilitating:
 1. all housing options required to meet the social, health, economic and wellbeing requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities; and
 2. all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units in accordance with policy 2.3.1.3;
 - b. promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation; and
 - c. requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations.

2.3 Settlement Areas and Settlement Area Boundary Expansions

2.3.1 General Policies for Settlement Areas

1. Settlement areas shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, strategic growth areas, including major transit station areas.
2. Land use patterns within settlement areas should be based on densities and a mix of land uses which:
 - a. efficiently use land and resources;
 - b. optimize existing and planned infrastructure and public service facilities;
 - c. support active transportation;
 - d. are transit-supportive, as appropriate; and
3. Planning authorities shall support general intensification and redevelopment to support the achievement of complete communities, including by planning for a range and mix of housing options and prioritizing planning and investment in the necessary infrastructure and public service facilities.

2.9 Energy Conservation, Air Quality and Climate Change

1. Planning authorities shall plan to reduce greenhouse gas emissions and prepare for the impacts of a changing climate through approaches that:
 - a. support the achievement of compact, transit-supportive, and complete communities;

Chapter 3: Infrastructure and Facilities

3.5 Land Use Compatibility

1. Major facilities and sensitive land uses shall be planned and developed to avoid, or if avoidance is not possible, minimize and mitigate any potential adverse effects from odour, noise and other contaminants, minimize risk to public health and safety, and to ensure the long-term operational and economic viability of major facilities in accordance with provincial guidelines, standards and procedures.
2. Where avoidance is not possible in accordance with policy 3.5.1, planning authorities shall protect the long-term viability of existing or planned industrial, manufacturing or other major facilities that are vulnerable to encroachment by ensuring that the planning and development of proposed adjacent sensitive land uses is only permitted if potential adverse affects to the proposed sensitive land use are minimized and mitigated, and potential impacts to industrial, manufacturing or other major facilities are minimized and mitigated in accordance with provincial guidelines, standards and procedures.

3.6 Sewage, Water and Stormwater

2. Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas to support protection of the environment and minimize potential risks to human health and safety. For clarity, municipal sewage services and municipal water services include both centralized servicing systems and decentralized servicing systems.

Chapter 4: Wise Use and Management of Resources

4.6 Cultural Heritage and Archaeology

2. Planning authorities shall not permit development and site alteration on lands containing archaeological resources or areas of archaeological potential unless the significant archaeological resources have been conserved.

APPENDIX “D”

Excerpts from the Official Plan

3 Development Strategy

3.2 Growth Concept

3.2.1 Safe, Caring and Diverse Community

*NEIGHBOURHOOD
HOUSING VARIETY*

- 3.2.1.2 Encouraging a range of housing types will ensure that people have an opportunity to live in their neighbourhoods as they pass through the various stages of their lives. Residents will have a voice in how this new housing fits within their neighbourhood. As the city grows, more housing opportunities will mean less sprawl onto agricultural and natural lands.

5. Environment

5.4 Environmental Management

5.4.5 Noise and Vibration Policies

*REGARD FOR
NOISE &
VIBRATION*

- 5.4.5.1 Council shall require the proponent of development in proximity to existing or proposed sources of noise and vibration, or the proponent of development that may be a source of noise or vibration, to evaluate the potential negative impacts of such noise and vibration on the proposed future land use. In determining the exact distances for the application of this policy, the Municipality shall have regard to provincial legislation, policies and appropriate guidelines.

(Amended by OPA 43 – 06/13/2006 – OMB Order 1695)

*REQUIRE
STUDY*

- 5.4.5.2 If a proposed development is expected to be subject to noise or vibration, or to cause noise or vibration, the proponent shall be required to complete a noise and/or vibration study to the satisfaction of the Municipality to support the feasibility of the proposal in accordance with the Procedures chapter of this Plan.

(Amended by OPA 43 – 06/13/2006 – OMB Order 1695)

*ABATEMENT
MEASURES*

- 5.4.5.3 Abatement measures may include one or more of the following, depending on the physical characteristics of the specific location and the source of the noise and/or vibration:

- (a) increased setbacks from the noise or vibration source;
- (b) sound barriers such as landscaped berms, walls, buildings, and fences;
- (c) building design, including specific attention to height, massing, internal layout and fenestration;
- (d) building construction, including materials for acoustical and/or vibration insulation, glaze or ventilation;
- (e) registered notice on title of possible excessive noise and/or vibration, and;
- (f) any other appropriate attenuation measures.

IMPLEMENTATION 5.4.5.4
N

Council shall require that appropriate noise and/or vibration abatement measures be implemented by the proponent as a condition of development approval.

6. Land Use

6.1 Goals

In keeping with the Strategic Directions, Council’s land use goals are to achieve:

- | | | |
|------------------------------------|--------|---|
| <i>NEIGHBOURHOODS</i> | 6.1.1 | Safe, caring and diverse neighbourhoods. |
| <i>RESIDENTIAL</i> | 6.1.3 | Housing suited to the needs of Windsor’s residents. |
| <i>RESIDENTIAL INTENSIFICATION</i> | 6.1.14 | To direct residential intensification to those areas of the City where transportation, municipal services, community facilities and goods and services are readily available. (added by OPA #159 – APPROVED July 11, 2022, B/L# 100-2022) |

6.5 Commercial

6.5.1 Objectives

- | | | |
|------------------------------------|---------|--|
| <i>RESIDENTIAL INTENSIFICATION</i> | 6.5.1.8 | To promote residential intensification with Medium and High Profile buildings to meet the housing needs of the City in appropriate areas in proximity to municipal services, transit and employment areas. (Added by OPA #159 – APPROVED July 11, 2022, B/L# 100-2022) |
|------------------------------------|---------|--|

6.5.3 Mixed Use Corridor

The Mixed-Use Corridor land use designation is intended for areas which are designed for vehicle oriented Mixed-Use uses. Mixed-Use Corridors take the form of commercial strips along Arterial and Collector roads within Windsor.

These Mixed Use Corridors are expected to provide people-oriented employment and to accommodate higher density/intensity development, while maintaining a broad mix of land uses that support investment in transit and the achievement of complete communities. (Added by OPA #159 – APPROVED July 11, 2022 , B/L# 100-2022)

PERMITTED USES

6.5.3.1 Uses permitted in the Mixed Use Corridor land use designation are primarily retail, wholesale store (added by OPA 58, 24 07 2006) and service oriented uses and, to a lesser extent, office uses.

Medium and High Profile residential uses either as stand-alone buildings or part of a commercial-residential mixed use buildings shall be throughout the Corridors. (Added by OPA #159 – APPROVED July 11, 2022 , B/L# 100-2022)

STREET PRESENCE

6.5.3.3 Council will encourage Mixed-Use Corridor development to provide a continuous street frontage and presence. Accordingly, development along a Mixed-Use Corridor shall be:

- (a) no more than four storeys in height, except on lands at an intersection of any combination of the following roads: Class I Arterial Road, Class II Arterial Road, Class I Collector Road, or Class II Collector Road. The height of buildings shall generally not exceed the width of the road right-of-way abutting the development site; and
- (b) Notwithstanding the identified maximum building height, Council may consider additional height, where Council is satisfied that the proposed height achieves compatible development, and where appropriate transitions to abutting lower scale development are established. Appropriate transitions may be achieved through the implementation of regulatory techniques including, but not limited to new height limitations, enhanced building setbacks and step backs, enhanced landscape buffers and planting requirements and/or the implementation of an angular plane. Permissions for taller buildings may be established through a site specific Zoning By-Law Amendment.
- (c) Encouraged to locate the buildings at the street frontage lot line with parking accommodated at the rear of the site.

(Added by OPA #159 – APPROVED July 11, 2022 , B/L# 100-2022)

<i>LOCATIONAL CRITERIA</i>	6.5.3.6	<p>Mixed Use Corridor Commercial Corridor development shall be located where:</p> <ul style="list-style-type: none"> (a) there is access to Class I or Class II Arterial Roads or Class I Collector Roads; (b) full municipal physical services can be provided; and
<i>EVALUATION CRITERIA</i>	6.5.3.7	<p>At the time of submission, the proponent shall demonstrate to the satisfaction of the Municipality that a proposed commercial mixed use corridor development is:</p> <ul style="list-style-type: none"> (a) feasible having regard to the other provisions of this Plan, provincial legislation, policies and appropriate guidelines and support studies for uses: <ul style="list-style-type: none"> (ii) within a site of potential or known contamination; (iii) where traffic generation and distribution is a provincial or municipal concern; and (c) capable of being provided with full municipal physical services and emergency services; (d) provided with adequate off-street parking; (e) compatible with the surrounding area in terms of scale, massing, height, siting, orientation, setbacks, parking and landscaped areas; and
<i>DESIGN GUIDELINES</i>	6.5.3.8	<p>The following guidelines shall be considered when evaluating the proposed design of a Mixed Use Corridor Commercial Corridor development:</p> <ul style="list-style-type: none"> (a) the ability to achieve the associated policies as outlined in the Urban Design chapter of this Plan; (b) the provision of appropriate landscaping or other buffers to enhance: <ul style="list-style-type: none"> (i) all parking lots, and outdoor loading and service areas; and (ii) the separation between the use and adjacent sensitive uses, where appropriate; (c) as a general rule, the height of buildings are consistent with the height of buildings which characterize the Mixed Use Corridor Commercial Corridor. Where Council deems it desirable that higher profile development be permitted in an existing Mixed Use Corridor Commercial Corridor, the development should be built at a human scale by utilizing one or both of the following measures:

- (ii) setting back the upper floors of building(s) from the street to avoid overpowering effects at-grade;
 - (d) where possible, parking is located in the rear of the property to encourage continuous building facades adjacent to the street; and
 - (e) measures are taken in site design which provide for ease of access for pedestrians between the public sidewalk and building main entrances in a manner which is distinguishable from access provided for vehicles.
- SITE PLAN CONTROL* 6.5.3.9 Council shall require all development within areas designated as Mixed Use Corridor ~~Commercial Corridor~~ to be subject to site plan control, with the exception of Public Open Space uses.
- NEIGHBOURHOOD INVOLVEMENT* 6.5.3.11 Council will encourage the improvement of areas designated as Mixed Use Corridor ~~Commercial Corridor~~ to be undertaken in consultation with the surrounding neighbourhood.

8. Urban Design

8.7 Built Form

8.7.2 Policies

- INFILL DEVELOPMENT* 8.7.2.3 Council will ensure that proposed development within an established neighbourhood is designed to function as an integral and complementary part of that area's existing development pattern by having regard for:
- (a) massing;
 - (b) building height;
 - (d) volumes of defined space;
 - (e) lot size;
 - (f) position relative to the road; and
 - (g) building area to site area ratios.
 - (h) the pattern, scale and character of existing development; and,

(Added by OPA #66-11/05/07-B/L209-2007)

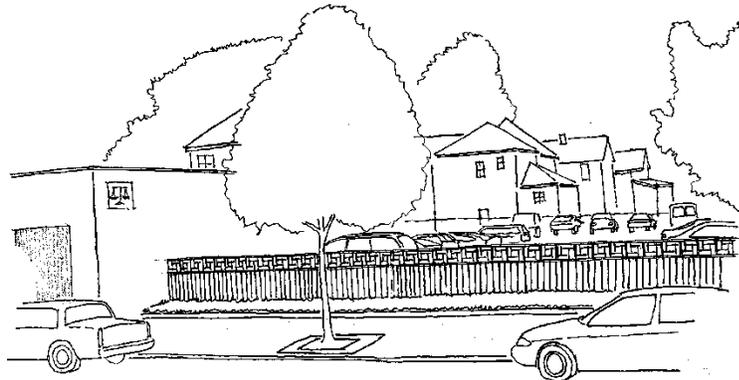
- (j) Council adopted Design Guidelines that will assist in the design and review of applications for development in accordance with the policies noted above. (added by OPA #159 – APPROVED July 11, 2022, B/L# 100-2022)

TRANSITION IN
BUILDING
HEIGHTS

- 8.7.2.4 Council will ensure a transition among Very High, High, Medium and Low Profile developments through the application of such urban design measures as incremental changes in building height, massing, space separation or landscape buffer.

8.11 Streetscape

8.11.2 Policies



LOCATION OF
SURFACE
PARKING LOTS

- 8.11.2.21 Council will encourage parking lots that avoid large expanses fronting the road.

11 Tools

This chapter was amended as part of Official Plan Amendments #84 as part of a 5-year review of the Official Plan. Official Plan Amendment #84 was approved by the Ministry of Municipal Affairs and Housing on 07/09/2012.

11.6 Zoning

A municipality can regulate the use and development of lands, buildings and other structures under the zoning provisions of the *Planning Act*.

11.6.1 Objectives

COMPATIBLE USES

- 11.6.1.2 To ensure compatibility between land uses.

11.6.3 Zoning By-law Amendment Policies

- AMENDMENTS MUST CONFORM* 11.6.3.1 All amendments to the Zoning By-law(s) shall conform with this Plan. The Municipality will, on each occasion of approval of a change to the zoning by-law(s), specify that conformity with the Official Plan is maintained or that the change will be in conformity upon the coming into effect of an amendment to the Official Plan.
- REVIEW PROCEDURE* 11.6.3.2 All applications for Zoning By-law amendments shall be processed in accordance with the provisions of the *Planning Act*, and regulations pursuant thereto, and the procedural requirements of this Plan. In general, after an applicant's pre-application consultation meeting with municipal staff and submission of an application that is determined to be complete, all applications shall: **Added by OPA 65 – 10/22/2007– By-law 192-2007**
- (a) Be circulated to appropriate agencies and those agencies be provided with sufficient time to respond; **Added by OPA 65 – 10/22/2007– By-law 192-2007**
 - (b) Be advertised and be presented to the public and the views of the public ascertained at a public meeting to be held in accordance with the *Planning Act*; and **Added by OPA 65 – 10/22/2007– By-law 192-2007**
 - (c) Be given due and thorough consideration by Council. **Added by OPA 65 – 10/22/2007– By-law 192-2007**
- EVALUATION CRITERIA* 11.6.3.3 When considering applications for Zoning By-law amendments, Council shall consider the policies of this Plan and will, without limiting the generality of the foregoing, consider such matters as the following:
- (a) The relevant evaluation criteria contained in the Land Use Chapter of this Plan, Volume II: Secondary Plans & Special Policy Areas and other relevant standards and guidelines;
 - (b) Relevant support studies;
 - (c) The comments and recommendations from municipal staff and circularized agencies;
 - (d) Relevant provincial legislation, policies and appropriate guidelines; and
 - (e) The ramifications of the decision on the use of adjacent or similar lands.

APPENDIX "E"

Excerpts from Zoning By-law 8600

City of Windsor Zoning By-law 8600

SECTION 5 - GENERAL PROVISIONS

5.99 ADDITIONAL USE PROVISIONS

5.99.30 GROUP HOME

- .1 In any residential district or institutional district, a group home may be a permitted use provided that any building used as a group home shall occupy the whole building and shall comply with the provisions for a single unit dwelling in Section 10.1.5.

[ZNG/5271; ZNG/5389] (B/L 7-2018 Feb 23/2018; B/L 95-2018 Aug 18/2018)

SECTION 10 - RESIDENTIAL DISTRICTS 1. (RD1.)

10.1 RESIDENTIAL DISTRICT 1.1 (RD1.1)

10.1.1 PERMITTED USES

- Existing Duplex Dwelling
- Existing Semi-Detached Dwelling
- One Single Unit Dwelling
- Any use accessory to the preceding uses

10.1.5 PROVISIONS

	Duplex Dwelling	Semi-Detached Dwelling	Single Unit Dwelling
.1 Lot Width – minimum	9.0 m	15.0 m	15.0 m
.2 Lot Area – minimum	360.0 m ²	450.0 m ²	450.0 m ²
.3 Lot Coverage – maximum	45.0%	45.0%	45.0%
.4 Main Building Height – maximum	9.0 m	9.0 m	9.0 m
.5 Front Yard Depth – minimum	6.0 m	6.0 m	6.0 m
.6 Rear Yard Depth – minimum	7.50 m	7.50 m	7.50 m
.7 Side Yard Width – minimum	1.20 m	1.20 m	1.20 m
.10 Gross Floor Area – main building – maximum	400 m ²	400 m ²	400 m ²

(B/L 101-2022 July 11/2022; B/L 52-2024 Apr 22/2024)

SECTION 18 - MANUFACTURING DISTRICTS 1. (MD1.)

18.2 MANUFACTURING DISTRICT 1.2 (MD1.2)

18.2.1 PERMITTED USES

Ambulance Service
Building Materials Recycling Store
Bulk Storage Facility
Business Office
Contractor's Office
Equipment Rental Shop
Food Catering Service
Food Processing Facility
Laundry Plant
Manufacturing Facility
Medical Appliance Facility
Micro-Brewery
Public Parking Area
Repair Shop – Heavy
Repair Shop – Light
Self-Storage Facility
Towing Service
Warehouse
Water Transportation Facility
Welding Shop
Any of the following Ancillary Uses:
Automobile Sales Lot
Car Wash Automatic
Car Wash Coin Operated
Club
Food Outlet – Drive-through
Food Outlet – Take-out
Gas Bar
Health Studio
Restaurant
Restaurant with Drive-through
Retail Store – Equipment & Supplies
Veterinary Office
Wholesale Store
Any of the following Existing Uses:
Transport Terminal
Any use accessory to any of the above uses, including a Caretaker's Residence or a Retail Store

18.2.3 PROHIBITED USES

Outdoor storage of aggregate

18.2.5 PROVISIONS

.4	Building Height – maximum	14.0 m
.5	Front Yard Depth – minimum	6.0 m
.7	Side Yard Width – minimum	
	a) From a <i>side lot line</i> that abuts a <i>lot</i> on which a <i>dwelling</i> or <i>dwelling unit</i> is located	6.0 m
	b) From an <i>exterior lot line</i> :	3.0 m
.8	Landscaped Open Space Yard – minimum	15.0% of <i>lot area</i>
.10	Gross Floor Area – <i>Retail Store</i> – maximum	25.0% of the <i>GFA</i> of the <i>main building</i>

APPENDIX "F"

Consultations

CALDWELL FIRST NATION COMMUNITY

No comments provided

ENGINEERING - DEVELOPMENT

Comments to Stage 2 Planning Consultation Application

October 30, 2025

The revised study is acceptable.

July 30, 2025

Sewers

The site may be serviced by a 375 mm x 500 mm combined sewer and a 1200 mm storm sewer located within the Mercer Street right-of-way. If possible, existing connections should be utilized. Any redundant connections shall be abandoned in accordance with the City of Windsor Engineering Best Practice B.P 1.3.3.

A sanitary sampling manhole may be required on any new sanitary connection at the property line to the satisfaction of the City Engineer, if one does not already exist.

A functional servicing report completed by Dillon Consulting Ltd., dated May 2025, was received and reviewed. The City has the following comments:

- The peak allowable storm flow should be reduced by the estimated peak sanitary demand.
- The I&I rate from the CLI ECA manual is higher, at 2.80 L/s/ha
- Peaking factors in the sanitary design sheets are below the City of Windsor manual of 6.0

The applicant will be required to submit, prior to the issuance of permits, a stormwater management plan in accordance with Windsor Essex Region Stormwater Management Standards Manual, restricting stormwater runoff to pre-development levels. This will include, at a minimum:

- Submission of the stormwater management review fee,
- Stormwater management report stamped by a professional engineer
- Site servicing drawings stamped by a professional engineer
- Stormwater management checklist (see link below)

For more information on SWM requirements, visit: [link](#)

<https://essexregionconservation.ca/wp-content/uploads/2018/12/WE-Region-SWM-Standards-Manual.pdf>.

<https://www.citywindsor.ca/business/buildersanddevelopers/Documents/Checklist-Rational-Method.pdf>

Right of-Way

Mercer Street and Hannah Street East are both classified as Local Residential Roads according to the Official Plan, requiring a right-of-way width of 20.10m; the current right-of-way is 20.10, therefore, no conveyance is required currently.

In summary, we have no objection to the proposed development, subject to the following requirements:

Oil and Grit Separator - The owner shall agree to install an approved oil/grit separator on site for the new development to control sediment into the storm water drainage system to the satisfaction of the City Engineer.

Sanitary Sampling Manhole - The owner agrees for all non-residential uses, to install a sanitary sampling manhole accessible at the property line of the subject lands to the City Engineer at all times. The determination of the requirement or interpretation of whether a sampling manhole exists or exceptions to such will be to the satisfaction of the City Engineer.

[Daniel Lopez - Development Engineer]

ENGINEERING - R.O.W.

Required Drawing Revisions:

1. **Driveway Approaches** - Do not conform to City of Windsor Standards, which must be constructed with straight flares and no raised curbs within the right-of-way.
 - a. Modify as per Standard Engineering Drawing [AS-203 or AS-204].
 - b. All redundant curb cuts are to be removed. Boulevard, sidewalks, curbs, and gutters to be restored as per City of Windsor Standards.
2. **Sewer Connections** - All existing and proposed storm, sanitary, and water services must be identified on the drawings, as well as the associated mainline sewers/water mains.
 - a. Modify drawings to include all sewer connections and water services.
 - b. Identify any redundant connections to be abandoned in accordance with Engineering Best Practice BP1.3.3.
3. **Encroachment Items** - The existing Parking Encroachments located adjacent to the alley off Hanna St. E. will need to be removed, and the boulevard restored to Best Practice B.P.3.2.2.

General Provisions (required prior to Building Permit Application):

All General Provisions not listed below shall be included in the Site Plan Control agreement; however, they are not required prior to submission of a Building permit application or permit issuance.

	General Provision	Prior to Building Application
G-14	Driveway Approaches	X
G-15 (1)	Street Opening Permits	X
G-15 (2)	Site Servicing Drawings	X
G-28	Video Inspection	X

Special Provisions (to be included in Site Plan Control Agreement):

In addition to the general provisions outlined in the SPC agreement, the following special provisions will be required prior to submitting a building permit application:

Site Plan Control Agreement - The applicant enters into an agreement with the City of Windsor for all requirements under the General Provisions of the Site Plan Control Agreement for the Engineering Department.

[Mark Schaffhauser - Technologist III]

ENWIN UTILITIES LTD. - HYDRO ENGINEERING**Comments to Stage 1 Planning Consultation Application**

We have no objection to the proposed development, provided that all necessary clearances are achieved and maintained. ENWIN maintains an existing overhead pole line along the north and west boundaries of the site, consisting of 27,600-volt double primary high-voltage circuits and a 347/600-volt secondary hydro distribution system. Additionally, an overhead pole line runs along the east boundary of the site, featuring a 16,000-volt primary high-voltage circuit, as well as 347/600-volt and 120/240-volt secondary distribution.

Before commencing work in these areas, we recommend notifying your contractor and consulting the Occupational Health and Safety Act and Regulations for Construction Projects to confirm clearance requirements during construction. Furthermore, we suggest referring to the Ontario Building Code to ensure compliance with permanent clearance requirements for new building construction.

[Anwar Nagar - Senior Hydro Engineering Technologist]

ENWIN UTILITIES LTD. - WATER ENGINEERING

Comments to Stage 1 Planning Consultation Application

ENWIN Water has no objections.

[Bruce Ogg - Water Project Review Officer]

NATURAL HERITAGE

Comments to Stage 1 Planning Consultation Application

No comments or concerns.

[Karen Alexander - City Naturalist & Supervisor, Natural Areas]

PARKS DESIGN & DEVELOPMENT

Comments to Stage 1 Planning Consultation Application

During today's inspection, 8 city trees were growing on the Mercer side of the property.

No private trees were found during today's review.

The owner/developer is requested to provide a detailed tree inventory for all live trees over 10cm DBH on the lot, both City and privately owned. The inventory should identify ownership and provide sub-meter accuracy GPS location, species, diameter (DBH), and condition for each tree. For trees in proximity to a roadway, less than 10m, the GPS location should be taken on the nearest roadside of the tree. Indication should be made for each tree if it is to be preserved & protected or removed during development. A qualified, Arborist, Urban Forester, or Landscape Architect should conduct the tree survey.

Forestry will require detailed site plans prior to construction that show adequate Tree Root protection zones for each tree if they are to be preserved on-site through the development process. Details regarding the protection area required and the type of fencing for Tree Root protection zones can be provided by Forestry.

If the trees are NOT to be preserved through the development process, and a request is made that specific trees be removed, the Removal & Canopy Replacement cost will be calculated based on a Diameter-for-Diameter replacement ratio for both City-owned and Private trees.

Forestry requests the opportunity to review landscaping plans to provide comments and suggestions that would maximize future on-site Tree Canopy and Tree Canopy Resilience.

Please let us know if you have any further questions regarding Tree Protection and Replacement issues. Forestry will continue to monitor the progress of this construction work.

[Yemi Adeyeye - City Forester/Manager Forestry]

PLANNING DEPARTMENT - HERITAGE

Comments to Stage 2 Planning Consultation Application

August 26, 2025

It is now considered complete.

July 15, 2025

Heritage:

There is no apparent built heritage concern with this property.

Archaeology:

The City of Windsor is in receipt of the Stage 1-2 Archaeological Assessment called "Stage 1-2 Archaeological Assessment of Mercer at Hanna Street East (No Municipal Address), in part of Lot 85, Concession 1 Petite Cote Sandwich, City of Windsor, Essex County, Ontario", PIF P1131-0111-2025, dated April 8, 2025, with a recommendation of "no further archaeological assessment" for the Study Area. However, we require a copy of the letter from the Ministry confirming acceptance of the report in the Ontario Public Register of Archaeological Reports, as well as GIS Shapefiles of the Study Area.

[Tracy Tang - Heritage Planner]

PLANNING DEPARTMENT - SITE PLAN CONTROL

Comments to Stage 1 Planning Consultation Application

The development proposal is subject to Site Plan Control pursuant to the Planning Act and City of Windsor By-law 1-2004. Where preceding development applications are required, inclusive of Official Plan and Zoning By-law Amendments, request for Site Plan Control Pre-Consultation Stage 1 may be made following completion of the requisite Development and Heritage Standing Committee meeting at <https://ca.cloudpermit.com/login>.

[Jacqueline Cabral - Clerk Steno]

TRANSPORTATION PLANNING

Comments to Stage 1 Planning Consultation Application

No supporting information required (All parking must comply with ZBL 8600)

[Elara Mehrilou - Transportation Planner I]

WALPOLE ISLAND FIRST NATION

No comments provided

WINDSOR POLICE SERVICE

Comments to Stage 1 Planning Consultation Application

The Windsor Police Service has no objections to this application that seeks amendments to both the Official Plan and the Zoning By-law. The nature of the land uses proposed for the subject lands is not anticipated to create any concerns of a public safety nature in this situation and will not be problematic for facilitating police response and service delivery capability, once fully occupied. In terms of directly applicable safety and security requirements for the redeveloped property, these specific details will be provided during the site plan review stage of the application, if approved.

[Barry Horrobin - Director of Planning & Physical Resources]

**APPENDIX “G”
Draft OPA 200**

DRAFT

AMENDMENT NO. 200

TO THE

OFFICIAL PLAN

CITY OF WINDSOR

Part D (Details of the Amendment) of the following text and attached map of the City of Windsor Official Plan constitute Amendment No. 200.

Also included, but not constituting part of the Amendment, are explanations of Purpose, Location, Background, Details of the Amendment, and Implementation.

A. PURPOSE:

The purpose of this Amendment is to apply a Special Policy Area to the subject lands that would permit a group home as an additional permitted use and a Mixed-Use Corridor development to have a building height of no more than five storeys (18.0 metres).

B. LOCATION:

The Amendment applies to the land described as Lots 17 to 30, Plan 649, located on the southeast corner of Hanna Street East and Mercer Street, known municipally as 0 Mercer Street (Roll No. 030-480-09400).

Ward: 3**Planning District: South Central****ZDM: 7****C. BACKGROUND:**

The site is designated “Mixed Use Corridor” on Schedule D: Land Use of the City of Windsor Official Plan. The objectives and policies of the Mixed Use Corridor land use designation establish the framework for development decisions in Mixed Use Corridor areas within the City of Windsor.

The applicant proposes to redevelop the subject property by constructing a two-storey group home and a five-storey, 60-unit multiple dwelling with an 80-space parking area.

D. DETAILS OF THE AMENDMENT:

That the City of Windsor Official Plan, Volume I, Schedule A: Planning Districts & Policy Areas **BE AMENDED** by adding a Special Policy Area to the subject lands that will allow for a group home as an additional permitted use and a Mixed-Use Corridor development to have a building height of no more than five storeys (18.0 metres).

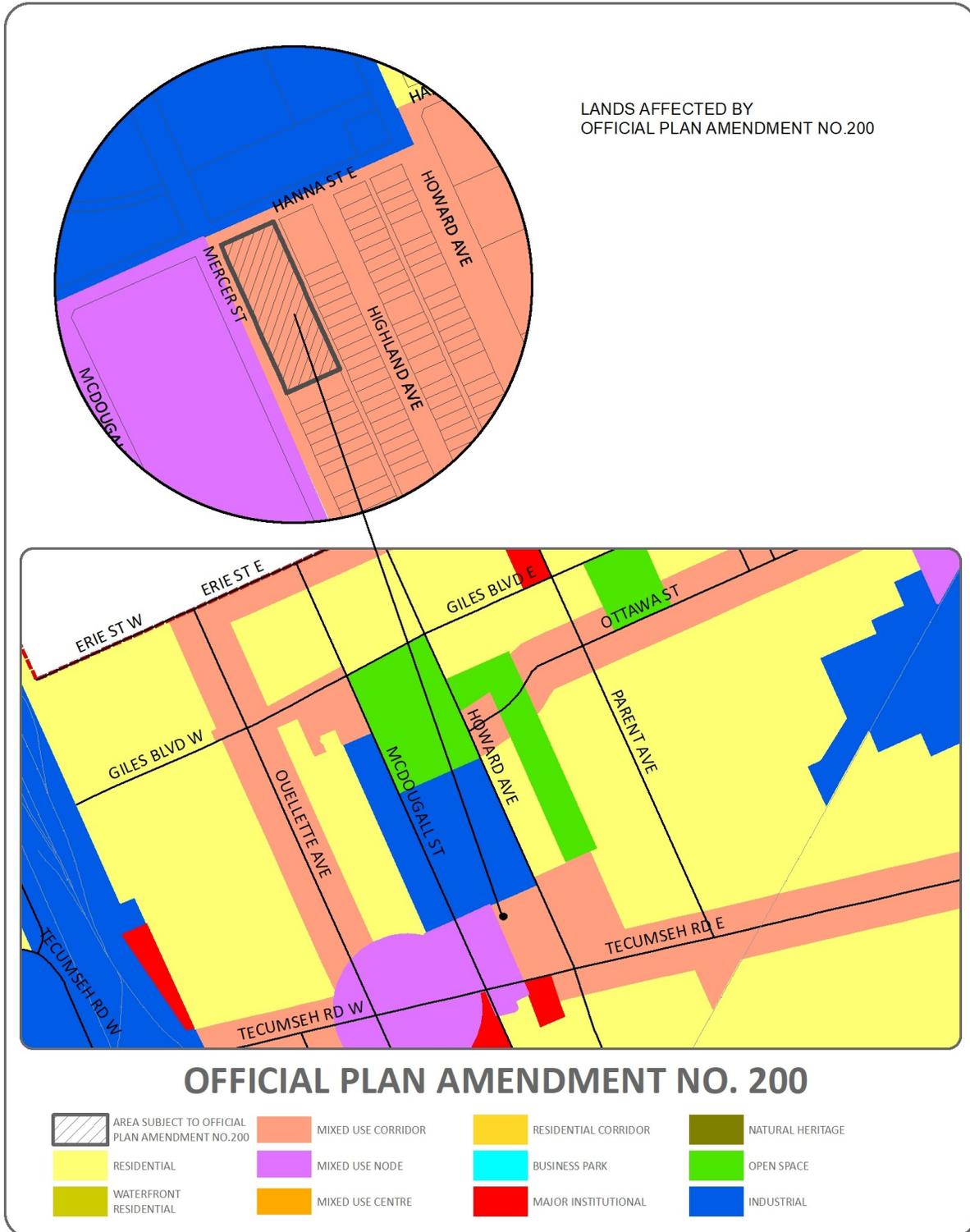
E. IMPLEMENTATION:

- i. Amend Schedule A: Planning Districts & Policy Areas, in Official Plan Volume I, by adding a Special Policy Area that will allow a group home as an additional permitted use and a Mixed-Use Corridor development to have a building height of no more than five storeys (18.0 metres).
- ii. This Amendment shall be implemented through the Amendment to Zoning By-law 8600 as recommended in Report Number S 13/2026 (Z-002/26; ZNG-7353).
- iii. The proposed development on the subject lands is deemed a development per Section 41(1) of the *Planning Act*; therefore, Site Plan Control shall be an additional tool for the implementation of this Amendment.

SCHEDULE A



SCHEDULE D



APPENDIX "H"
Draft Amending By-law

BY-LAW NUMBER -2026

A BY-LAW TO FURTHER AMEND BY-LAW NUMBER
8600 CITED AS THE "CITY OF WINDSOR ZONING BY-
LAW"

Passed the _____ day of _____, 2026.

WHEREAS it is deemed expedient to further amend By-law Number 8600 of the Council of The Corporation of the City of Windsor, cited as the "City of Windsor Zoning By-law" passed the 31st day of March 1986, as heretofore amended:

THEREFORE, the Council of The Corporation of the City of Windsor enacts as follows:

1. That Section 91.10 of said by-law is amended by adding the following clause:
22. **SOUTHEAST CORNER OF HANNA STREET EAST AND MERCER STREET**

For the lands comprising Lots 17 to 30, Plan 649 (PIN 01180-0194 LT), the following additional provisions shall apply:

- a) *Main Building Height: maximum* 18.0 m
- b) *Rear Yard Depth: minimum:* 23.8 m
- c) *Side Yard Width: minimum:*
 1. From the east *side lot line:* 20.8 m
- d) Notwithstanding Section 10.1.5.10, the *maximum gross floor area* for a *Group Home* shall be 760.0 m²
- e) For a *Group Home* and any *Dwelling Unit*, a central air conditioning system shall be provided.

[ZDM 7; ZNG/7353]

2. That said by-law is further amended by amending the Zoning District Maps shown in Column 2 by changing the zoning symbol of the lands described in Column 3 from that shown in Column 4 to that shown in Column 5:

1. Item Number	2. Zoning District Map	3. Lands Affected	4. Current Zoning Symbol	5. New Zoning Symbol
1	7	Lots 17 to 30, Plan 649; PIN 01180-0194 LT (located on the southeast corner of Hanna Street East and Mercer Street; Roll No 030-480-09400)	MD1.2	RD3.2x(22)

DREW DILKENS, MAYOR

CLERK

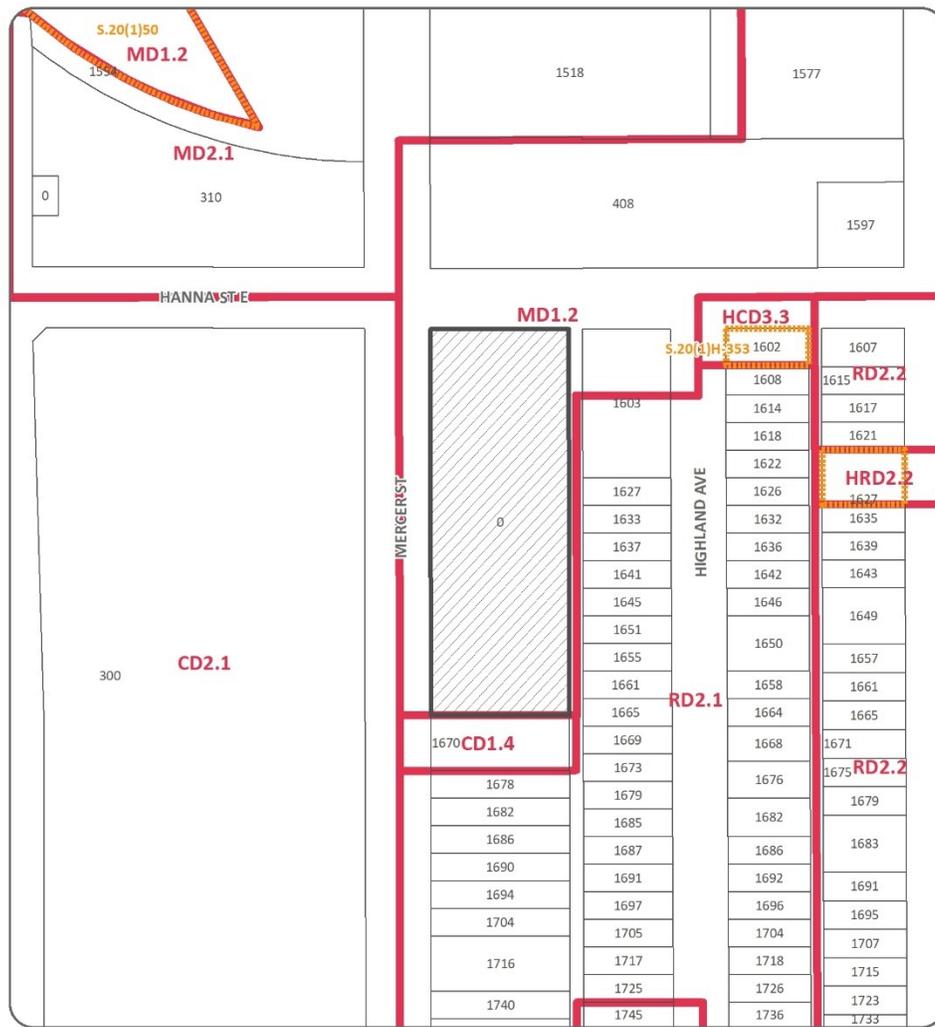
First Reading , 2026
Second Reading , 2026
Third Reading , 2026

SCHEDULE 2

1. By-law _____ has the following purpose and effect:

To amend the zoning of the lands located on the southeast corner of Hanna Street East and Mercer Street, described as Lots 17 to 30, Plan 649, PIN 01180-0194 LT, to allow for the construction of a two-storey Group Home with a maximum gross floor area of 760.0 m², a five storey, 60-unit Multiple Dwelling with a maximum building height of 18.0 metres, minimum interior side yard width of 20.8 metres and minimum rear yard depth of 23.8 metres, and an 80-space parking area.

2. Key map showing the location of the lands to which the By-law _____ applies.



PART OF ZONING DISTRICT MAP 7

N.T.S.

SCHEDULE 2

Applicant: LRU Leasing Inc.

 SUBJECT LANDS

PLANNING & BUILDING DEPARTMENT



DATE : JANUARY, 2026
FILE NO. : Z-002/26, ZNG/7353



Committee Matters: SCM 66/2026

Subject: Adoption of the Development & Heritage Standing Committee minutes of its meeting held February 2, 2026

Development & Heritage Standing Committee Meeting

Date: Monday , February 02, 2026

Time: 4:30 o'clock p.m.

Location: Council Chambers, 1st Floor, Windsor City Hall

Members Present:

Councillors

Ward 1 - Councillor Fred Francis

Ward 4 - Councillor Mark McKenzie

Ward 7 - Councillor Angelo Marignani

Ward 9 - Councillor Kieran McKenzie

Ward 10 - Councillor Jim Morrison (Chairperson)

Members

Member Anthony Arbour

Member Joseph Fratangeli

Member John Miller

Member Charles Pidgeon

Member William Tape - Participated via video conference

Member Regrets

Member Robert Polewski

Member Khassan Saka

PARTICIPATING VIA VIDEO CONFERENCE ARE THE FOLLOWING FROM ADMINISTRATION:

Sandra Gebauer, Council Assistant

ALSO PARTICIPATING IN COUNCIL CHAMBERS ARE THE FOLLOWING FROM ADMINISTRATION:

Jelena Payne, Deputy Chief Administrative Officer / Commissioner, Economic Development

Neil Robertson, City Planner

Greg Atkinson, Deputy City Planner – Development

Jason Campigotto, Deputy City Planner – Growth

Aaron Farough, Senior Legal Counsel

Minutes

Development & Heritage Standing Committee Monday, February 2, 2026

Page 2 of 14

Stacey McGuire, Executive Director Operations
James Abbs, Manager-Planning
Patrick Winters, Manager, Development
Laura Diotte, Manager, Planning
Elara Mehrilou, Supervisor, Coordinator Maintenance
Adam Szymczak, Planner III - Development
Brian Nagata, Planner III – Development
Kevin Alexander, Planner III - Special Projects
Simona Simion, Planner III – Economic Development
Tracy Tang, Planner III – Heritage
Anna Ciacelli, Deputy City Clerk

Delegations—participating via video conference

Item 7.1 Tracey Pillon-Abbs, Principal Planner, Pillon Abbs Inc
Item 7.2 Jackie Lassaline, Lassaline Planning Consultants

Delegations—participating in person

Item 7.1 Daniel Grenier, President, Hausology Inc
Item 7.1 Gladys Chiasson, Area Resident
Item 7.1 Eileen Daly, Area Resident
Item 7.1 Roger Hines, Area Resident
Item 7.3 Andi Shallvari, Applicant
Item 7.3 Michael Davis, Agent for Applicant, Siv-ik Planning and Design Inc.
Item 10.2 Alex Seguin, Designer, Adhoc Development, Seguin Design Studio
Item 11.3 Scott Stover, Leasing Representative, Pattison Outdoor Advertising
Item 11.3 Nathan Jankowski, Manager, Legislation and Permits, Pattison Outdoor Advertising

1. CALL TO ORDER

The Chairperson calls the meeting of the Development & Heritage Standing Committee to order at 4:30 o'clock p.m.

2. DISCLOSURES OF PECUNIARY INTEREST AND THE GENERAL NATURE THEREOF

None disclosed.

3. REQUEST FOR DEFERRALS, REFERRALS OR WITHDRAWALS

None requested.

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4. COMMUNICATIONS

None presented.

10. HERITAGE ACT MATTERS

8. ADOPTION OF THE MINUTES

8.1. Adoption of the Development & Heritage Standing Committee minutes of its meeting held December 1, 2025

Moved by: Member William Tape
Seconded by: Member Joseph Fratangeli

THAT the minutes of the Development & Heritage Standing Committee meeting held December 1, 2025 **BE ADOPTED** as presented.
Carried.

Report Number: SCM 381/2025

8.2. Adoption of the Development & Heritage Standing Committee minutes of its meeting held January 5, 2026

Moved by: Councillor Mark McKenzie
Seconded by: Councillor Angelo Marignani

THAT the minutes of the Development & Heritage Standing Committee meeting held January 5, 2026 **BE ADOPTED** as presented.
Carried.

Report Number: SCM 22/2026

10.2. Notice of Intent to Partially Demolish a Heritage Listed Property – 1519 Wyandotte Street East, Tivoli Pool Room, Casa Loma Restaurant - Ward 4

Moved by: Councillor Fred Francis
Seconded by: Councillor Angelo Marignani

Decision Number: **DHSC 801**

- I. THAT the Notice of Intent to partially demolish the heritage listed property at 1519 Wyandotte Street East, Tivoli Pool Room / Casa Loma Restaurant, to remove portions of the building façade facing Wyandotte Street East to facilitate façade improvements **BE RECEIVED.**

Carried.

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Report Number: S 7/2026

Clerk's File: MBA/14987

10.1. Windsor Municipal Heritage Register – Updates about Bill 23 Strategy 2 and Alternative Notice Policy - City Wide

Councillor Kieran McKenzie asks administration to outline the risks and strategies associated with the recommendation to adopt Bill 23, Strategy 2 and the alternative notice policy. Tracy Tang, Planner III – Heritage (Acting) appears before the Development & Heritage Standing Committee regarding the administrative report dated January 8, 2026, entitled “Windsor Municipal Heritage Register – Updates about Bill 23 Strategy 2 and Alternative Notice Policy - City Wide” and responds that this strategy relates to the designation of the highest priority or highest merit properties on the municipal heritage register. There are 881 listed properties, which has been narrowed down to 185 that fit the criteria under the Ontario Heritage Trust. Outreach to the 185 property owners will begin to provide education surrounding the process and how it may impact them and their properties to destigmatize heritage designation.

Councillor Kieran McKenzie inquires whether the 185 properties will each require a separate report. Ms. Tang responds that the properties would come back to Development & Heritage Standing Committee and City Council for decision on the notice of intent to designate along with the reasons for designation. Batch reporting has been done in the past with other properties, such as the University of Windsor.

Councillor Kieran McKenzie asks if there will be several different batches coming forward. Ms. Tang responds that the groupings of properties will come forward and could include any number of properties.

Councillor Kieran McKenzie inquires about the timeline for listed properties to be designated. Ms. Tang responds that the deadline for issuance of the notice of intent to designate is January 1, 2027.

Councillor Kieran McKenzie asks if we have the resources to meet that deadline. Ms. Tang responds that research has concluded on the 185 properties and administration is confident in the merits of the properties to be designated under the *Ontario Heritage Act* criteria. Next steps would be property owner outreach, education and to report back to the Development & Heritage Standing Committee and City Council for designation.

Councillor Kieran McKenzie asks if the 33 City properties will be designated before the deadline. Jason Campigotto, Deputy City Planner – Growth appears before the Development & Heritage Standing Committee regarding the administrative report dated January 8, 2026, entitled “Windsor Municipal Heritage Register – Updates about Bill 23 Strategy 2 and Alternative Notice Policy - City Wide” and responds that strategy 6 identifies municipal properties and as stewards of those properties, the deadline does not pose a risk as there is an opportunity to proceed with a designation after that date. The focus and resources are on the properties that may be at risk of potential loss.

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Councillor Kieran McKenzie inquires about what happens with the 487 remaining properties. Ms. Tang responds that the approximately 400 remaining properties have been identified as medium or lower priority to designate for lower risk of potential loss, such as residential single detached family dwellings. After the January 1, 2027, deadline the listed status would be removed, but the property owner could proceed with a request to designate the property.

Councillor Kieran McKenzie asks if the property owner must wait 5 years before it could be designated once the property is no longer listed. Ms. Tang responds that the property could be designated anytime after the January 2027 deadline granted it meets the criteria.

Moved by: Councillor Kieran McKenzie

Seconded by: Councillor Fred Francis

Decision Number: **DHSC 800**

- I. THAT the report regarding 2026 Updates on the Implementation of the Bill 23 Strategy 2 (Part IV Designation of properties of “high” priority), along with the appendices containing informational materials regarding Part IV Individual Property Designation under the *Ontario Heritage Act*, **BE RECEIVED** for information;
- II. THAT Administration **BE DIRECTED** to implement an enhanced education and awareness approach in support of Strategy 2, including the distribution of mailed informational packages to property owners in advance of issuing Notices of Intention to Designate (NOIDs) for “high” priority listed heritage properties; and,
- III. THAT the ‘*Ontario Heritage Act – Alternative Notice Policy*’ included as Appendix ‘E’ **BE ADOPTED** to allow the City to publish notices required under the *Ontario Heritage Act* digitally on the City’s public website.

Carried.

Report Number: S 6/2026

Clerk’s File: MBA/14619

There being no further business the meeting of the Development & Heritage Standing Committee (*Heritage Act* Matters) portion is adjourned at 4:48 o’clock p.m.

The Chairperson calls the *Planning Act* Matters portion of the Development & Heritage Standing Committee meeting to order at 4:50 o’clock p.m.

5. ADOPTION OF THE *PLANNING ACT* MINUTES

5.1. Adoption of the Development & Heritage Standing Committee (*Planning Act*) minutes of its meeting held January 5, 2026

Moved by: Member Anthony Arbour

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Seconded by: Councillor Mark McKenzie

THAT the *Planning Act* minutes of the Development & Heritage Standing Committee meeting held January 5, 2026 **BE ADOPTED** as presented.

Report Number: SCM 23/2026

7. PLANNING ACT MATTERS

7.1. Zoning By-law Amendment Application for 291 Watson Avenue, Z-035/25 [ZNG-7344], Ward 6

Moved by: Councillor Kieran McKenzie

Seconded by: Member Anthony Arbour

Decision Number: **DHSC 797**

- I. THAT Zoning By-law 8600 **BE AMENDED** by adding the following zoning exception to Section 91.10:

18. NORTHWEST CORNER OF CLAIRVIEW AVENUE AND WATSON AVENUE

For the lands comprising of Lots 1 & 2, Plan 829 (PIN 01055-0107 LT), the following additional provisions shall apply:

- a) *Lot Area: minimum 827.2 m²*
- b) *Building Height: Main Building: maximum 9.0 m*
- c) *Side Yard Width: minimum:*
 1. From the north *side lot line*: 2.20 m
 2. From the south *side lot line*: 1.22 m
- d) Notwithstanding Table 24.20.5.1, the *minimum* number of required *parking spaces* for a *Multiple Dwelling* shall be 9.
- e) Notwithstanding clause .6 of Table 25.5.20.1, the *minimum* separation of a *parking area* from a *building* wall containing a *habitable room window* or containing both a main pedestrian entrance and a *habitable room window* facing the *parking area* where the *building* is located on the same *lot* as the *parking area* shall be 2.00 m and the *parking area* separation shall be maintained with *soft landscaping*, save and except any area occupied by a public walkway providing access to a main pedestrian entrance.

[ZDM 10; ZNG/7344]

- II. THAT Zoning By-law 8600 **BE FURTHER AMENDED** by changing the zoning of Lots 1 & 2, Plan 829 (PIN 01055-0107 LT) situated at the northwest corner of Clairview Avenue and Watson Avenue from RD1.2 to RD3.1x(18).

Carried.

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Councillor Angelo Marignani voting nay.

Report Number: S 144/2025
Clerk's File: Z/15073

7.2. Zoning By-law Amendment Application for 401-431 Shepherd Street West, Z-036/25 [ZNG-7345], Ward 3

Moved by: Councillor Mark McKenzie

Seconded by: Councillor Fred Francis

Decision Number: **DHSC 798**

- I. THAT Zoning By-law 8600 **BE AMENDED** by adding the following zoning exception to Section 91.10:

21 SOUTH SIDE OF SHEPHERD STREET WEST BETWEEN YORK STREET AND CHURCH STREET

For the lands comprising of Lot 107 & Part of Lot 108, Plan 652 (PIN 01184-0428 LT), for a *Combined Use Building* the following additional provisions shall apply:

- f) *Lot Coverage: maximum* As Existing
- g) *Front Yard depth: minimum* As Existing
- h) *Rear Yard depth: minimum* As Existing
- i) *Side Yard width: minimum* As Existing

[ZDM 7; ZNG/7345]

- II. THAT Zoning By-law 8600 **BE FURTHER AMENDED** by changing the zoning of Lot 107 & Part of Lot 108, Plan 652 (PIN 01184-0428 LT), situated on the south side of Shepherd Street West between York Street and Church Street, from CD1.3 to CD1.3x(21).

Carried.

Report Number: S 145/2025
Clerk's File: Z/15074

7.3. Rezoning - 1360 & 1376 Howard Ave - Z-037/25 ZNG/7349 - Ward 4

Moved by: Councillor Mark McKenzie

Seconded by: Councillor Angelo Marignani

Decision Number: **DHSC 799**

1. THAT Zoning By-law 8600 **BE AMENDED** by adding the following to Section 91.10:

19. SOUTHEAST CORNER OF HOWARD AVENUE AND OTTAWA STREET

For the lands comprising Plan 128 PT Lot 13; Corner; Plan 128 N PT Lot 14; Plan 936 PT Lot 19; PIN 01163-0214, 01163-0217, 01163-0511, a *Stacked Dwelling* shall be an

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additional permitted *main use*, and for a *Multiple Dwelling* having five or more *dwelling units* or a *Stacked Dwelling*, the following additional provisions shall apply:

- a) *Lot Area: minimum: 1,900 m²*
- b) *Lot Coverage: maximum 40% of lot area*
- c) The *Front Yard Depth, Rear Yard Depth, Side Yard Width* provisions in Section 12.1.5 shall not apply
- d) *Building Setback:*
 1. From an *exterior lot line* abutting Lillian Avenue: *minimum 6.0 m*
 2. From any other *exterior lot line: minimum 0.0 m*
 3. From an *interior lot line: minimum 2.20 m*
- e) *Landscaped Area: minimum 30.0% of lot area*
- f) *Required Parking Spaces: minimum: 1 for each dwelling unit*
- g) *Required Visitor Parking Spaces: 0*
- h) Notwithstanding Sections 24.20.10 and 24.22.10, each *parking space* or *visitor parking space* shall have a *minimum* length of 5.5 m and a *minimum* width of 2.5 m
- i) Notwithstanding Clause .2 in Table 25.5.20.1, the minimum parking area separation of a parking area from Ottawa Street shall be 1.5 m
- j) Notwithstanding Section 25.5.30.4, each lane shall have a minimum width of 3.0 m

[ZDM 7; ZNG/7349]

2. THAT Zoning By-law 8600 **BE FURTHER AMENDED** by changing the zoning of the lands comprising Plan 128 PT Lot 13; Corner; Plan 128 N PT Lot 14; Plan 936 PT Lot 19; PIN 01163-0214, 01163-0217, 01163-0511; situated southeast corner of Howard Avenue and Ottawa Street, (Roll No. 030-330-08700 & 030-330-08900), from RD1.3, RD2.2, and CD2.6 to RD3.1x(19).
3. THAT the Site Plan Approval Officer **BE DIRECTED** to review the comments from municipal departments and external agencies in Appendix B to Report S 146/2025.

Carried.

Report Number: S 146/2025
Clerk's File: Z/15075

There being no further business the meeting of the Development & Heritage Standing Committee (*Planning Act* Matters) portion is adjourned at 5:50 o'clock p.m.

The Chairperson calls the Administrative Items portion of the Development & Heritage Standing Committee meeting to order at 5:50 o'clock p.m.

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9. PRESENTATIONS AND DELEGATIONS (COMMITTEE ADMINISTRATIVE MATTERS)

11. ADMINISTRATIVE ITEMS

11.3. Update to Report S 131/2025 – Amendment to Sign By-law 250-2004 for 3663 Walker Road - Ward 9

And

11.3.1. Amendment to Sign By-law 250-2004 for 3663 Walker Rd, File No. SGN-003/24 (BILLBOARD) - Ward 9

Scott Stover, Leasing Representative & Nathan Jankowski, Manager, Legislation and Permits, Pattison Outdoor Advertising

Scott Stover, Leasing Representative & Nathan Jankowski, Manager, Legislation and Permits, Pattison Outdoor Advertising appear before the Development & Heritage Standing Committee regarding the administrative report dated January 8, 2026, entitled “Update to Report S 131/2025 – Amendment to Sign By-law 250-2004 for 3663 Walker Road – Ward 9” and are available for questions.

Councillor Kieran McKenzie asks administration to provide an overview of the recommendation as it relates to minimum set-back distance from a residential area and mitigations to justify the amendment. Kevin Alexander, Senior Planner – Special Projects appears before the Development & Heritage Standing Committee regarding the administrative report dated January 8, 2026, entitled “Update to Report S 131/2025 – Amendment to Sign By-law 250-2004 for 3663 Walker Road – Ward 9” and responds that according to the current by-law, a billboard sign along Walker Road cannot be within 300m of a residential area, which is difficult in this section of Walker Road south of the E.C. Row Expressway. Some of the mitigation measures proposed by the applicant are to reduce the height of the sign, to orient the sign towards the street in a V-shaped pattern, and to reduce the hours of operation to 7:00 a.m. to 10:00 p.m. To adhere to the policies of the Official Plan, Walker Road is a civic way, administration wants to ensure that there is a landscape setback and that cars are not parking over the property line within the City’s right of way.

Councillor Kieran McKenzie inquires as to how close the billboard is to the nearest residential area. Mr. Alexander responds that it is within 31 meters of the nearest residential area.

Councillor Kieran McKenzie asks about the shape of the sign and how it may impact more residents on neighbouring streets. Mr. Alexander responds that the sign may be seen from a distance along with the lighting. The illumination levels have also been met in accordance with the by-law as a way to mitigate some of these issues.

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Councillor Kieran McKenzie asks, that if the 300m setback provision within the by-law excludes several areas, should we not look at amending the by-law. Neil Robertson, City Planner appears before the Development & Heritage Standing Committee regarding the administrative report dated January 8, 2026, entitled "Update to Report S 131/2025 – Amendment to Sign By-law 250-2004 for 3663 Walker Road – Ward 9" and responds that the 300 meters is a distance intended for an unobstructed view as a default. The layering of the ability to block the sign in other ways enables a reduction of the 300 meters. The intent of the by-law is to ensure that the light is not shining into someone's home.

Councillor Jim Morrison asks about the shape of the billboard and the direction of the light. Mr. Alexander responds that the intent is that people driving along Walker Rd will see the billboard.

Moved by: Councillor Mark McKenzie

Seconded by: Councillor Fred Francis

Decision Number: **DHSC 804**

- I. THAT the application for a Site-Specific Amendment to By-law 250-2004, being a by-law respecting signs and other advertising devices in the City of Windsor, as amended (the "**Sign By-law**"), to allow for the installation of an Electronic Changing Copy Ground Sign at 3663 Walker Road, **BE APPROVED**;

- II. THAT Schedule "E" – "Special Provisions for Individual Signs" of the Sign By-law **BE AMENDED** by adding the following as its new section E.24:

E. 24 Despite the provisions of this By-law, that: a) a BILLBOARD SIGN, that is both a GROUND SIGN and an ELECTRONIC CHANGING COPY SIGN, may be constructed on 3663 Walker Road; and b) an existing WALL SIGN on 3663 Walker Road is permitted, subject to the following conditions:

 - a. That the BILLBOARD SIGN does not include FLASHING ILLUMINATION, and that changing of the ELECTRONIC CHANGING COPY does not occur at intervals of less than 60 seconds;
 - b. That the manufacturer of the BILLBOARD SIGN confirm compliance with the lighting restrictions in accordance with Section 3 for electronic message signs;
 - c. That the BILLBOARD SIGN does not have any animation including scrolling letters, television or video message, or any moving sign message objects;
 - d. That the illumination intensity of the BILLBOARD SIGN complies with subsection 3.3.1.(c) of this By-law, and that the brightness of the BILLBOARD SIGN be automatically controlled with an ambient light photo-sensor;
 - e. That the BILLBOARD SIGN will only be illuminated between the hours of 7:00 AM and 10:00 PM; and
 - f. That the WALL SIGN remains in its existing location, as of the date of this amendment.

- III. THAT the City Solicitor **BE DIRECTED** to prepare the by-law to amend the Sign By-law;

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- IV. THAT the Chief Building Official **BE DIRECTED** to require, as conditions of the Sign By-law Permit:
- a. A Plan of Survey (Completed by a licensed Ontario Land Surveyor), identifying topographical land features, in addition to the location of utility poles and above ground electrical conductors;
 - b. Site Plan approval (Based on the Site Plan Control Terms of Reference) identifying the following:
 - i. A three (3) metre landscape setback from the property line along Walker Road ;
 - ii. A landscape plan approved by the City's Landscape Architect;
 - iii. The location of the proposed Electronic Changing Copy Billboard Sign, the distance from the existing wall sign and distance to the nearest residential district Lighting locations and specifications
 - iv. All buildings, structures, overhead conductors and hydro lines
 - v. The horizontal separation between the proposed sign and above ground electrical conductors.
 - vi. Incorporation of features from the Plan of Survey
 - c. The construction and redevelopment of the landscape setback as per the approved Site Plan, to the satisfaction of the City Planner; and
 - d. The removal of the existing quad-faced Billboard Ground Sign located at 980 Crawford Avenue; and,
- V. THAT the report of the Senior Planner--Special Projects and Planner II – Revitalization & Policy Initiatives dated November 7, 2025, entitled “Amendment to Sign By-law 250-04 for 3663 Walker Rd, File No. SGN-003/24 (BILLBOARD) - Ward 9” **BE RECEIVED** for information.

Carried.

Councillor Kieran McKenzie voting nay.

Report Number: S 4/2026 & S 131/2025
Clerk's File: SBS2025

11.1. Brownfield Community Improvement Plan - 0 Wyandotte St E (south of 10835 Riverside Dr E) - Ward 7

Moved by: Councillor Fred Francis

Seconded by: Councillor Mark McKenzie

Decision Number: **DHSC 802**

- I. THAT the request made by Lankor Horizons Development Inc. c/o Imad Najjar to participate in the Brownfield Redevelopment Community Improvement Plan **BE APPROVED** for:
- a. The Brownfields Development Charge Exemption Program for the lesser of 60% reduction in development charges (DC) payable for the proposed multiple dwellings and townhouses at 0 Wyandotte St E (south of 10835 Riverside Dr. E), or the eligible project costs; and,
 - b. Brownfields Rehabilitation Grant Program for the lesser of 70% of the municipal

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portion of the tax increment resulting from the proposed development for up to ten (10) years, or the eligible project costs;

In no case will the total amount of grant financial assistance provided exceed the total eligible project costs; and,

- II. THAT if a grant agreement is required, Administration **BE DIRECTED** to prepare an agreement between Lankor Horizons Development Inc. c/o Imad Najjar and the City in accordance with all applicable policies, requirements, and provisions contained within the Brownfield Redevelopment Community Improvement Plan to the satisfaction of the City Planner as to content, the City Solicitor as to legal form, and the City Treasurer as to financial implications; and,
 - III. THAT the CAO and City Clerk **BE AUTHORIZED** to sign the Brownfield Rehabilitation Grant Program Agreement; and,
 - IV. THAT the approval to participate in the Brownfield Rehabilitation Grant Program **EXPIRE** if the agreement is not signed by the applicant within two (2) years following Council approval.
- Carried.

Report Number: S 142/2025
Clerk's File: Z/15072

11.2. Ford City CIP Application for 1327 Henry Ford Centre Drive, Owner: 1001134151 Ontario Inc. (C/O: Andrew Lennon, Kaija Karmiste, and Saksham Sharma), Ward 5

Moved by: Councillor Mark McKenzie
Seconded by: Councillor Angelo Marignani

Decision Number: **DHSC 803**

- I. THAT the request for incentives under the Ford City CIP Financial Incentive Programs made by 1001134151 Ontario Inc. (C/O: Andrew Lennon, Kaija Karmiste, and Saksham Sharma), the owner of the property located at 1327 Henry Ford Centre Drive, **BE APPROVED**, for the following incentives:
 - i. *New Residential Development Grant* in the maximum amount of \$7,500 for three (3) new residential units;
 - ii. *Municipal Development Fees Grant Program* in the maximum amount of \$15,000;
 - iii. *Building/Property Improvement Tax Increment Grant Program* for the lesser of 100% of the municipal portion of the tax increment for up to 10 years in the amount of +/- \$4,230 per year or the eligible costs.

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- II. THAT the CAO and City Clerk **BE AUTHORIZED** to prepare the agreement between the City and 1001134151 Ontario Inc. (C/O: Andrew Lennon, Kaija Karmiste, and Saksham Sharma) to implement the *Building/Property Improvement Tax Increment Grant Program* in accordance with all applicable policies, requirements to the satisfaction of the City Planner as to content, the City Solicitor as to legal form, and the City Treasurer as to financial implications;
 - III. THAT the CAO and City Clerk **BE AUTHORIZED** to sign the Grant Agreement(s) in content satisfactory to the City Planner, in financial content to the satisfaction of the City Treasurer and in form satisfactory to the City Solicitor;
 - IV. THAT funds in the amount of \$7,500 under the *New Residential Development Grant Program*, and funds under the *Municipal Development Fees Grant Program* in the amount of \$15,000 **BE TRANSFERRED** from the CIP Reserve Fund 226 to the Ford City CIP Project Fund (#7181046) upon completion of the three (3) new residential units on the property located at 1327 Henry Ford Centre Drive, to the satisfaction of the City Planner and Chief Building Official;
 - V. THAT grants **BE PAID** to 1001134151 Ontario Inc. (C/O: Andrew Lennon, Kaija Karmiste, and Saksham Sharma), upon completion of the three (3) new residential units on the property located at 1327 Henry Ford Centre Drive, through the Ford City CIP Fund (Project #7181046) to the satisfaction of the City Planner and Chief Building Official; and,
 - VI. THAT grants approved **SHALL LAPSE** and **BE UNCOMMITTED** if the applicant has not completed the work and fulfilled the conditions within 2 years of the approval date.

Carried.

Report Number: S 2/2026

Clerk's File: Z/13251

12. COMMITTEE MATTERS

None presented.

13. QUESTION PERIOD

None registered.

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14. ADJOURNMENT

There being no further business the meeting of the Development & Heritage Standing Committee (Administrative items) is adjourned at 6:04 o'clock p.m. The next meeting of the Development & Heritage Standing Committee will be held on March 2, 2026.

Carried.

Ward 10 – Councillor Jim Morrison
(Chairperson)

Deputy City Clerk / Supervisor of
Council Services

Subject: Request for Community Heritage Fund – 3056 Alexander Avenue (Sandwich HCD) (Ward 2)

Reference:

Date to Council: March 2, 2026
Author: Tracy Tang, MCIP, RPP
Planner III – Heritage (A)
Email: ttang@citywindsor.ca
Phone: 519-255-6543 X 6179

Sisi-Reyna Lee
Community Development Planning Assistant
Email: slee@citywindsor.ca
Phone: 519-255-6543 X 6438
Planning & Building Services
Report Date: 2/5/2026
Clerk's File #: MBA/15108

To: Mayor and Members of City Council

Recommendation:

- I. THAT the request for a Heritage Permit under Section 42 (1) 1. of the *Ontario Heritage Act* for the repair and restoration of the single detached dwelling at 3056 Alexander Avenue **BE GRANTED** as per plans in Appendix 'A' of this report;
- II. THAT the City Planner or designate **BE DELEGATED** the authority to approve any further proposed changes associated with the proposed scope of work for the repair and restoration of the single detached dwelling;
- III. THAT a total grant of 30% of the cost of the repair and restoration works, to an upset amount of \$12,374 from the Community Heritage Fund (Reserve Fund 157) **BE GRANTED** to the Owner of 3056 Alexander Avenue, subject to:
 - a. Submission of conservation details, technical details, and samples (including material and colour selections) to the satisfaction of the City Planner or designate prior to work start;
 - b. Determination by the City Planner that the work is completed to heritage conservation standards and adheres to the details and plans as outlined in the Heritage Permit application;
 - c. Owner's submission of paid receipts for work completed; and

- d. That the Community Heritage Fund (Reserve Fund 157) grants approved shall lapse if the applicant has not completed the work and fulfilled the conditions within 2 years of the approval date.

Executive Summary:

N/A

Background:

City Council passed the Sandwich Heritage Conservation District (HCD) in January 2009. The Designation and related by-laws became effective on October 19, 2012. The subject property is a standard-sized residential lot located within the Sandwich HCD and therefore designated under Part V of the *Ontario Heritage Act (OHA)*. The property is recognized on the Windsor Municipal Heritage Register as a c.1930 house notable for its Tudor Revival architectural style and clipped gables.

The Property Owner, Satveer Dhaliwal, is proposing to restore the existing single detached dwelling structure, including interior elements and exterior elements such as the brick masonry, windows, gutter system, and rear second-storey balcony. A Heritage Permit is required for the alteration of the Part V heritage designated property at 3056 Alexander Avenue. The applicant Deep Patel, on behalf of the Property Owner, has submitted a complete Heritage Permit application with architectural drawings, elevations, product information, and floor plans on February 2, 2026. The Heritage Permit application package can be found in Appendix 'A'. The Owner is also applying for heritage financial incentives under the Community Heritage Fund (CHF) for eligible heritage repair and restoration works. The CHF application package and rationale letter are included in Appendix 'B'.



Photos of the front façade of the subject property (taken by City Staff on December 5, 2025).

Legal Provisions:

Heritage designations apply to the entire real property and alterations such as the proposal has the potential to impact the heritage character of the Sandwich HCD and thus needs to be evaluated.

As authorized by Section 42 of the *OHA* and provided by the Sandwich HCD guidelines, a Heritage Permit is to be reviewed by the Windsor Heritage Committee followed by City Council consideration and decision for major projects such as proposed demolitions, new buildings, and major alterations. The *OHA* requires Council to make a decision to grant or refuse the permit applied for, with terms and conditions attached, within 90 days of the City providing the Property Owner notice that it has received the information necessary to make a decision. Council also has the option to further delegate the item to an employee or official of the municipality. The delegation of final details would be more expediently handled through staff review and approval.

Part IV, 39 (1) of the *OHA* provides that “The council of a municipality may pass by-laws providing for the making of a grant or loan to the owner of a property designated under this Part for the purpose of paying for the whole or any part of the cost of alteration of such designated property on such terms and conditions as the council may prescribe.” The City’s Community Heritage Fund (Reserve Fund 157) exists to provide grants to heritage conservation works on designated heritage properties.

Discussion:

Property Description:

The subject property at 3056 Alexander Avenue contains a two-storey single detached brick dwelling. The property is located within the Sandwich HCD, on the north side of Alexander Avenue between Rosedale Avenue and Detroit Street. The property is located within a Mature Neighbourhood as per Schedule A-1 Special Policy Areas of the Windsor Official Plan. The building features Tudor Revival architectural influences, such as an asymmetrical front façade with clipped gable roofs, original variegated red-brown brick exterior, wood-framed windows, and a raised front porch with brick columns. A small second storey balcony is located at the rear of the building.

The Sandwich HCD Plan describes in Section 2.2.2 Residential Characteristics that “Rosedale / Alexander / Indian Road area has specific features that are distinct to this area and contribute to its visual coherence (brick construction, porches, Tudor details, streetscape trees and medians)”. The structure maintains its original massing, roofline, and architectural elements, contributing to the cohesive heritage character of the surrounding streetscape.



Photo of the streetscape on Alexander Avenue, showing the front facades of the subject property and adjacent properties (taken by City Staff on December 5, 2025).

Proposal:

Exterior Repairs, Restorations, and Replacements

There are a number of repair and restoration works that the Property Owner wishes to undertake to maintain and upkeep their property. The Property Owner noticed deterioration of the building over time, due to weathering and aging. The building's brick walls exhibit significant bulging and deterioration, especially around the windows. Bricks have fallen, become misaligned, and are missing mortar. The rear balcony displays signs of extensive deterioration, wear, rotting, and structural stress as the wood under siding and pickets are peeling and falling apart. The Property Owner also intends to replace the original wood windows and replace the eavestroughs, downspouts, and gutter system. The existing building is currently experiencing levels of deterioration, however it is structurally sound and retains key heritage features and attributes.



Areas of the building's façade that is experiencing bulging, deterioration, and missing mortar (taken by City Staff on December 5, 2025).

The proposed scope of work includes:

- Brick and mortar repair and repointing:
 - Removing damaged brick units, replacing with new bricks to match existing
 - In heavily affected sections with loose bricks: deconstructing the brick façade to clean, salvage, reuse, and relay existing bricks
 - In other locations: repointing with Type O (350 psi) or Type N (750 psi) mortar to repair the alignment, depending on the specific conditions of the existing mortar
- Front porch repair and replacement, including concrete steps, black aluminum railings, and brick columns

- Rear balcony repairs and replacement, including replacing weakened joists, beams, and concrete supports, replacing wooden elements with pressure-treated lumber, and repairing concrete elements with high-strength patching material
- Copper gutter, downspout, and eavestrough system removal and replacement with new heavy-duty aluminum gutter system finished in black colour
- Wood window removal and replacement with new vinyl Energy Star double-hung windows in a style that preserves the building's character, finished in black colour



Proposed front and rear elevations of the property (provided by Property Owner).

The works proposed for the exterior restoration works follow the *Standards & Guidelines for Conservation of Historic Places in Canada*. Standards 7, 8 and 13 are listed below.

7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an intervention.
8. Maintain *character-defining elements* on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving *prototypes*.
10. Repair rather than replace *character-defining elements*. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.

The proposed works are also in adherence to the relevant policies and considerations from the Sandwich HCD, notably Section 4.2 Additions and Alterations to Existing Buildings and Section 7.4 Alterations.

Section 4.2: Additions & Alterations to Existing Buildings

- a) Minor exterior alterations and additions to buildings shall be permitted provided such alterations are not within any front or exterior side yard
- b) Design guidelines provided in Sections 7 of this Plan will be used to review and evaluate applications for additions and alterations to ensure that the proposed changes are compatible with the existing building and do not result in the irreversible loss of heritage attributes

Section 7.4: Alterations

- Potential alterations should be preceded by a period of research into the original style and appearance of the building
- Conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence from the building itself;
- Before beginning any alteration, record the pre-existing state of the building through drawings, notes and photographs. “Before and after” photographs can often be a source of pride for the owner and builder
- If it is impossible to restore an original aspect of the building, the replacement should approximate the original in style, size and proportion

The above policies were used as the main basis for information requirements to be submitted for Council’s consideration for the Heritage Permit application. The proposal as submitted does not appear to adversely impact the Sandwich HCD or Mature Neighbourhood vernacular. Heritage Planning Staff would also continue the discussion about material and colour selections and require satisfactory final product information to be provided as a condition of the approval. A Building Permit is required for the restoration and balcony repair, which the Owner may proceed with should Council approve the request for a Heritage Permit application.

Official Plan Policy:

Chapter 9 of the City of Windsor Official Plan, Heritage Conservation, includes the following objectives and policies related to the recognition, conservation, and enhancement of heritage resources:

<i>MODIFICATION APPROVAL</i>	9.3.4.1	Council will protect heritage resources by: (c) Requiring that, prior to approval of any alteration, partial demolition, removal or change in use of a designated heritage property, the applicant demonstrate that the proposal will not adversely impact the heritage significance of the property and/or its Heritage Conservation District”
<i>PRIVATE INITIATIVES</i>	9.3.6.1	Council will manage heritage resources by: (e) providing support and encouragement to organizations and individuals who undertake the conservation of heritage resources by private means”

Community Heritage Fund (CHF)

The Community Heritage Fund (CHF) guidelines include the following:

“As a general principle, awards will be limited to a maximum of \$50,000 unless the DHSC (Development & Heritage Standing Committee) so recommends and Council approves.” The award from the Community Heritage Fund is generally given according to the following formula: 15% of the award in the form of a grant”. In this particular case, the applicant is asking for a 50% grant approval. As well, the Community Heritage Fund asks for “a minimum of two cost estimates, based on specifications approved by the DHSC and the City Planner or Designate, shall be obtained by the Owner for all restoration work to be done.” The estimates will then be reviewed to ensure that all work specified is covered. The lower bid will usually be recommended for funding.”

TOTAL SUMMARY (inclusive of HST)	
Quote from Vendor (A&A Warehouse INC)	Cost in CDN
Brickwork/Masonry Repair	\$ 24,500
Front Porch Repair and Reinforcement	\$ 12,000
Total (with HST)	<u>\$ 41,245</u>
TOTAL SUMMARY (inclusive of HST)	
Quote from Vendor (1000535656 Ontario INC)	Cost in CDN
Brickwork/Masonry Repair	\$ 26,000
Front Porch Repair and Reinforcement	\$ 13,500
Total (with HST)	<u>\$ 44,635</u>

Based on the estimates of the Owner’s preferred qualified vendor, the total cost of the project is anticipated to be \$44,635 inclusive of tax. The Owner is requesting for 50% of the cost of the work to be covered by the CHF due to the increasingly expensive trades work and specialized materials required for heritage restoration. The cost of the work is a significant cost for a private property owner. A heritage financial incentive through the CHF would provide support to the continued conservation of the heritage features of this designated building.

The CHF guidelines define the grant amount as 15% of the total cost of eligible works, typically calculated using the lower bid. In recent years, Council has approved a higher CHF grant of around 30% to other heritage property owners undertaking comparable works. Therefore, Administration recommends for a CHF grant of 30% of the total cost for masonry repairs and front porch repairs using the quote from the lower bid to be awarded to the Property Owner.

Risk Analysis:

Risk of inappropriate alterations within the Sandwich HCD is being mitigated through the Heritage Permit application process and conditions. The work is necessary to address structural deterioration, ensure compliance with current safety and property standards, and preserve the historic character of the property. No city funds will be

expended until the project is determined by Planning Staff to be completed according to good heritage practices. Conditions of this determination include provision of technical information through details within the quote, and request for provision of material samples and product information to ensure that the work is heritage appropriate prior to disbursement of the funds.

The risk of taking no action for this scope of work is the potential further deterioration of a Sandwich HCD designated property, contributing to the neighbourhood blight and stigma.

Climate Change Risks

Climate Change Mitigation:

N/A

Climate Change Adaptation:

N/A

Financial Matters:

As of February 3, 2026, the Community Heritage Fund (Reserve Fund 157) has an uncommitted balance of \$184,402 available (including the safeguard of having the minimum balance of \$50,000 in the committed funds). Therefore, there is sufficient funds in Fund 157 to cover the cost of the repair and restoration project. Administration recommends that the amounts of 30% of the cost of eligible works inclusive of HST, to an upset amount of \$12,374, be provided for the repair project.

The applicant has also applied for the Neighbourhood Residential Rehabilitation Grant program and the Development and Building Fees Grant Program under the Sandwich Town Community Improvement Plan (CIP) to aid in funding the proposed restorations and replacements. This request is being handled under the cover of a separate concurrent report, CAO 171-2025. The total combined grants requested under the CHF and Sandwich Town CIP are not to exceed the total eligible costs.

Consultations:

City Staff have been consulting with the Applicant on behalf of the Property Owner in recent months. A site visit was conducted on December 5, 2025 with the Applicant to visually assess and document the property conditions. Michael Okanlawon, Financial Planning Administrator, assisted with confirmation of fund balance. Kevin Alexander, Senior Planner – Special Projects, Planning and Development Department, Aaron Farough, Senior Legal Counsel, Legal Department, and Building Department Staff were consulted in the preparation of this report.

Conclusion:

The Heritage Permit request for the exterior repairs and restoration of the single detached dwelling at 3056 Alexander Avenue is recommended for approval, subject to conditions. A total grant amount of 30% of the cost of the eligible heritage works to upset amount of \$12,374 from the Community Heritage Fund (Reserve Fund 157) is recommended to be approved, subject to conditions. Further heritage alteration

approvals necessitated for this scope of work are recommended to be delegated to the City Planner or designate to direct further conservation details.

Planning Act Matters:

N/A

Approvals:

Name	Title
Tracy Tang	Planner III – Heritage (A)
Jason Campigotto	Deputy City Planner – Growth (A)
Emilie Dunnigan	Manager, Development Revenue & Financial Administration
Lorie Gregg	Executive Director, Financial Planning/Deputy Treasurer
Aaron Farough	Senior Legal Counsel, Legal & Real Estate
Neil Robertson	City Planner
Jelena Payne	Deputy CAO/Commissioner, Economic Development
Janice Guthrie	Commissioner, Finance and City Treasurer
Ray Mensour	Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:

- 1 Appendix A - Heritage Permit Application
- 2 Appendix B - Community Heritage Fund Application
- 3 Appendix C - Additional Photos of 3056 Alexander Ave

APPLICATION TYPE

Minor Heritage Permit
(Delegated Authority Approval)

Major Heritage Permit
(City Council Approval)

Demolition

1. APPLICANT, REGISTERED OWNER, AND AGENT INFORMATION

Provide in full the name of the applicant, registered owner and agent, the name of the contact person, and address, postal code, phone number, and email address. If the applicant or registered owner is a numbered company, provide the name of the principals of the company. If there is more than one applicant or registered owner, copy this page, complete in full and submit with this application.

APPLICANT

Contact Name(s) Deep Patel

Company or Organization 1000535656 Ontario INC.

Mailing Address 1635 California Ave

City, Province Windsor Postal Code N9B3A4

Email info.dnhomes@gmail.com Phone(s) 6472127567

REGISTERED OWNER IF NOT APPLICANT

Contact Name(s) Satveer Singh Dhaliwal

Company or Organization _____

Mailing Address [REDACTED]

City, Province [REDACTED] Postal Code [REDACTED]

Email [REDACTED] Phone(s) [REDACTED]

AGENT AUTHORIZED BY REGISTERED OWNER TO FILE THE APPLICATION

Contact Name(s) Deep Patel

Company or Organization 1000535656 Ontario INC.

Mailing Address 1635 California Ave

City, Province Windsor Postal Code N9B3A4

Email info.dnhomes@gmail.com Phone(s) 6472127567

Who is the primary contact?

Applicant

Registered Owner

Agent

2. SUBJECT PROPERTY

Municipal Address: 3056 Alexander Ave _____

Legal Description (if known): PLAN 1073 LOT 37; 4000.00SF 40.00FR 100.00 _____

Building/Structure Type:

Residential Commercial Industrial Institutional

Heritage Designation:

Part IV (Individual) Part V (Heritage Conservation District)

By-law #: _____ District: Sandwich HCD _____

Is the property subject to a Heritage Easement or Agreement?

Yes No

3. TYPE OF APPLICATION

Check all that apply:

Demolition/Removal of heritage attributes Addition Erection Alteration*
 Demolition/Removal of building or structure Signage Lighting

*The *Ontario Heritage Act's* definition of "alter" means to change in any manner and includes to restore, renovate, repair or disturb.

4. HERITAGE DESCRIPTION OF BUILDING

Describe the existing design or appearance of buildings, structures, and heritage attributes where work is requested. Include site layout, history, architectural description, number of storeys, style, features, etc..

3056 Alexander Ave is two- storey detached brick home. The House features a gabled roof, original red brick exterior, wood- front framed windows, and a raised front porch with columns. A small second storey balcony is located at the rear. The structure maintains its original massing, roofline, and architectural elements, contributing to the cohesive heritage character of the surrounding streetscape.

5. PROPOSED WORK

Provide a detailed written description of work to be done, including any conservation methods you plan to use. Provide details, drawings, and written specifications such as building materials, measurements, window sizes and configurations, decorative details, etc.. Attach site plans, elevations, product spec sheets, etc. to illustrate, if necessary.

- A. Repair: Masonry wherever it is bulging and needing repairs we will definitely consider using either Type O mortar (350 psi) or Type N mortar (750 psi), depending on the specific conditions and requirements of the project.
- B. Remove and replace: Windows (current windows material is made up of old style wood frame with glass façade and condition of the existing window is bad as wood started rotting from outside and we are facing difficulty to open it and we are replacing them with new double hung vinyl windows which is black in color)
- C. Repair: Front porch steps will be finish with concrete, black aluminum railings, and columns will be finished with brick
- D. Remove and replace new aluminum Gutter and downspout system with black color
- E. Repair: 2nd Storey rear balcony that is showing signs of wear and structural stress which was originally from 19's we will try to match same style with the use of pressure lumber

6. HERITAGE PERMIT RATIONALE

Explain the reasons for undertaking the proposed work and why it is necessary.

The work is necessary to address structural deterioration, improve safety, and preserve the homes historic character, ensuring it remains functional, weatherproof, and visually consistent with the heritage district.

Describe the potential impacts to the heritage attributes of the property.

The proposed work will have minimal impact on heritage attributes, as original materials, styles, and configurations will be matched to preserve the building's historic appearance and architectural integrity.

7. CHECKLIST OF MATERIALS SUBMITTED Check all that apply:

Required:

- Photographs (showing the current condition and context of existing buildings, structures, and heritage attributes that are affected by the application)
- Site plan/ Sketch (showing buildings on the property and location of proposed work(s))
- Architectural drawings of proposed work(s) (e.g. existing and proposed elevations, floor plans, roof plans, etc., as determined by Heritage Planning staff)
- Specifications of proposed work(s) (e.g. construction specification details)

Potentially required (to be determined by Heritage Planning staff):

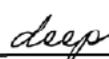
- Registered survey
- Material samples, brochures, product data sheets etc.
- Cultural Heritage Evaluation Report
- Heritage Impact Assessment (HIA)
- Heritage Conservation Plan
- Building Condition Assessment

8. NOTES FOR DECLARATION

The applicant hereby declares that the statements made herein and information provided are, to the best of their belief and knowledge, a true and complete representation of the purpose and intent of this application.

The applicant agrees that the proposed work shall be done in accordance with this application, including attachments, and understands that the issuance of the Heritage Alteration Permit under the Ontario Heritage Act shall not be a waiver of any of the provisions of any By-Law of the Corporation of the City of Windsor, or the requirements of the Building Code Act, RSO 1980, c51.

The applicant acknowledges that in the event a permit is issued, any departure from the conditions imposed by the Council of the Corporation of the City of Windsor, or plans and specifications approved is prohibited and could result in the permit being revoked. The applicant further agrees that if the Heritage Alteration Permit is revoked for any cause of irregularity, in the relation to non-conformance with the said agreements, By-Laws, acts or regulations that, in consideration of the issuance of the permit, all claims against the City for any resultant loss or damage are hereby expressly waived.

 <hr style="border: 1px solid black;"/>	<hr style="border: 1px solid black;"/> <p>02-nov-2025</p>
<p>Signature of Applicant(s)</p>	<p>Date</p>
 <hr style="border: 1px solid black;"/>	<hr style="border: 1px solid black;"/> <p>02-nov-2025</p>
<p>Signature of Applicant(s)</p>	<p>Date</p>

SCHEDULE A

A. Authorization of Registered Owner for Agent to Make the Application

If the applicant is not the registered owner of the land that is the subject of this application, the written authorization of the registered owner that the applicant is authorized to make the application must be included with this application form or the authorization below must be completed.

I, Satveer Singh Dhaliwal, am the registered owner of the land that is
name of registered owner

subject of this application for a Heritage Alteration Permit and I authorize

Deep Patel to make this application on my behalf.
name of agent

sd

Signature of Registered Owner

02-nov-2025

Date

If Corporation – I have authority to bind the corporation.

B. Consent to Enter Upon the Subject Lands and Premises

I, Satveer Sign Dhaliwal, hereby authorize the members of the Windsor Heritage Committee and City Council and staff of the Corporation of the City of Windsor to enter upon the subject lands and premises described in Section 3 of the application form for the purpose of evaluating the merits of this application and subsequently to conduct any inspections on the subject lands that may be required as condition of approval. This is their authority for doing so.

sd

Signature of Registered Owner

02-nov-2025

Date

If Corporation – I have authority to bind the corporation.

C. Acknowledgement of Applicant

I understand that receipt of this application by the City of Windsor Planning Department does not guarantee it to be a complete application. Further review of the application will occur and I may be contacted to provide additional information and/or resolve any discrepancies or issues with the application as submitted.

I further understand that pursuant to the provisions of the *Ontario Heritage Act* and the *Municipal Freedom of Information and Protection of Privacy Act*, this application and all material and information provided with this application are made available to the public.

deep.

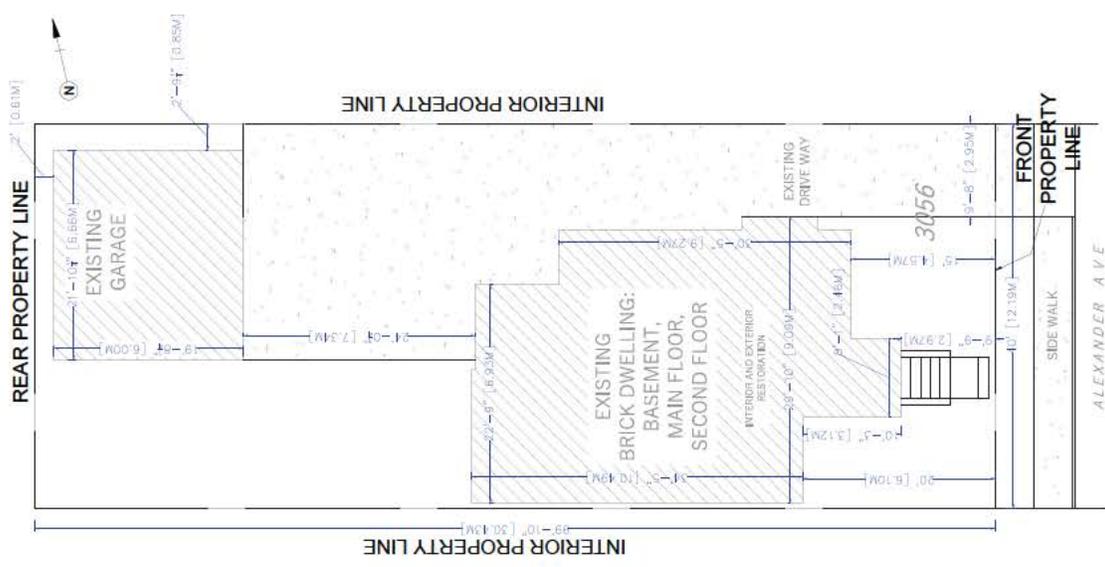
Signature of Applicant

02-nov-2025

Date



LOT AREA: 3993.20 SQ FT (370.70 SQ.M)
TOTAL PROPOSED FOOTPRINT : EXISTING
GROSS FLOOR AREA: EXISTING
BUILDING HEIGHT: EXISTING



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- LAUNDRY FIXTURES SHALL COMPLY WITH OBC 9.31.4.2.
 - Laundry facilities or a space for laundry facilities shall be provided in every dwelling unit or independent suite in the building in a location deemed acceptable to occupants of every dwelling unit.
 - NATURAL VENTILATION OF TABLE 11.5.1.1.C.
 - INTERIOR VENTILATION SHALL COMPLY WITH OBC 9.32.2.1 AND PART 11 COMPLIANCE - C184 OF TABLE 11.5.1.1.C.
 - Part 9.
 - The unobstructed, operable, ventilation area to the outdoors for rooms and spaces in a residential building shall conform to Table 9.32.2.1.
 - PART 11 (COMPLIANCE ALTERNATIVE):
(a) In a house, rooms, or spaces to be ventilated by natural means in accordance with Subsection 9.32.2. or by providing adequate mechanical ventilation.
 - ELECTRICAL FACILITIES
ELECTRICAL FACILITIES SHALL COMPLY WITH OBC 9.34.
 - INTERCONNECTION OF SYSTEMS INTERCONNECTION OF SYSTEMS SHALL COMPLY WITH OBC 9.2.3.9 AND PART 11 COMPLIANCE - C17 OF TABLE 11.5.1.1.C.
 - Part 6.
(a) In a residential occupancy, air from one suite shall not be circulated to any other suite or to a public corridor or public hallway.
 - PART 11 (COMPLIANCE ALTERNATIVE): In a building containing not more than four dwelling units or suites, the existing mechanical system may be used for the heating and cooling of the building, provided that a carbon monoxide detector is installed in the supply or return air duct system serving the entire building which would turn off the fuel supply and electrical power to the heating system upon activation of such detector.
 - PENETRATIONS
PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A FIRE SEPARATION MUST BE NON-COMBUSTIBLE AND FIRE STOPPED.
 - PLUMBING
ALL PLUMBING MUST CONFORM TO OREG 320112, DIV. 8 PART 7 OF THE BUILDING CODE
 - HANDRAILS AND GUARDRAILS
INSTALL, HANDRAILS AND GUARDRAILS IN ACCORDANCE WITH 9.8.7. AND 9.8.8 OF THE BUILDING CODE RESPECTIVELY.
- PART 11 (COMPLIANCE ALTERNATIVE):**
Carbon monoxide alarms may be battery operated or plugged into an electrical outlet.
7. FIRE-RESISTANCE RATINGS FOR WALLS, COLUMNS AND ARCHES FIRE-RESISTANCE RATINGS FOR WALLS, COLUMNS AND ARCHES SHALL COMPLY WITH OBC 9.10.8.3 AND PART 11 COMPLIANCE - C17 OF TABLE 11.5.1.1.C.
- PART 9:**
(1) Except as otherwise provided in this Subsection, all load bearing walls, columns, and arches in a building shall have a fire-resistance rating of not less than that required for the supported floor or roof assembly.
- PART 11 (COMPLIANCE ALTERNATIVE):**
(a) In a house, 15 min horizontal fire separation is acceptable.
(b) In a house, 15 min horizontal fire separation is acceptable where:
(i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19, and
(ii) smoke alarms are interconnected.
- SEPARATION OF SERVICE ROOMS**
SEPARATION OF SERVICE ROOMS SHALL COMPLY WITH OBC 9.10.4.
- PART 9:**
9.10.10.1. Appliances and Equipment to be Located in a Service Room
(1) Except as provided in Sentences (2) and (3) and Article 9.10.10.5., fuel-fired appliances shall be located in a service room separated from the remainder of the building by a fire separation having not less than 1 h fire-resistance rating.
(2) Except as required in the appliance installation standards referenced in Sentences 8.2.1.4 (1) and 9.31.2.1 (1), fuel-fired space heating appliances, space-cooling appliances and service water heaters need not be separated from the remainder of the building as required in Sentence (1) where the equipment serves:
(a) not more than one room or suite,
(b) a house, or other than a house, with a building area of not more than 400 m² and a building height of not more than 2 storeys,
(c) a service room.
(3) Sentence (1) does not apply to fireplace and cooling appliances.
- SEPARATION OF RESIDENTIAL SUITES**
SEPARATION OF RESIDENTIAL SUITES SHALL COMPLY WITH OBC 9.10.9.14 AND PART 11 COMPLIANCE - C184 OF TABLE 11.5.1.1.C.
- PART 9:**
(1) Except as provided in Sentences (2) and (3) and Article 9.10.2.1.2., suites in residential occupancies shall be separated from adjacent rooms and suites by a fire separation having a fire-resistance rating of not less than 45 min.
(1.1) Sleeping rooms in boarding, lodging or rooming houses where sleeping accommodation is provided for not more than 8 boarders or lodgers shall be separated from the remainder of the floor area by a fire separation having a fire-resistance rating of not less than 30 min where the sleeping rooms form part of the proprietor's residence and do not contain cooking facilities.
(2) Except as provided in Sentences (4) and (5), dwelling units that contain 2 or more storeys including basements shall be separated from the remainder of the building by a fire separation having a fire-resistance rating of not less than 1 h.
(3) Except as provided in Sentence (5), dwelling units in a house shall be separated from each other and common areas by a fire separation having a fire-resistance rating of not less than 45 min.
(4) The fire-resistance rating of the fire separation required in Sentence (4) is permitted to be waived where the house is sprinklered.
(5) Sentence (4) does not apply to:
(a) a house, or other than a house, with a fire-resistance rating of not less than 45 min.
(b) a house, 15 min horizontal fire separation is acceptable where:
(i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19, and
(ii) smoke alarms are interconnected.
(c) In a house, the fire-resistance rating of the fire separation is waived where the building is sprinklered.
- 10. CLOSURES (DOORS)**
CLOSURES SHALL COMPLY WITH OBC 9.10.13.1 AND PART 11 COMPLIANCE - C165 OF TABLE 11.5.1.1.C.
- PART 9:**
(1) Except as provided in Article 9.10.13.2., openings in required fire separations shall be provided with fire-rated doors in accordance with the requirements of the Building Code with respect to Doors and Other Opening Protective, unless otherwise specified in this Part.
- 11. PART 11 (COMPLIANCE ALTERNATIVE):**
Existing functional closures are acceptable subject to C.A.'s C8 and C168.
(a) Existing functional and sound doors in existing buildings that are either hollow metal or laminated and containing wired glass at least 6 mm thick and conforming to Sentence 3.1.8.14.(2) are permitted in lieu of doors not required to exceed 45 min.
(b) All existing functional and sound hollow metal or laminated doors which carry existing 1.5 h labels are acceptable in lieu of current 1.5 h labels and may contain wired glass panels not exceeding 0.0645 m², at least 6 mm thick and conforming to Sentences 3.1.8.14.(2), and
(c) every fire door, window assembly or glass block used as a closure in a required fire separation shall be installed in conformance with good engineering practice. In a house, existing unlabeled doors at least 45 min solid core wood or metal clad are acceptable. For existing closures, range of 20 min will not be required where the entire floor area is sprinklered.

PROJECT DETAILS
RESTORATION AND REMODELING

LOCATION
3056 ALEXANDER AVE.
WINDSOR, ON

DRAWING
PROPOSED FLOOR PLANS 1

CLIENT
PRIVATE DWELLING

SCALE
N.T.S.

DRAWING NO.
A-4.0

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DATE:

COMMENTS

HVAC, PLUMBING, MECHANICAL, DESIGNED BY OTHERS.
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE DESIGNER IMMEDIATELY.
THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE CONTRACTOR OR HIS SUBMITTALS FAILURE TO CARRY OUT THE WORK ACCORDING TO PLANS, SPECIFICATIONS AND RELATED DOCUMENTS.
CONSTRUCTION MUST COMPLY WITH THE LATEST STANDARDS OF THE ONTARIO BUILDING CODE AND ANY OTHER APPLICABLE LAWS.
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND ARE PROTECTED BY COPYRIGHT.



LEGEND

- FOUNDATION WALL - EXISTING INTERIOR PARTITION WALLS FINISHED WITH FLOOR WALL
- INTERIOR PARTITION WALLS - FINISHED WITH FLOOR WALL
- EXTERIOR WALL ASSEMBLY - EXISTING EXTERIOR WALLS FINISHED WITH EXTERIOR WALL
- DRY STACK MASONRY - FINISHED WITH INTERIOR WALL ASSEMBLY TO O.B.C. REQUIREMENTS
- MASONRY - FINISHED WITH EXTERIOR WALL ASSEMBLY TO O.B.C. REQUIREMENTS
- CONCRETE - FINISHED WITH INTERIOR WALL ASSEMBLY TO O.B.C. REQUIREMENTS
- ATTIC SPACE ACCESS HATCH TO 30" O.D. MAX. INSTALLED ACCORDING TO O.B.C. REQUIREMENTS

LINTEL DETAILS

L1	2-2'X6"	LINTELS UP TO 48" OPENING
L2	2-2'X12"	LINTELS UP TO 90" OPENING

NOTES

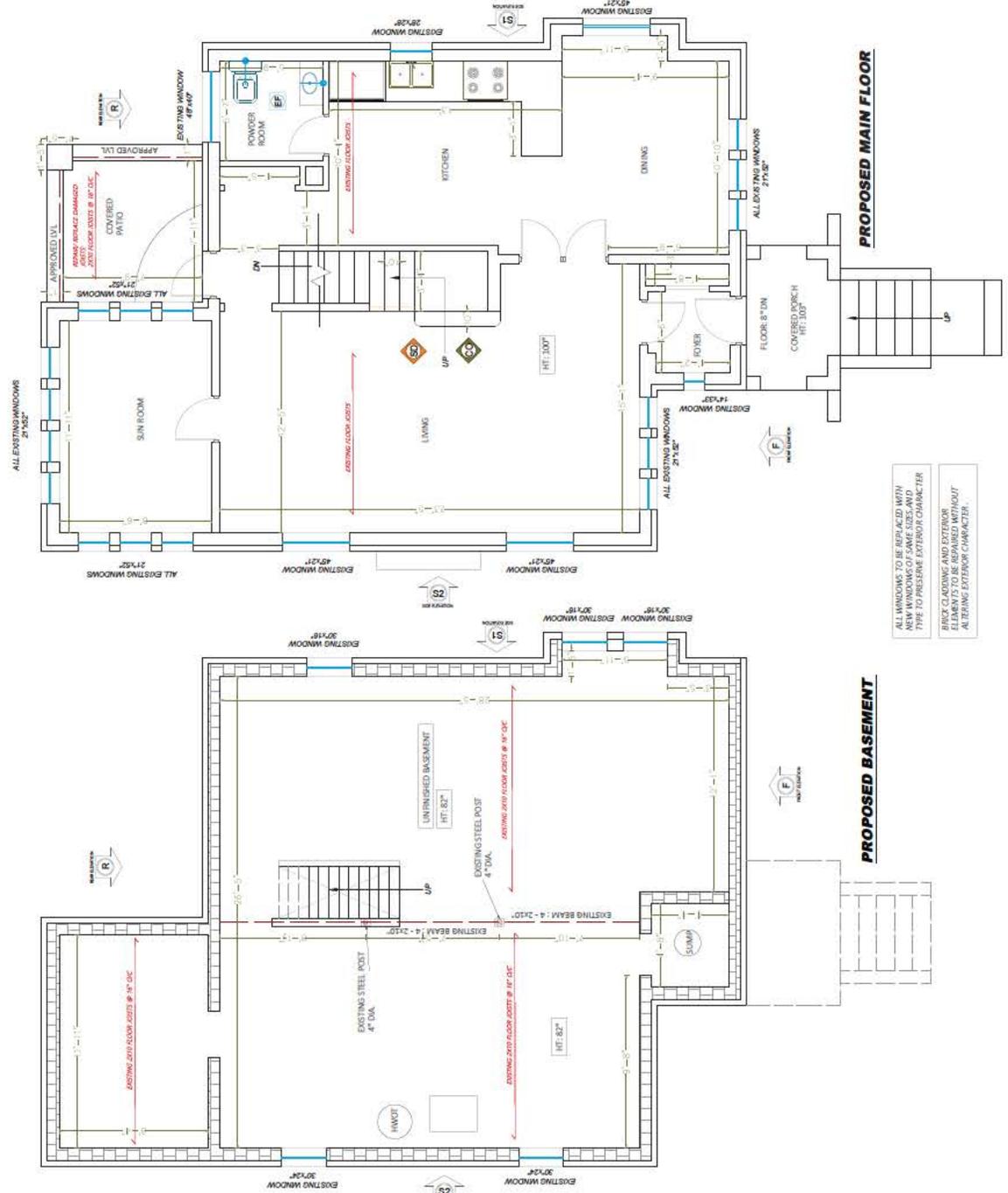
G.C. TO VERIFY ALL DIMENSIONS as per site, bring to the notice of designer before commencement of the work.
HVAC, Plumbing, Mechanical, Roof, Kitchen and any other services designed by others.
G.C. TO INSTALL SLUMP AND BACK FLOW PREVENTION VALVE WHERE REQUIRED BY THE CITY.

Any damaged or deteriorated load-bearing member shall be promptly repaired to its engineer.



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PROPOSED MAIN FLOOR

PROPOSED BASEMENT

ALL WINDOWS TO BE REPLACED WITH ALUMINUM CLADDING TO PRESERVE EXTERIOR CHARACTER.
BRICK CLADDING AND EXTERIOR ELDREN IS TO BE REPAIRED WITHOUT ALTERING EXTERIOR CHARACTER.

PROJECT DETAILS
RESTORATION AND REMODELING

LOCATION
3056 ALEXANDER AVE.
WINDSOR, ON

DRAWING
PROPOSED FLOOR PLANS 2

CLIENT
PRIVATE DWELLING

SCALE N.T.S.
DRAWING NO. A-5.0

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NO. LETTER
ISSUE FOR
1-

DATE:

COMMENTS

HVAC, PLUMBING, MECHANICAL, DESIGNED BY OTHERS.
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE DESIGNER IMMEDIATELY.
THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE CONTRACTOR OR HIS SUBMITTALS FAILURE TO CARRY OUT THE WORK ACCORDING TO PLANS, SPECIFICATIONS AND RELATED DOCUMENTS.
CONSTRUCTION MUST COMPLY WITH THE LATEST STANDARDS OF THE ONTARIO BUILDING CODE AND ANY OTHER APPLICABLE LAWS.
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND ARE PROTECTED BY COPYRIGHT.



LEGEND

- FOUNDATION WALL - REINFORCED CONCRETE
- EXISTING INTERIOR PARTITION WALLS - FINISHED WITH PLASTER
- EXTERIOR WALL ASSEMBLY - CONCRETE BLOCK WITH FINISH
- DRY STACK MASONRY - FINISHED WITH PLASTER
- FIRE-RATED WALL - FINISHED WITH PLASTER
- FIRE-RATED DOOR - FINISHED WITH PLASTER
- FIRE-RATED WINDOW - FINISHED WITH PLASTER
- ATTIC SPACE ACCESS HATCH - 30" DIA. MAX. INSTALLED ACCORDING TO O.B.C. REQUIREMENTS

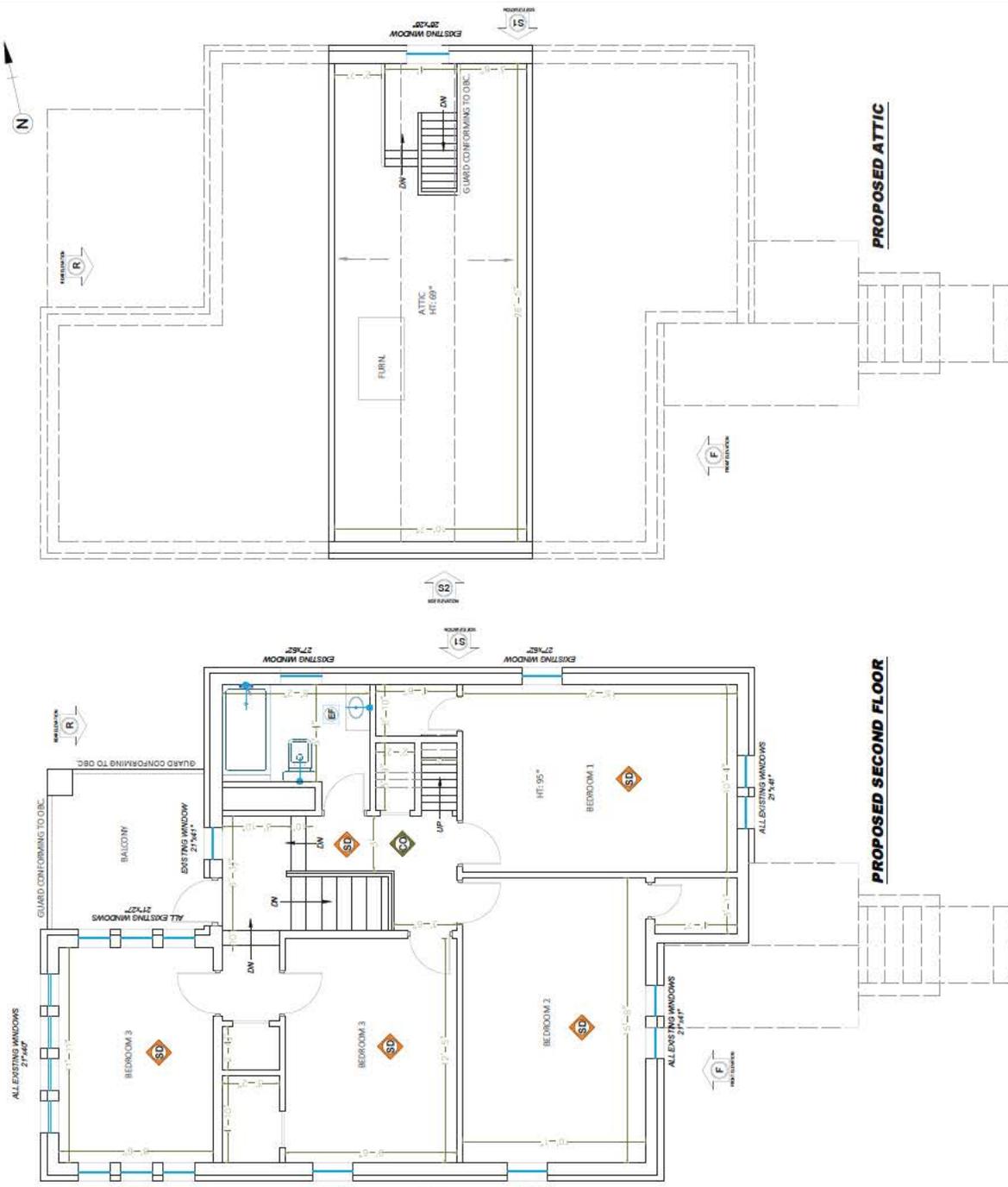
LINTEL DETAILS

L1	2-2'X6"	LINTELS UP TO 45° OPENING
L2	2-2'X12"	LINTELS UP TO 90° OPENING

NOTES

G.C. TO VERIFY ALL DIMENSIONS as per site, bring to the notice of designer before commencement of the work.
HVAC, Plumbing, Mechanical, Roof, Kitchen and any other services designed by others.
G.C. TO INSTALL SLUMP AND BACK FLOW PREVENTION VALVE WHERE REQUIRED BY THE CITY.

Any damaged or deteriorated load-bearing member shall be promptly repaired to the engineer.



+1 226.961.3302 contact@p-cubedesign.com www.p-cubedesign.com
Structural | Architectural | Legal basement & ADUs | Building permits

PROJECT DETAILS
RESTORATION AND REMODELING

LOCATION
3056 ALEXANDER AVE.
WINDSOR, ON

DRAWING
ELEVATIONS

CLIENT
PRIVATE DWELLING

SCALE N.T.S.
DRAWING NO. A-6.0

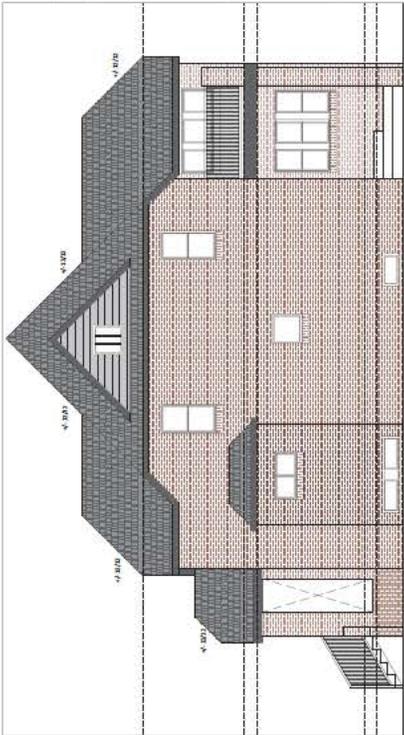
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NO. LETTER ISSUE FOR - BUILDING PERMIT

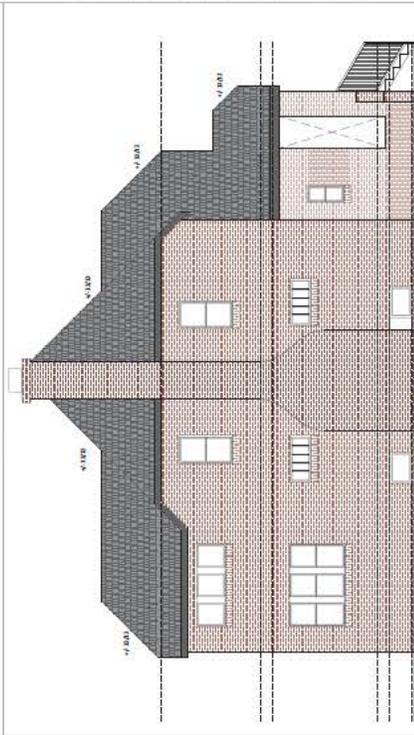
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COMMENTS

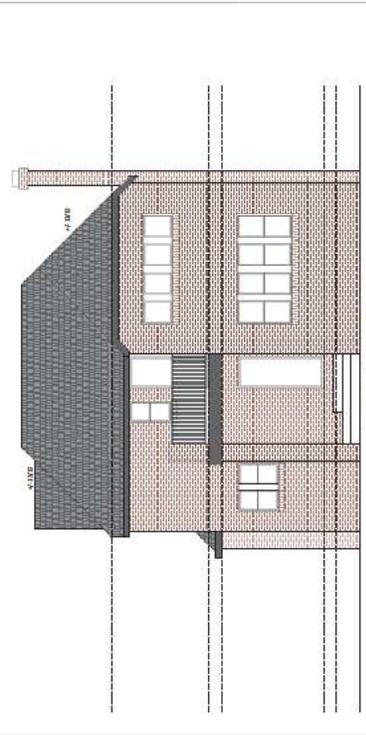
ANY PLUMBING, MECHANICAL, ELECTRICAL OR OTHERS CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE CONTRACTOR'S OMISSIONS, ERRORS, OR OMISSIONS AND NOT REPORTED BY THE CONTRACTOR OR HIS SUBCONTRACTORS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE CONTRACTOR OR HIS SUBCONTRACTORS FAILURE TO CARRY OUT THE WORK ACCORDING TO THE LATEST STANDARDS OF THE ONTARIO BUILDING CODE AND ANY OTHER APPLICABLE LAWS. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND ARE PROTECTED BY COPYRIGHT.



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION

ALL WINDOWS TO BE REPLACED WITH NEW WINDOWS OF SAME SIZES, AND TYPE TO PRESERVE EXTERIOR CHARACTER. BRICK CLADDING AND EXTERIOR ELEMENTS TO BE REPAIRED WITHOUT ALTERING EXTERIOR CHARACTER.

☎ +1 226.961.3302 ✉ contact@p-cubedesign.com 🌐 www.p-cubedesign.com

Structural | Architectural | Legal basement & ADUs | Building permits



Product Information Sheets & Material Specifications

Category	Specification / Description	Colour / Finish
Mortar	Type O mortar (approximately 350 psi) or Type N mortar (approximately 750 psi). Final selection will be based on site conditions and compatibility with the existing masonry to ensure proper performance and longevity.	Natural masonry colour
Windows	Vinyl, energy-efficient, double-hung windows compliant with Energy Star requirements for Ontario. Original window design and proportions will be maintained as closely as possible to preserve the existing character of the building.	Black
Gutters & Downspouts	New gutter and downspout system to replace existing components.	Black
Balcony Finish	Balcony to be finished with natural wood.	Natural wood

ST MARYS PORTLAND CEMENT-LIME

IT'S ALL ABOUT

WORKING TOGETHER

The best guarantee of a good masonry project is a good mason and good masons appreciate great materials. St Marys Portland Cement-Lime is a special formulation of St Marys Portland cement and double hydrated Type SA Lime. Proportioned to meet Type N requirements, it can be used for load-bearing masonry above grade and for masonry applications requiring enhanced bonding characteristics. St Marys Portland Cement-Lime produces a creamy mortar with excellent workability that is especially useful in matching the look and feel of traditional Portland and Lime mortar.

TRADITIONAL PORTLAND CEMENT-LIME MORTAR FOR HISTORIC BUILDINGS

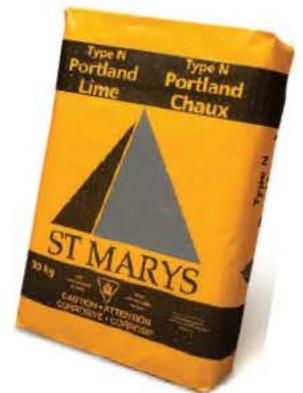
Higher Portland cement contents contribute to excellent bond strength development, which is especially suited to natural stone, manufactured stone and any low absorptive masonry unit applications. Lime adds to the workability and lightens the mortar colour, making St Marys Portland Cement-Lime ideal for matching older buildings originally constructed with a Portland and Lime mortar.

IS CONSISTENCY IMPORTANT?

ASK YOUR ARCHITECT

St Marys Portland Cement-Lime is pre-blended under controlled conditions to ensure exact proportions that meet CSA A179 specifications. The contractor need only add the appropriate amount of sand and water. Pre-blending is an important quality control benefit that ensures the proper amounts of Portland cement and Lime are used with every batch. This produces a homogeneous mix, eliminating variations in strength and colour that site blending can cause. With St Marys Portland Cement-Lime, it is easier to maintain consistency from batch to batch.

N



- 1 part Type N Portland Lime
- 3 parts damp, loose brick sand
- enough water for the desired workability

St Marys Cement has an experienced technical services department ready to provide assistance on any of your Portland Cement-Lime needs.

Canada Sales Office



55 Industrial Street
Toronto, ON M4G 3W9



416.423.1300



www.stmaryscement.com

For more information on [Environmental Product Declarations \(EPD's\)](#), [Safety Data Sheets](#), and [Product Data Sheets](#), contact your sales or technical services representative, or visit the St Marys Cement website at www.stmaryscement.com.



St Marys Cement



THE DEL DIFFERENCE

Canadian owned & operated, with over 100 years of combined industry experience in PVC window and insulated steel door manufacturing, DEL Windows & Doors services quality dealers, architects, lumberyards and wholesalers throughout Ontario with innovative, quality window products for home or office.

We are dedicated to innovation and design, quality manufacturing and excellence in customer service and view our relationships with our employees, customers and suppliers to be long-term partnerships. We are committed to exceeding customer needs and expectations.



delwd.ca

WINDOW PRODUCT GUIDE

LAKEVIEW SERIES



SINGLE & DOUBLE HUNG

Traditional hung windows with an industry leading design. This style provides the greatest ease of cleaning.

 LAKEVIEW SERIES



SINGLE HUNG



DOUBLE HUNG

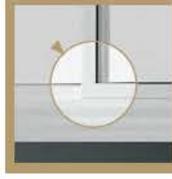
CONSTANT FORCE SASH BALANCES



CONTOUR MEETING RAIL



EQUAL GLASS/EQUAL SASH ROLL AWAY FEATURE



FEATURES

- Fully extruded contoured pull and interlock rails.
- Recessed easy to use tilt latches.
- Constant force sash balances.
- Multiple anchor points.
- Pressure fit contoured heavy-duty overlap screen.
- Glazing tape system creates a bonded seal between glass and PVC frame.
- Equal Glass on top & bottom windows.
- Equal Glass/Equal Sash, candy cane feature (Double Hung).
- Industry leading drainage system with multiple drainage chambers.
- Concealed drainage, backup, weather stripping ports and Interior flush mount couplers.

PRESSURE FIT OVERLAP SCREEN



INDUSTRY LEADING DRAINAGE SYSTEM



RECESSED EASY TO USE TILT LATCHES



 All of our windows meet or exceed ENERGY STAR® specifications and have been energy modeled in accordance with CSA A440.2. For more details, please refer to our technical brochure online. [ENERGY STAR](#)



GLASS OPTIONS



Choosing the correct glass is important for blocking UV light, keeping interiors cooler in summer and reducing heat loss in winter. DEL window glass is supplied by Cardinal Glass. DEL thermal units are supplied with industry best ENDUR IG™ warm edge spacers and are tested to CSA standards.



LoE⁺ 366
Ideal balance of solar control not allowing heat into the house. Excellent U-value.



LoE⁺ 180
Industry Standard Excellent ER ratings.



LoE⁺ 180/89
R4.75 Improves U-Value and ER ratings. Best ER ratings in Dual glazed thermal.



LoE⁺ 270/89
Top Exceptional U-Value. Best Year Round Performance in Dual glazed thermal.



PRESERVE
Protective film that protects glass from scratching in and out.



NEAT
Glass drifts in 1/3 of the time with 99% fewer spots.

LAKEVIEW SERIES

INTERIOR & EXTERIOR FINISHES

DEL Windows provides a range of exterior and interior finishing options to suit any look or budget. Durable vinyl provides protection and maintenance-free beauty over the life of the window.



JAMBS
Vinyl clad interior Jamb for maintenance-free beauty. Available in white, primer, clear, pine, and oak.



BRICKMOLDS
4 brickmold sizes available: 9/16", 1 1/4", 2", 3 1/2"

SPECIALTY GLASS

Textured and tinted glass provides privacy and can beautify the appearance of the interior and exterior of your home.



OBSCURE
Standard Pinhead



SANDBLAST
Satin etch



RAIN
Water effect



GLUE CHIP
Frost-like effect



GREY
Tint

COLOURS

A limitless range of custom colour options is available.

Choose from a range of standard exterior paint options to match virtually any design, or apply a custom colour of your choice. Colours printed below may not exactly match actual colours.



HARDWARE

Functional, durable and attractive nesting handle hardware folds flat when not in use. Made from high performance materials for years of smooth and easy opening. Available in a range of colours to suit any installation.



White



Black

Satin Nickel

Coppertone

Dark Bronze

GRILLES

A limitless range of custom grille patterns is available.

Personalize the look of your window by adding grilles for beauty and interest. DEL Windows offers a range of standard grille patterns to suit both traditional and modern tastes — or create your custom pattern.



CONTEMPORARY



PERIMETER



TRADITIONAL

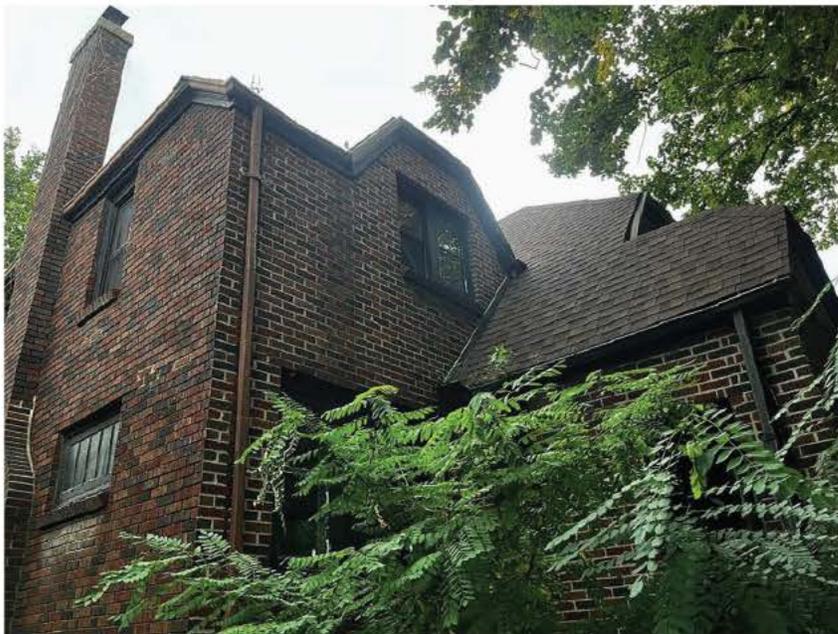


SDL GRILLES
Simulated Divided Lites are engineered grille solutions that give your grilles a classic, custom finished, true divided lite look.

We offer 5" and 6" heavy duty aluminum eavestroughs formed right at your home. Available in 13 colours, you will be sure to find a colour to compliment the exterior of your home. Our eavestroughs truck and knowledgeable team produce made-to-measure eavestrough gutters at your job site. We also supply all of the hangers and accessories needed to get the job done.

If you need a shorter length, come into our showroom and have a section made to order!

























COMMUNITY HERITAGE FUND GRANT APPLICATION

Revised 07/2023

CORPORATION OF THE CITY OF WINDSOR

Planning Dept., Suite 320-350 City Hall Sq W, Windsor ON N9A 6S1
519-255-6543 | 519-255-6544 (fax) | planningdept@citywindsor.ca

1. APPLICANT, REGISTERED OWNER, AND AGENT INFORMATION

Provide in full the name of the applicant, registered owner and agent, the name of the contact person, and address, postal code, phone number, and email address. If the applicant or registered owner is a numbered company, provide the name of the principals of the company. If there is more than one applicant or registered owner, copy this page, complete in full and submit with this application.

APPLICANT

Contact Name(s) DEEP PATEL
Company or Organization 1000535656 ONTARIO INC.
Mailing Address 1635 CALIFORNIA AVE
City, Province WINDSOR, ON Postal Code N9B 3A4
Email INFO.DNHOMES@GMAIL.COM Phone(s) 6472127567

REGISTERED OWNER IF NOT APPLICANT

Contact Name(s) SATVEER SINGH DHALIWAL
Company or Organization _____
Mailing Address _____
City, Province _____ Postal Code _____
Email [REDACTED] Phone(s) [REDACTED]

AGENT AUTHORIZED BY REGISTERED OWNER TO FILE THE APPLICATION

Contact Name(s) DEEP PATEL
Company or Organization 1000535656 ONTARIO INC.
Mailing Address 1635 CALIFORNIA AVE
City, Province WINDSOR, ON Postal Code N9B 3A4
Email INFO.DNHOMES@GMAIL.COM Phone(s) 6472127567

Who is the primary contact?

- Applicant Registered Owner Agent

2. SUBJECT PROPERTY FOR WHICH HERITAGE FUNDS ARE REQUESTED

Heritage Name of Property: 3056 ALEXANDER AVE

Municipal Address: 3056 ALEXANDER AVE

Legal Description (Lot and Plan): PLAN 1073 LOT 37

Assessment Roll Number(s): 3739-050-150-01300-0000

Existing Use: RESIDENTIAL HOUSE

Heritage Designation:

- Part IV (Individual) Part V (Heritage Conservation District)

By-law #: _____ District: SANDWICH HCD

Is the property subject to a Heritage Easement or Agreement?

- Yes No

3. REQUESTED HERITAGE FUND ASSISTANCE

Total Estimated Project Costs: \$ 185000 for whole project for masonry work \$37000-\$42000

Total Grant Amount Requested: \$ _____

NOTE: Details are set out in the pamphlet "Windsor's Community Heritage Fund".

Are there any outstanding mortgages or liens against this property?

- No
 Yes Amount: \$ _____ Institution: _____

Have you previously received assistance from the City for the property named above?

- No
 Yes Amount: \$ _____ Date: _____
Source of funds: _____

4. HERITAGE FUND REQUEST RATIONALE

Describe fully here (or on attached sheets) the proposed conservation/ restoration work to be undertaken:

Exterior renovation including brick repair with relaying where required, and repair or reconstruction of the front porch to ensure it is strong, stable, and secure.

5. CHECKLIST OF MATERIALS SUBMITTED

Check all that apply (to be determined by Heritage Planning staff):

- At least two written estimates from qualified contractors and/or qualified design consultants for the proposed restoration work(s). The estimates should contain sufficient detail to permit a review of individual components of the proposed work. Attach estimates to this form when filing.
- A brief one-page rationale/justification letter addressed to the Heritage Committee, requesting support for the proposed works through financial assistance
- Photographs (showing the current condition and context of existing buildings, structures, and heritage attributes that are affected by the application)
- Site plan/ Sketch (showing buildings on the property and location of proposed work(s))
- Architectural drawings of proposed work(s) (e.g. existing and proposed elevations, floor plans, roof plans, etc., as determined by Heritage Planning staff)
- Specifications of proposed work(s) (e.g. construction/materials specification details)
- Early photographs or drawings showing the property's original appearance (if available)

6. SIGNATURES

The applicant hereby declares that the statements made herein and information provided are, to the best of their belief and knowledge, a true and complete representation of the purpose and intent of this application. The applicant agrees that the proposed work shall be done in accordance with this application, including attachments.

 <hr style="border: 0; border-top: 1px solid black;"/> Signature of Applicant(s)	 <hr style="border: 0; border-top: 1px solid black;"/> Date
 <hr style="border: 0; border-top: 1px solid black;"/> Signature of Applicant(s)	 <hr style="border: 0; border-top: 1px solid black;"/> Date

Date Received by Heritage Planner: _____
--

SCHEDULE A

A. Authorization of Registered Owner for Agent to Make the Application

If the applicant is not the registered owner of the land that is the subject of this application, the written authorization of the registered owner that the applicant is authorized to make the application must be included with this application form or the authorization below must be completed.

I, Satveer Singh Dhaliwal,
name of registered owner, am the registered owner of the land that is

subject of this application for a Community Heritage Fund Grant and I authorize

Deep Patel to make this application on my behalf.

name of agent

sd
Signature of Registered Owner

29 sept 2025
Date

If Corporation – I have authority to bind the corporation.

B. Consent to Enter Upon the Subject Lands and Premises

I, Satveer Singh Dhaliwal, hereby authorize the members of the Windsor Heritage Committee and City Council and staff of the Corporation of the City of Windsor to enter upon the subject lands and premises described in Section 3 of the application form for the purpose of evaluating the merits of this application and subsequently to conduct any inspections on the subject lands that may be required as condition of approval. This is their authority for doing so.

sd
Signature of Registered Owner

29 sept 2025
Date

If Corporation – I have authority to bind the corporation.

C. Acknowledgement of Applicant

I understand that receipt of this application by the City of Windsor Planning Department does not guarantee it to be a complete application. Further review of the application will occur and I may be contacted to provide additional information and/or resolve any discrepancies or issues with the application as submitted.

I further understand that pursuant to the provisions of the Ontario Heritage Act and the Municipal Freedom of Information and Protection of Privacy Act, this application and all material and information provided with this application are made available to the public.

deep
Signature of Applicant

29 sept 2025
Date

Satveer Dhaliwal
519-562-8770
we@windsoressessexproperties.com

Date: February 2, 2026

To:
Heritage Committee
City of Windsor

Subject: Request for Financial Support – 3056 Alexander Avenue, Windsor, Ontario

Dear Members of the Heritage Committee,

I am writing to respectfully request financial assistance for the proposed heritage restoration works at **3056 Alexander Avenue, Windsor, Ontario**, a designated heritage property. The objective of this project is to preserve and enhance the architectural character of the home while ensuring its long-term structural stability and continued contribution to the surrounding heritage streetscape.

The primary scope of work includes **brick relaying and reconstruction of the front porch**, both of which are defining heritage features of the property. Due to age and ongoing exposure to the elements, these components have deteriorated significantly and now require immediate attention. The proposed work involves specialized heritage masonry and construction techniques to ensure the restoration is completed in a manner consistent with the original design, materials, and craftsmanship of the home.

Given the heritage-sensitive nature of this work and the substantially higher costs associated with skilled labour and appropriate materials, I respectfully request the Committee's consideration for **granting financial assistance in excess of the standard 50% contribution** for the brick relaying and front porch reconstruction. These elements are essential to preserving the historic integrity and visual character of the property.

Support from the Heritage Committee is critical to the successful completion of this restoration. The proposed work will not only safeguard the structural and architectural integrity of the home but will also enhance the overall character of the neighbourhood and support the City of Windsor's heritage conservation objectives. In addition, this investment will help encourage continued private stewardship of designated heritage properties.

Thank you for your time and consideration of this request. I sincerely appreciate the Committee's ongoing commitment to heritage preservation and look forward to your favorable review.

Yours truly,

Satveer Dhaliwal

Quotation

A&A Warehouse INC

Contact: 647-867-8347

Email: Sale@aabuildingsupply.ca

GST No: 745629410

To: Satveer Dhaliwal

Address: 3056 Alexander Ave, Windsor, ON

Quote #: 0000253

Quote Date: 01 Feb 2026

Scope of Work (Detailed)

1. Brickwork / Masonry Repair

- The existing exterior brick walls exhibit significant bulging and material deterioration, which compromises both the structural integrity and overall appearance of the property. To address these issues, the affected sections of masonry will be carefully dismantled in a controlled manner. Salvageable bricks will be cleaned and reused where possible, and all damaged or unsuitable materials will be replaced.
- The brickwork will be relaid using new, high-quality mortar to ensure proper alignment, structural stability, and long-term durability. All mortar joints will be professionally tooled to achieve a uniform and weather-resistant finish. The work will be completed with careful consideration of the home's original architectural character.
- This scope includes all necessary scaffolding, safety measures, site protection, and complete clean-up upon completion.
- **Total Cost for Brickwork / Masonry Repair: \$24,500**

2. Front Balcony Repair and Structural Reinforcement

- This scope of work includes the repair and structural reinforcement of the front balcony to enhance safety, strength, and longevity. Work will involve repairs to the front steps and landing, reinforcement or replacement of structural beams as required, and the reinstallation or replacement of balcony railings.
- All deteriorated or compromised components will be properly secured, repaired, or replaced to meet safety and structural requirements.
- **Total Cost for Front Balcony Repair and Reinforcement: \$12,000**

Pricing Summary

Total Scope of Work: \$36,500.00

HST (13%): \$4,745.00

Grand Total: \$41,245.00

Notes

- The quotation includes labor, materials, equipment, and disposal costs.
- All work will comply with local building codes and safety regulations.
- This quotation is valid for 30 days from the date of issue.
- Any changes to the scope of work may result in adjustments to the pricing.
- A&A Warehouse INC is committed to delivering high-quality workmanship and ensuring client satisfaction.

1000535656 Ontario INC.
 647-212-7567
 Info.dnhomes@gmail.com
 GST/HST no: 752225417

Satveer Dhaliwal
 3056 Alexander ave, Windsor, ON

Quote # 0001520
 Quote Date: 30/Jan/2026

Item	Description	Amount
1) <u>1) Front Balcony Repair & Reinforcement</u>	<ul style="list-style-type: none"> • Removal of damaged or unsafe balcony, steps, and landing components • Structural repair and reinforcement of framing, beams, and supports • Repair or reconstruction of front steps and landing • Installation of new balcony surface with proper drainage • Removal and installation of new code-compliant railing • Final safety checks to ensure structural stability and durability 	\$13,500
2) <u>Brick Relaying and Masonry Repairs</u>	<ul style="list-style-type: none"> • Carefully remove damaged or loose bricks without disturbing adjacent sections. Clean existing bricks that can be reused. • Relay salvaged bricks where possible and replace damaged units with new matching bricks for a uniform appearance. • Use high-quality mortar compatible with existing masonry, ensuring joints are properly tooled and sealed. • Clean completed brickwork to remove mortar stains and apply water-repellent sealant if specified. 	\$26,000
<div style="border: 1px solid black; padding: 5px;"> - 35% down payment required before starting work - 45% 2nd payment - 20% when the work is done </div>		
Amount: 13% Gst/Hst: Total Amount:		\$39,500 \$5,135 \$44,635

Appendix C – Additional Photos of 3056 Alexander Ave

Taken by City Staff on December 5, 2025



Front and side façades of 3056 Alexander Avenue, showing the front porch. There are signs of cracking, structural failure, and damage in the brick walls, brick columns, and front steps.



Detailed close-up photos of the side and rear façades of the building where masonry repairs are required. The existing brick walls show significant bulging, deterioration, and structural risk. Bricks are loose or falling out, mortar is missing or patched using incompatible materials and methods, and water is penetrating into openings.



The rear balcony of the building showing signs of weathering, deterioration, and structural stress. The extensive deterioration indicates that the wooden components of are rotting.



Detailed close-up photos of the downspout and gutters. While they appear to be original copper materials, they are currently damaged, clogged, and non-functioning.

Subject: University Wyandotte CIP - 591 Wellington Ave - Ward 3

Reference:

Date to Council: March 2, 2026
Author: Simona Simion Planner III
Economic Development (Acting)
519-255-6543 ext. 6449
ssimion@citywindsor.ca

Planning & Building Services
Report Date: 1/27/2026
Clerk's File #: Z/14007

To: Mayor and Members of City Council

Recommendation:

- I. THAT the request made by 2674404 Ontario Inc. (Owner) for the proposed creation of one (1) residential unit within the existing building at 591 Wellington Ave to participate in the Building/Property Improvement Tax Increment Grant Program under the University Ave and Wyandotte Street Community Improvement Plan **BE APPROVED** at the lesser of 100% of the municipal portion of the tax increment resulting from the proposed development for up to five (5) years or the eligible project costs in accordance with the University Avenue and Wyandotte Street Community Improvement Plan; and
- II. THAT Administration **BE DIRECTED** to prepare an agreement between the City and 2674404 Ontario Inc. (Owner) to implement the Building/Property Improvement Tax Increment Grant Program at 591 Wellington Ave in accordance with all applicable policies, requirements, and provisions contained within the University Avenue and Wyandotte Street Community Improvement Plan to the satisfaction of the City Planner as to content, the City Solicitor as to legal form, and the City Treasurer as to financial implications; and
- III. THAT the CAO and City Clerk **BE AUTHORIZED** to sign the Building/Property Improvement Tax Increment Grant Program to the satisfaction of the City Planner as to content, the City Solicitor as to legal form, and the City Treasurer as to financial implications; and

- IV. THAT approval of the tax increment grant **BE RESCINDED** if the applicant has not completed the work and fulfilled the conditions within two (2) years of the approval date.

Executive Summary:

N/A

Background:

Owner: 2674404 Ontario Inc. c/o Ali Somani (Owner)

The University Avenue and Wyandotte Street Community Improvement Plan (University/ Wyandotte CIP) was approved by City Council on June 7, 2021, and an adopting by-law was passed by City Council on July 13, 2021.

The University/Wyandotte CIP builds a vision for the corridors connecting the downtown to the University of Windsor, informing land use and transportation concepts to enhance the surrounding communities. Financial incentives are provided to encourage private sector investment and redevelopment along the City's key corridors.

2674404 Ontario Inc. c/o Ali Somani, owner of the property located at 591 Wellington Ave (See Appendix A – Location Map), has applied for financial incentives under the Building/Property Improvement Tax Increment Grant Program. The property currently contains a 3 storey, 17-unit residential multiple dwelling building (see Appendix B – Current Building). The applicant is proposing to create an additional dwelling unit within an existing vacant space on the first floor of the existing building.

Discussion:

Building/Property Improvement Tax Increment Grant Program

This program is designed to encourage the development, rehabilitation, and redevelopment of properties within the CIP area. It provides an annual grant equal to the lesser of 100% of the increase in municipal property taxes for five years, or the total eligible costs of the project, beginning once the project is completed and reassessed for five (5) years. There is a possibility of a five (5) year extension, up to a total of ten (10) years if the project is considered a Catalyst Project, a designated heritage property, and/or projects where at least 20% of the residential units are considered affordable or the project is certified LEED bronze. This property is not a designated heritage property nor certified LEED bronze and does not meet the definition of a Catalyst Project, thus the project qualifies for the lesser of 100% of the municipal portion of the tax increment resulting from the proposed development for up to five (5) years, or the eligible project costs.

The grant helps offset the costs of rehabilitating and redeveloping properties, provided the development results in an increased assessment and, consequently, higher property taxes. The applicant will be required to pay the full amount of property taxes owing for each year during the grant period. The Building/Property Improvement Grant will be paid annually, once the property taxes for the year have been collected in full. Grant payments will cease when the total grant along with all other grants and loans provided

equals the costs of rehabilitating and redeveloping properties, or after 5 years, whichever comes first.

Risk Analysis:

There is low risk associated with the approval of the University/ Wyandotte CIP grant application. An agreement will be prepared between the City and the applicant to ensure all provisions under the University Avenue and Wyandotte Street Community Improvement Plan are met. The Building/ Property Improvement Tax Increment Grant is issued upon completion of eligible work, the establishment of an increased reassessment value by the Municipal Property Assessment Corporation (MPAC), calculation of eligible works is verified, and only after the owner's full payment of annual property taxes.

Climate Change Risks

Climate Change Mitigation:

The proposed conversion of existing vacant storage space into a residential unit is confined to the existing building footprint, limiting use to existing infrastructure thereby reducing the overall consumption of construction material.

The utilization of an existing building in an existing neighbourhood promotes energy efficiency, eliminating the need for new development to occur on greenfield sites.

Climate Change Adaptation:

N/A

Financial Matters:

Building/Property Improvement Tax Increment Grant Program

As indicated above, this property is a 3 storey, 17-unit multiple dwelling building. The applicant is proposing to create one additional dwelling unit within the existing vacant space on the main floor of the existing building. It is to be noted that a Committee of Adjustment's application for an extension of a legal non-conforming use was approved on Dec 11/2025 (file A-086-25).

The property is currently assessed at a value of \$724,000. It is estimated that the additional unit will increase the assessment value by \$40,000 to \$764,000. Currently, annual municipal taxes are \$28,124. Administration estimates the annual municipal taxes post development to be \$29,678, an increase of \$1,554. This increase is the value of the annual tax increment grant. Over five (5) years, the grant amounts to \$7,770.

The applicant estimates that total construction costs will amount to \$125,000. The *Planning Act* stipulates that the total grants under a CIP cannot exceed the eligible costs. The grant under this tax increment program accounts for 6.22% of the construction costs.

Estimated Building/Property Improvement Tax Increment Grant for 591 Wellington Ave			
Annual Pre-Development Taxes (Municipal Portion Only)	Estimated Annual Post-Development Taxes (Municipal Portion Only)	Estimated Annual Increase in Taxes (Municipal Portion Only)	Estimated Annual Tax Increment Grant
\$28,124	\$29,678	\$1,554	\$1,554

The University Avenue West/Wyandotte Street West Community Improvement Plan stipulates that municipal taxes must increase by \$500 annually as a result of the development to qualify for the Building/Property Improvement Tax Increment Grant Program. Based on the estimates above, it is anticipated the municipal taxes will increase more than \$500 annually. However, if the tax increase is under \$500 after MPAC has assessed the re-developed property, the project will not qualify for the grant program.

Consultations:

The City of Windsor’s University Avenue and Wyandotte Street Community Improvement Plan was subject to stakeholder and public consultation as part of the approval process, including public meetings, a statutory public meeting and circulation among internal City staff and the Province.

Planning staff have consulted with the project owner and proposed lease holder prior to accepting the grant application. Laura Diotte, Manager-Planning; Carolyn Nelson, Manager Property Valuations and Administration; and Michael Okanlawon, Financial Planning Administrator were consulted on this report.

Conclusion:

Administration recommends that City Council approve the application made by the 2674404 Ontario Inc. (Owner) at 591 Wellington Ave to participate in the Building Property Improvement Tax Increment Grant Program under the University Avenue and Wyandotte Street Community Improvement Plan. It is also recommended that approval to participate in the program is rescinded if the eligible work is not completed within two (2) years.

Approvals:

Name	Title
Simona Simion	Planner III - Economic Development (A)
James Abbs	Manager, Planning – Land Info & Special Projects (A)
Jason Campigotto	Deputy City Planner – Growth (A)
Emilie Dunnigan	Manager Development Revenue & Financial Administration

Lorie Gregg	Executive Director, Financial Planning/Deputy Treasurer
Kate Tracey	Senior Legal Counsel, Legal & Real Estate
Neil Robertson	City Planner
Jelena Payne	Deputy CAO/Commissioner, Economic Development
Lorie Gregg	On behalf of Commissioner, Finance and City Treasurer
Jelena Payne	Acting Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:

- 1 Appendix A - Location Map
- 2 Appendix B - Proposed Dwelling Unit

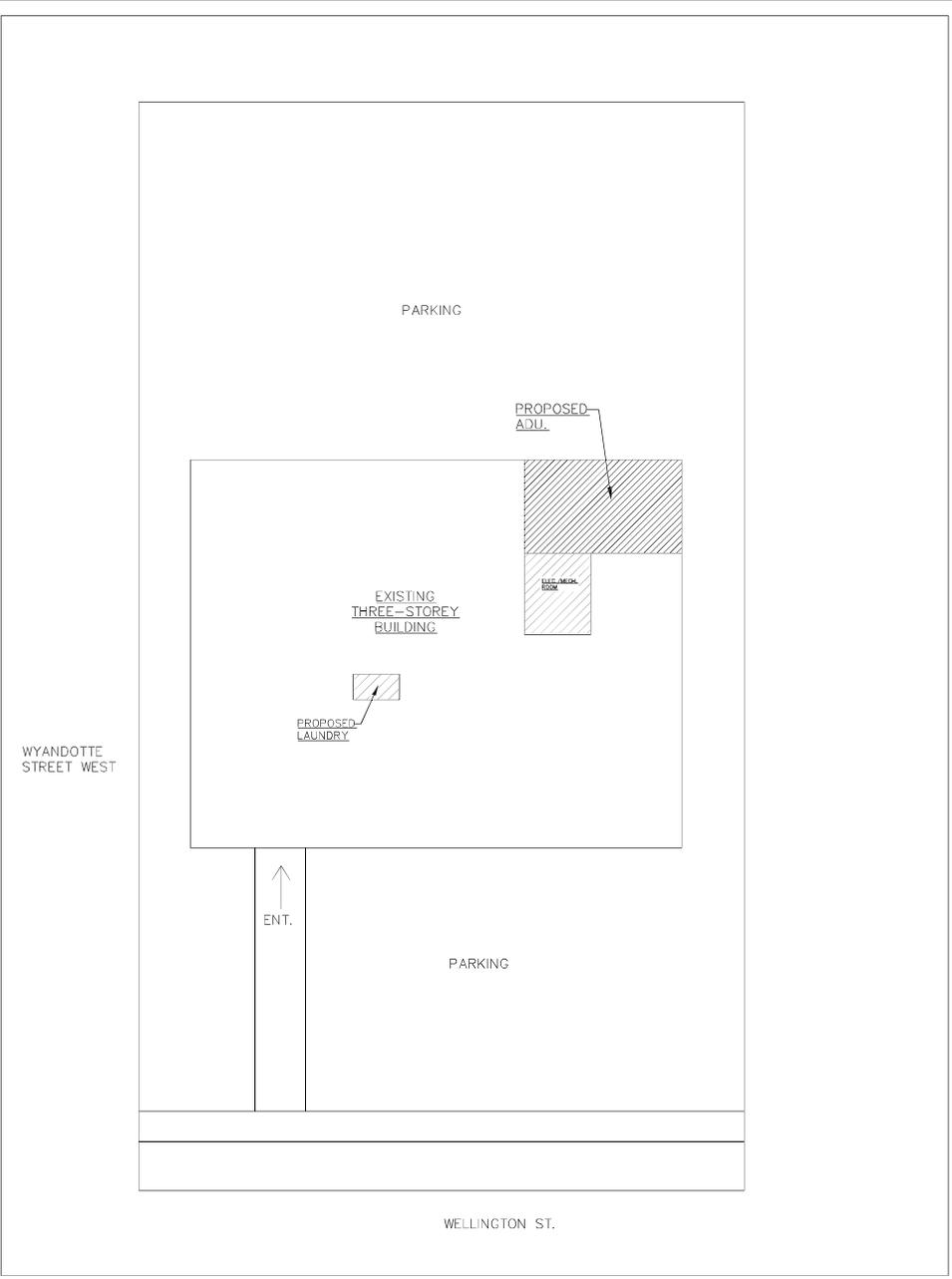


LOCATION MAP : 591 WELLINGTON AVENUE

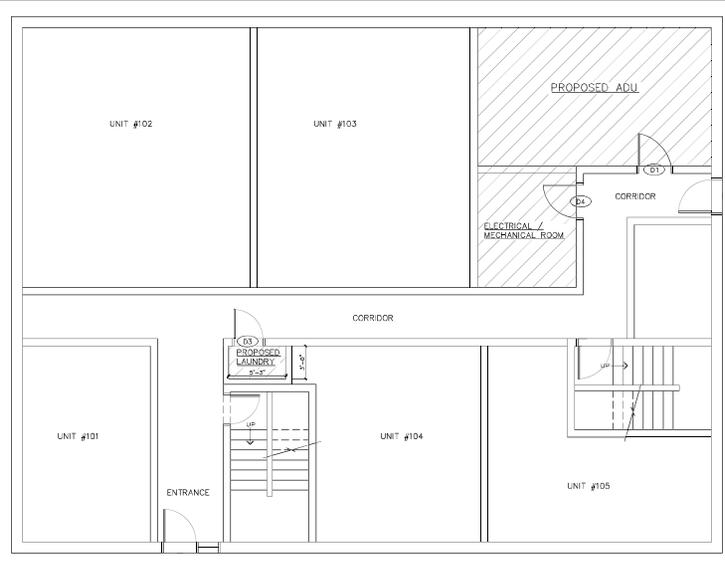


SUBJECT PROPERTY

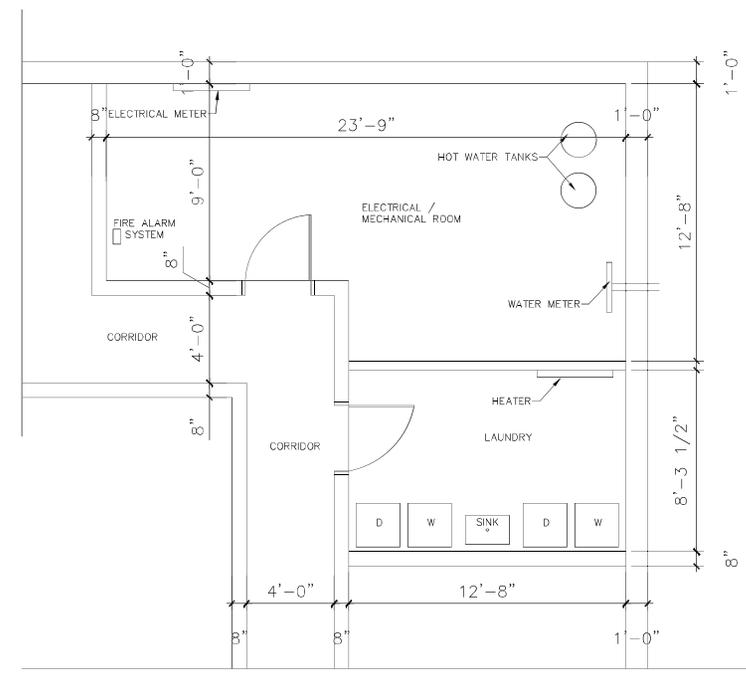




 SITE PLAN
SCALE: N.T.S.



 KEY PLAN
SCALE: N.T.S.



 PART EXISTING FIRST FLOOR PLAN
SCALE: 3/8" = 1'-0"

VJAY VASANTGADKAR ARCHITECT INC.
1614 Leavenworth Road, Unit 20
Thunder Bay, Ont. S4N 1Y3
Tel: (519) 899-1800



3	ISSUED FOR PERMIT	DEC 23 2024
2	REVIEW	DEC 13 2024
1	REVIEW	OCT 22 2024

- ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE JOB SITE.
- ANY AND ALL DISCREPANCIES TO BE REPORTED TO THE ARCH. / ENGINEER.
- ALL DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECT.
- DO NOT SCALE DRAWINGS.

NORTH DIRECTION:

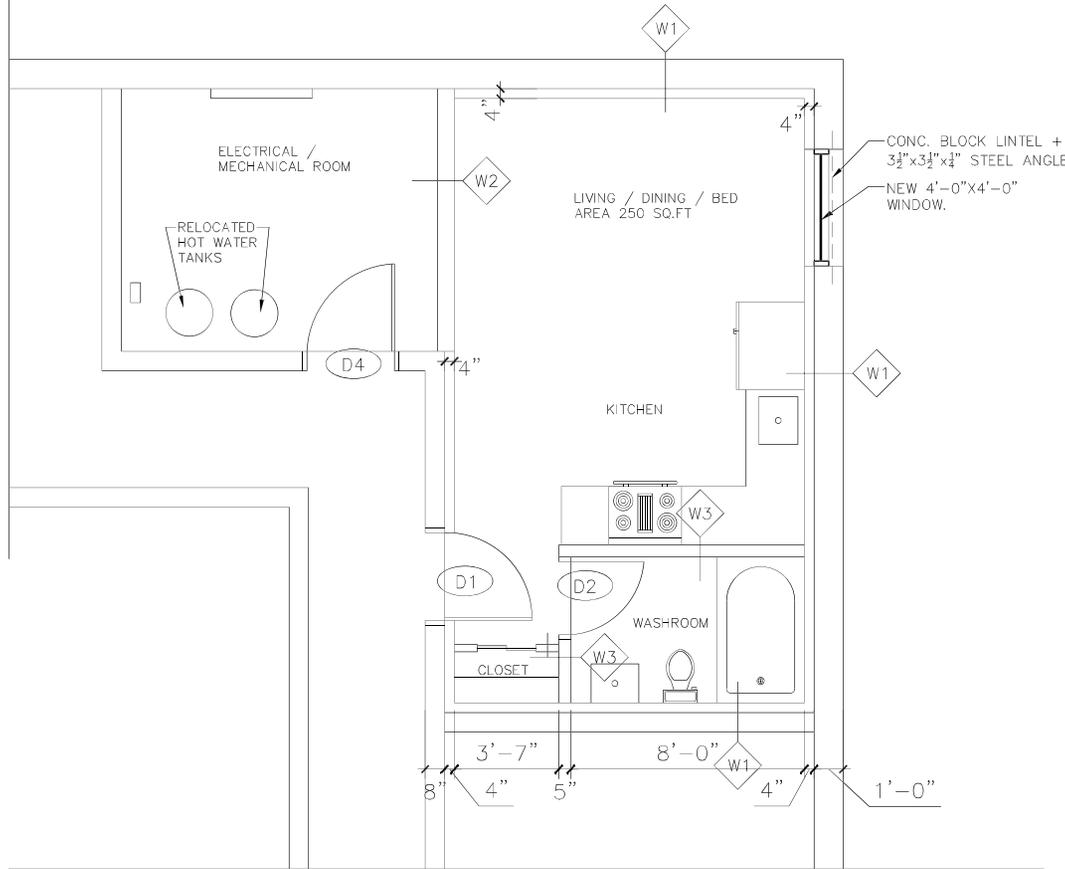
PROJECT NAME AND LOCATION
PROPOSED ACCESSORY DWELLING UNIT
591 WELLINGTON

DRAWING:
SITE PLAN, KEY PLAN, & EXISTING FLOOR PLAN

PROJECT NUMBER	2463
SCALE:	3/8" = 1'-0"
DATE:	OCT 22 2024
DRAWN BY:	A.A. A.R.
CHECKED BY:	V. V.

DRAWING NO.

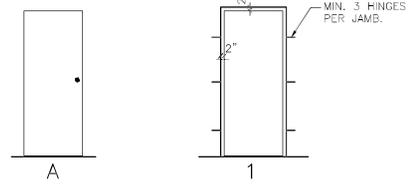
A-1



CONC. BLOCK LINTEL +
 3 1/2" x 3 1/2" x 1/4" STEEL ANGLE.
 NEW 4'-0" x 4'-0" WINDOW.

DOOR SCHEDULE								
DOOR NO.	SIZE (w. x h. x t.)	DOOR			FRAME			REMARKS
		TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	
1	3'-0"x6'-8"x1 3/4"	A	S.C.W.	PAINT	1	H.M.	PAINT	3/4" FIRE-RATED WITH CLOSURE.
2	2'-6"x6'-8"x1 3/8"	A	H.C.W.	PAINT	1	WOOD	PAINT	PRIVACY SET.
3	2'-8"x6'-8"x1 3/4"	A	S.C.W.	PAINT	1	H.M.	PAINT	3/4" FIRE-RATED WITH CLOSURE.
4	-	-	-	-	-	-	-	EXISTING DOOR TO REMAIN.

LEGEND	
H.M.	HOLLOW METAL
S.C.W.	SOLID CORE WOOD
H.C.W.	HOLLOW WOOD CORE



DOOR TYPES
 SCALE: 3/8" = 1'-0"

FRAME ELEVATIONS
 SCALE: 3/8" = 1'-0"

WALL TYPES		
<p>W1 EXTERIOR WALL</p> <p>1/2" GYPSUM BOARD ON 6 MIL. POLY-VAPOR BARRIER R-2 BATT INSULATION ON 2"x4" WOOD STUDS AT 16" O.C. ON EXISTING WALL</p>	<p>W2 EXTERIOR PARTITION</p> <p>8" CONC. BLOCK WALL 1/2" GYPSUM BOARD</p>	<p>W3 INTERIOR PARTITION</p> <p>1/2" GYPSUM BOARD ON 2"x4" WOOD STUDS AT 16" O.C. 1/2" GYPSUM BOARD</p>

PROPOSED FIRST FLOOR PLAN
 SCALE: 1/2" = 1'-0"

- ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE JOB SITE.
 - ANY AND ALL DISCREPANCIES TO BE REPORTED TO THE ARCH. / ENGINEER.
 - ALL DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECT.
 - DO NOT SCALE DRAWINGS.



PROJECT NAME AND LOCATION
 PROPOSED ACCESSORY DWELLING UNIT
 591 WELLINGTON

DRAWING
 PROPOSED FLOOR PLAN & DOOR SCHEDULE

PROJECT NUMBER 2463
 SCALE: 1/2" = 1'-0"
 DATE: OCT 22 2024
 DRAWN BY: A.A. A.R.
 CHECKED BY: V. V.

DRAWING NO.
A-2

Subject: Ford City CIP/ Main Street CIP Application, 1037-1039 Drouillard Road, Owner: MB Land and Building Corp. (c/o: Christiaan Meyer and Jay Meyer), Ward 5

Reference:

Date to Council: March 2, 2026
Author: Kevin Alexander, MCIP RPP
Senior Planner-Special Projects
519-255-6543 ext. 6732
kalexander@citywindsor.ca

John (Rowan) McGovern
Community Development Planning Assistant
jmcgovern@citywindsor.ca
Planning & Development Services
Report Date: 2/3/2026
Clerk's File #: Z/13251 & Z/13002

To: Mayor and Members of City Council

Recommendation:

- I. That the request for incentives under the *Ford City CIP* Financial Incentive Programs made by MB Land and Building Corp. (c/o: Christiaan Meyer and Jay Meyer), owner of the property located at 1037-1039 Drouillard Road **BE APPROVED**, for the following incentive programs:
 - i. *Retail Investment Grant* totalling a maximum amount of \$15,000 for one (1) ground floor retail unit;
 - ii. *Building/Property Improvement Tax Increment Grant Program for the lesser of 100% of the municipal tax increment for up to 10 years or the eligible costs.* The estimated annual amount of the grant is +/- \$4,145;
 - iii. *Municipal Development Fees Grant Program* to a maximum amount of \$20,000; and
 - iv. *New Residential Development Grant Program* for two (2) new residential units (\$2,500 each) to the maximum amount of \$5,000.
- II. That subject to completion and review satisfactory to the City Planner, the request made by MB Land and Building Corp. (c/o: Christiaan Meyer and Jay Meyer), owner of the property located at 1037-1039 Drouillard Road **BE**

APPROVED for the Main Streets CIP -*Building Facade Improvement Program* for grants totalling a maximum amount of \$30,000 in principle;

- III. That Administration **BE AUTHORIZED** to prepare the agreement between the City and MB Land and Building Corp. (c/o: Christiaan Meyer and Jay Meyer) to implement the *Building/Property Improvement Tax Increment Grant Program* (only) in accordance with all applicable policies, requirements to the satisfaction of the City Planner as to content, the City Solicitor as to legal form, and the City Treasurer as to financial implications;
- IV. That the CAO and City Clerk **BE AUTHORIZED** to sign the Grant Agreement(s) in content satisfactory to the City Planner, in financial content to the satisfaction of the City Treasurer and in form satisfactory to the City Solicitor;
- V. That funds in the maximum amount of \$15,000 under the *Retail Investment Grant Program*, funds in the maximum amount of \$20,000 under the *Municipal Development Fees Grant Program*, and funds in the amount of \$5,000 under the *New Residential Development Grant Program* **BE TRANSFERRED** from the CIP Reserve Fund 226 to the Ford City CIP Project (Project #7181046) once the work is completed;
- VI. That funds in the maximum amount of \$30,000 under the Main Streets CIP **BE TRANSFERRED** from the CIP Reserve Fund 226 to the Main Streets CIP project (Project #7219018) once the work is completed;
- VII. That grants **BE PAID** to MB Land and Building Corp. (c/o: Christiaan Meyer and Jay Meyer) upon completion of improvements to the interior/exterior of the property located at 1037-1039 Drouillard Road, through the Ford City CIP (Project #7181046) and facade improvements through the Main Streets CIP (Project #7219018) to the satisfaction of the City Planner and Chief Building Official; and
- VIII. That grants approved **SHALL LAPSE** and **BE UNCOMMITTED** and returned to CIP Reserve Fund 226 if the applicant has not completed the work and fulfilled the conditions within 2 years of the approval date.

Executive Summary:

N/A

Background:

On January 8th, 2018, City Council approved the Building Facade Improvement Program and Urban Design Guidelines for Main Streets Community Improvement Plan (CIP) (CR9/2018 PHED 533) adopted through By-law 26-2018.

On November 19, 2018, City Council approved the Ford City Community Improvement Area and Ford City Community Improvement Plan (CIP) (CR625/2018 PHED 603)

adopted through by-laws 171-2018 and 172-2018. These By-laws came into effect in January of 2019. In addition, on November 19, 2018, City Council activated the following financial incentive programs from the Ford City CIP:

1. Municipal Development Fees Grant Program
2. New Residential Development Grant Program
3. Building/Property Improvement Tax Increment Grant Program
4. Retail Investment Grant Program
5. Neighborhood Residential Rehabilitation Grant Program

Through CR383/2022 DHSC 414 the *Building Facade Improvement Program and Urban Design Guidelines for Main Streets CIP* was amended and renamed *Main Streets CIP*. The new *Main Streets CIP* includes the following programs:

1. Building Facade Improvement Program
2. Building Property Improvement Tax Increment Grant Program
3. New Residential Development Grant Program (Creation of residential units)

In 2025, MB Land and Building Corp. (c/o: Christiaan Meyer and Jay Meyer), the owner of the property located at 1037-1039 Drouillard Road, applied for grants under the *Ford City CIP* and *Main Streets CIP-Building Facade Improvement* Financial Incentive Programs. The property is in the Ford City Business Improvement Area (BIA) and CIP Area.

Discussion:

Administration has assessed the application against all relevant programs under the Ford City CIP and the Main Streets CIP. The following provides an analysis of the applicant's eligibility and the corresponding grant amounts under each program.

Ford City CIP Financial Incentive Programs

Municipal Development Fees Grant Program is intended to encourage development within Ford City by providing an incentive to offset the costs associated with seeking the appropriate planning approvals and building permits for a project. Property owners will be eligible to receive a grant for 100% of the specified *Municipal Development Fees*, up to a maximum of \$50,000 per property.

The Building Permit and development fees have yet to be determined for this project. Based on the Building Permit Applications for existing renovations and consultation with the owners, Administration estimates that the fees would total a maximum amount of \$20,000 under the *Municipal Development Fees Grant Program*. The Municipal Development Fees Grant will be paid to the applicant, and the remaining funds will be returned to the CIP Reserve Fund 226.

New Residential Development Grant Program is intended to encourage the creation of a variety of residential units within Ford City. Property owners are eligible to receive a grant of \$2,500 for every new residential unit, up to a maximum of \$50,000 per property.

The applicant is proposing improvements to two (2) vacant residential units and creating two (2) new residential units on the second floor of the existing structure. The applicant

is eligible for a maximum grant of \$5,000 (\$2,500 per new residential unit) under the *New Residential Development Grant Program*.

Building/Property Improvement Tax Increment Grant—intended to provide financial incentive for the physical improvements to properties. Registered property owners and/or assignees would be eligible to receive a grant for the lesser of 100% of the municipal tax increment generated from the improvements made to the building or property for up to 10 years or the eligible improvement costs.

To be eligible for the *Building/Property Improvement Tax Increment Grant*, improvements to the building/property must result in an annual grant (or tax increment) of at least \$500 for properties that are taxed at the “residential” tax rate; and \$1,000 for properties taxed at all other tax rates.

Based on the information and drawings provided by the applicant, Administration estimates the post project assessment value to be \$185,000. However, the actual amount of the new assessment will be dependent upon a full review of the building after the completion of renovations as determined by the Municipal Property Assessment Corporation (MPAC).

The applicant is eligible for the Building/Property Improvement Tax Increment Grant in support of the proposed improvements to the property. Based on the proposed redevelopment—which includes converting the existing vacant building into a ground-floor commercial retail unit and two (2) residential units on the second floor—the estimated annual value of the grant is approximately \$4,145. Over the 10-year period of the program, the total estimated grant amount is \$41,450 (See Financial Matters - below).

Because the Grant Program does not exempt the property from taxes, the owner must pay the full amount of property taxes annually and will subsequently receive a grant for the difference between the pre- and post-development municipal taxes.

The Ford City CIP stipulates that the applicant must resolve all outstanding fees, tax arrears, or work orders owed to the City pertaining to the subject property. These issues must be addressed to the satisfaction of the municipality before any grant payments are issued or alternatively be incorporated into the scope of the proposed work for the project.

Retail Investment Grant Program—the design and first impression made of a retail store is critical when appealing to its intended market and can influence a consumer’s perception of the quality of the store and visually communicate value. The grant offers up to 50% of eligible costs for improvements to a maximum amount of \$15,000 per retail unit in a building that has had a vacant ground floor retail or commercial storefront(s) for at least 6 months immediately prior to submission of an application to the program and will be occupied by a new retail business. This program is subject to a limit of two (2) retail unit grants per property. The owner is proposing one (1) new commercial unit on the ground floor and two (2) new residential units on the second floor.

Main Streets CIP Financial Incentive Programs

The *Main Street CIP* offers financial incentives to encourage property owners and businesses to make investments to improve the interior and exterior of their buildings and storefronts along Main Streets. Such improvements provide a benefit to the community, by preserving heritage features, protecting Main Streets, and reconnecting storefronts with the public realm. The Main Streets CIP is applicable to the Ford City BIA Main Street and all other BIAs in the City of Windsor, except for the Sandwich Town and Downtown Windsor BIAs. Both the Sandwich Town and Downtown Windsor BIA have grant programs available under separate CIPs.

Funding for the *Building Facade Improvement Program* is broken down into three categories:



Category A (Beautification) —aesthetic and minor functional improvements aimed at making the building facade and storefront more attractive and welcoming to tenants and customers



Category B (Restoration)—aesthetic, functional, and restoration improvements made to restore key features of the building facade



Category C (Replacement)— encourage work that will replace or reinstate key features that have been lost or deteriorated beyond repair or are of a style that is no longer consistent with the building design.

Applicants can receive a grant for 50% of the costs for eligible building facade and storefront improvements up to a maximum of \$30,000 per project. The amount can be increased up to \$60,000 per project for larger buildings with multiple storefronts. The grant also applies to the side(s) and rear of buildings provided the building facade is visible from an adjacent street or public right-of-way or park, and as long as the storefront/facade facing the main street is improved at the same time.

The building located at 1037-1039 Drouillard Road is not considered a larger building and is therefore eligible for a grant of \$30,000.

Proposed Facade Improvements Program

- All four façades of the building—including the east elevation facing Drouillard Road—will undergo restoration, including brick replacement and repointing using Type O mortar. Damaged brickwork will be replaced with heritage appropriate materials consistent with the building's original construction.
- On the east elevation along Drouillard Road, the existing wood coverings over former window openings will be removed and replaced with new black aluminum-framed windows fitted with double pane insulated commercial vision glass. The second storey windows on this elevation will be upgraded to high-quality black vinyl units with sealed clear insulated glazing (vision glass).
- On the east elevation along Drouillard Road, an area is reserved for heritage appropriate signage above the first storey commercial windows with black metal goose neck lighting.

- The existing front entrance door on the east façade will be replaced with a black aluminum door glazed with double pane insulated commercial glass.
- All windows on the north, south, and west façades will be replaced with high-quality black vinyl units with sealed clear insulated glazing (vision glass).
- The existing doors on the west façade will be replaced with black metal doors, and the door on the south façade will be replaced with a new aluminum door with glazing.
- New exterior exit stairs will be installed on the west façade.

Based on the proposed improvements the applicant is eligible for a maximum façade improvement grant of \$30,000.

Risk Analysis:

The approval of these grants does not carry significant risk, as there are sufficient funds within the CIP Reserve Fund 226 approved by Council on February 22, 2021. The applicant will not receive any grants until all work is completed and inspected to the satisfaction of the Planning and Building Department. As a requirement of Section 28 (7.3) of the Planning Act, Administration has confirmed that the grant amount does not exceed the total cost of the project.

Climate Change Risks

Climate Change Mitigation:

The rehabilitation of the existing building is expected to have minimal impact on the project's contribution to climate change. Enhancements to the current structure will reduce CO2 emissions associated with construction and require fewer materials compared to building a new facility.

Using an existing building and infrastructure in an established urban area of the city also promotes efficiency on the existing infrastructure network by not promoting development on Greenfield land.

Climate Change Adaptation:

Improvements to the existing building and site located at 1037-1039 Drouillard Road will use modern building methods which will conform to the Ontario Building Code concerning energy efficiency. New doors and windows are also proposed that will be more energy efficient than what is existing. Using the existing building, lot and infrastructure in a developed area of the city also promotes efficiency on the existing infrastructure network by not promoting development on greenfield land.

Financial Matters:

On February 22, 2021, Council approved the 2021 budget, which included a new reserve fund for all active CIPs in the City. As CIP grant applications are approved, the approved grant amount will be regarded as committed in the CIP Reserve Fund 226 until the grant is ready to be paid out. The current uncommitted balance in the CIP reserve fund is \$489,225. However, this balance does not account for other CIP grant requests that are currently being considered by the Standing Committee or have been endorsed by the Standing Committee and are not yet approved by City Council.

If approved, funds will be transferred from the CIP Reserve Fund 226 to:

- A. The Ford City CIP capital project (Project #7181046) for the following grants when the work is completed and the grant is ready to be paid out:
 - i. *Retail Investment Grant Program* totalling a maximum amount of \$15,000 once for one (1) ground floor retail unit.
 - ii. *Municipal Development Fees Grant Program* to a maximum amount of \$20,000.
 - iii. *New Residential Development Grant Program* for two (2) new residential units (\$2,500 each) to a maximum amount of \$5,000.

- B. The Main Street CIP capital project (Project #7219018) up to \$30,000 for the *Facade Improvement Grant Program* identified payable once the conditions outlined in the Discussion section of this report are met and the grant is ready to be paid out.

The *Building/Property Improvement Tax Increment Grant* would be based upon the lesser of 100% of the municipal tax increment generated from the improvements made to the building or property for up to 10 years, or the eligible costs. Based on the estimated post project assessment value of \$185,000, the estimated total amount of the grant over ten (10) years is \$41,450:

Estimated Building/Property Improvement Tax Increment Grant -1009 Drouillard Rd		
Annual Pre-Development Municipal Taxes	Annual Estimate of Incremental Post Development Municipal Taxes	Annual Estimate Value of Grant
\$1,418	\$5,563	\$4,145

Assumptions

Current Property Value Assessment	\$73,000
Estimate Post Development Property Assessment	\$185,000

The City will retain the amount of pre-development (base) municipal taxes throughout the lifespan of the grant program (estimated to be \$14,180 over 10 years); however, it will be foregoing any incremental property taxes, which could otherwise be used to offset future budget pressures (estimated to be \$41,450 over 10 years). The City will issue the grant annually once it is satisfied that the municipal property taxes have been paid by the property owner and any additional conditions of the grant have been met.

The applicant indicates that the estimated eligible costs for the project is \$551,000. The *Planning Act* stipulates that the grants under a CIP cannot be more than the eligible costs. The total estimated grant amount of up to \$111,450 inclusive of the Ford City New Residential Development Grant (\$5000), Retail Investment Grant (\$15,000), the Municipal Development Fees Grant (to a maximum of \$20,000), the Main Streets CIP – Building Facade Improvement Program Grant (\$30,000), and the Building/Property Improvement Tax Increment Grant (\$41,450), is less than the estimated eligible costs of the project.

Consultations:

The owner for the property located at 1037-1039 Drouillard Road has been consulted regarding grants and application fees related to the improvements outlined in this report.

The following Administrative staff were also consulted:

- Jose Mejalli, Assessment Management Officer and Carolyn Nelson, Manager of Property Valuation & Administration, Treasury and Financial Accounting, were consulted with respect to the Ford City CIP *Building/Property Improvement Tax Increment Grant*.
- Michael Okanlawon, Financial Planning Administrator was also consulted regarding the capital project/reserve fund balances.
- Emma Lavictoire, Permit Services Clerk from the Building Division was consulted regarding eligible Building Permit and Public Works Permit Fees for the *Municipal Development Fees Grant Program*.

Conclusion:

The improvements to 1037-1039 Drouillard Road meet all eligibility criteria identified in this report, for the *Municipal Development Fees Grant, New Residential Development Grant, Building/Property Improvement Tax Increment Grant, and the Retail Investment Grant*, through the *Ford City CIP*, and the *Facade Improvement Grant Program* through the *Main Streets CIP*.

There are sufficient funds in the CIP reserve fund to provide grants for the proposed improvements. Administration recommends approval of the grants identified in this report.

Planning Act Matters:

N/A

Approvals:

Name	Title
Kevin Alexander	Senior Planner – Special Projects
James Abbs	Manager, Planning – Land Info & Special Projects (A)
Jason Campigotto	Deputy City Planner – Growth (A)
Emilie Dunnigan	Manager Development Revenue & Financial Administrator
Lorie Gregg	Executive Director, Financial Planning/Deputy Treasurer
John Revell	Chief Building Official
Kate Tracey	Senior Legal Counsel, Legal & Real Estate

Neil Robertson	City Planner
Lorie Gregg	On behalf of Commissioner Finance/City Treasurer
Jelena Payne	Deputy CAO/Commissioner of Economic Development
Jelena Payne	Acting Chief Administrative Officer

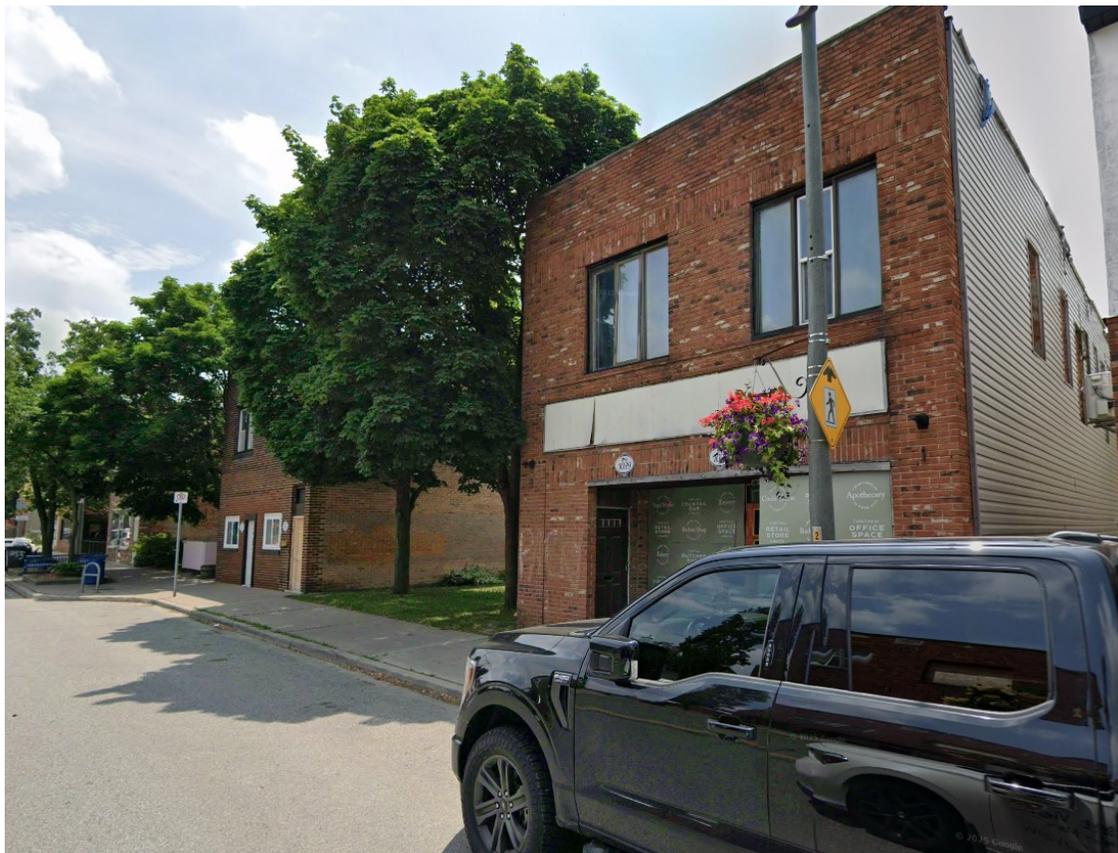
Notifications:

Name	Address	Email

Appendices:

- 1 Appendix A - Location and Existing Condition
- 2 Appendix B - Proposed Improvements

Appendix A – Existing Condition



Appendix B – Proposed Façade



Appendix B – Interior Improvements

INTERIOR WALL TYPES

FLOOR TYPE

WALL TYPE

LIST OF DRAWINGS

ARCHITECTURAL	STRUCTURAL
A10 BUILDING MATRIX, SITE PLAN, AND SITE DATA, WALL TYPES & ROOF TYPES	S10 PLANS AND DETAILS
A11 FLOOR PLANS, DOOR SCHEDULE	S20 PLANS AND DETAILS
A12 ELEVATIONS	
A13 ENLARGED STAIR PLAN, DETAILS	
A14 SECTION DETAILS	

1670 mercer street

WINDSOR, ONTARIO (UNIVERSITY BLVD. SW)

1037 DROUILLARD ROAD, WINDSOR, ONTARIO

PROJECT: RENOVATION TO EXISTING 2-STORY COMMERCIAL / RESIDENTIAL BUILDING AT 1670 MERCER STREET, 1037 DROUILLARD ROAD, WINDSOR, ONTARIO

DESIGNER: CHRISTIAN MEYER

CLIENT: AS SHOWN

DATE: OCTOBER, 2025

SCALE: AS SHOWN

DATE: OCTOBER, 2025

SCALE: AS SHOWN

ARCHITECTURAL ASSOCIATES INC. (AAI)

1670 MERCER STREET, WINDSOR, ONTARIO N9A 5P7

TEL: 519-253-1111

WWW.AAI-ON.COM

DATE: OCTOBER, 2025

SCALE: AS SHOWN

ARCHITECTURAL ASSOCIATES INC. (AAI)

1670 MERCER STREET, WINDSOR, ONTARIO N9A 5P7

TEL: 519-253-1111

WWW.AAI-ON.COM

DATE: OCTOBER, 2025

SCALE: AS SHOWN

ARCHITECTURAL ASSOCIATES INC. (AAI)

1670 MERCER STREET, WINDSOR, ONTARIO N9A 5P7

TEL: 519-253-1111

WWW.AAI-ON.COM

DATE: OCTOBER, 2025

SCALE: AS SHOWN

ARCHITECTURAL ASSOCIATES INC. (AAI)

1670 MERCER STREET, WINDSOR, ONTARIO N9A 5P7

TEL: 519-253-1111

WWW.AAI-ON.COM

DATE: OCTOBER, 2025

SCALE: AS SHOWN

Appendix B – Interior Improvements

EXTERIOR FINISH SCHEDULE			
ITEM	FINISH DESCRIPTION	QUANTITY	UNIT PRICE
1	CONCRETE		
2	BRICK		
3	WOOD		
4	GLASS		
5	STEEL		
6	PAINT		
7	ROOFING		
8	MECHANICAL		
9	ELECTRICAL		
10	PLUMBING		
11	HEATING		
12	Cooling		
13	INSULATION		
14	FOUNDATION		
15	FOUNDATION		
16	FOUNDATION		
17	FOUNDATION		
18	FOUNDATION		
19	FOUNDATION		
20	FOUNDATION		

WEST ELEVATION
SCALE: 1/8" = 1'-0"

SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EAST ELEVATION
SCALE: 1/8" = 1'-0"

NORTH ELEVATION
SCALE: 1/8" = 1'-0"

2025 OXX BUILDING PERMIT
 1670 MERCER STREET
 WINDSOR, ONTARIO
 PROJECT NO. 2025-100
 SHEET NO. A3.1

A architectural
D design
A associates

1670 mercer street
 windsor, ontario
 phone: 519-253-3630 fax: 519-253-3842
 email: info@architecturaldesignassociates.com

PROJECT:
 RENOVATION TO EXISTING
 2-STORY COMMERCIAL /
 RESIDENTIAL BUILDING
 1037 BRIDLEWAY ROAD,
 WINDSOR, ONTARIO

CLIENT:
 CHRISTIAN MEYER

DATE:
 ELEVATIONS

SCALE:
 AS SHOWN

DRAWN BY:
 S.P.

CHECKED BY:
 S.M.B.

DATE:
 OCTOBER, 2025

30TH FL. I.C.:
 2025-100

SHEET NO.:

A3.1

**Subject: Main Streets CIP Application: 1519 Wyandotte Street East;
Owners: ADHOC Development Inc. (C/O: Philip Duym), Ward 4**

Reference:

Date to Council: March 2, 2026
Author: Kevin Alexander, MCIP RPP
Senior Planner - Special Projects
519-255-6543 ext. 6732
kalexander@citywindsor.ca

Kristen Kretschmann
Community Development Planning Assistant
kkretschmann@citywindsor.ca
Planning & Development Services

Report Date: 2/3/2026
Clerk's File #: Z/13002

To: Mayor and Members of City Council

Recommendation:

- I. That the request for incentives under the *Main Streets Community Improvement Plan* made by ADHOC Development Inc. (C/O: Philip Duym), the owner of the property located at 1519 Wyandotte Street East **BE APPROVED IN PRINCIPLE** for the following programs:
 - i. *Building Facade Improvement Program* totaling a maximum of \$60,000;
 - ii. *Building/Property Improvement Tax Increment Grant Program* for the lesser of 100% of the municipal portion of the tax increment for up to ten (10) years of +/- \$8,377 per year or the total eligible costs;
- II. That the CAO and City Clerk **BE AUTHORIZED** to sign the Main Street CIP for the *Building/Property Improvement Tax Increment Grant Program* agreement in accordance with all applicable policies, requirements, and provisions contained within the *Main Streets Community Improvement Plan* to the satisfaction of the City Planner as to content, the City Solicitor as to legal form, and the City Treasurer as to financial implication;
- III. That the CAO and City Clerk **BE AUTHORIZED** to sign the Grant Agreement(s) in content satisfactory to the City Planner, in financial content to the satisfaction of the City Treasurer and in form satisfactory to the City Solicitor;

- IV. That funds in the maximum amount of \$60,000 (*Building Facade Improvement grants*) under the *Main Streets CIP* **BE TRANSFERRED** from the CIP Reserve Fund 226 to the *Main Streets CIP* Project Fund (Project #7219018) when the grant funds are ready to be paid out;
- V. That grants **BE PAID** to ADHOC Development Inc. (C/O: Philip Duym) upon completion of improvements to the exterior of the property located at 1519 Wyandotte Street East from the *Building Facade Improvement Program – Main Streets CIP* Project Fund (Project #7219018) to the satisfaction of the City Planner and Chief Building Official; and,
- VI. That grants approved **SHALL LAPSE** and **BE UNCOMMITTED** and returned to CIP Reserve Fund 226 if the applicant has not completed the work and fulfilled the conditions within 2 years of the approval date.

Executive Summary:

N/A

Background:

On January 8th, 2018, City Council approved the Building Facade Improvement Program and Urban Design Guidelines for Main Streets Community Improvement Plan (CIP) (CR9/2018 PHED 533) adopted through By-law 26-2018.

Through CR383/2022 DHSC 414 the *Building Facade Improvement Program and Urban Design Guidelines for Main Streets CIP* was amended and renamed *Main Streets CIP*. The new *Main Streets CIP* includes the following programs:

1. Building Facade Improvement Program
2. Building Property Improvement Tax Increment Grant Program
3. New Residential Development Grant Program (Creation of residential units)

On December 10th, 2025, ADHOC Development Ontario Inc. (C/O: Philip Duym), the owner of the property located at 1519 Wyandotte Street East (historically known as the Tivoli Pool Room and Casa Loma Restaurant), applied for grants through the Main Streets CIP for the *Building Facade Improvement Program* and *Building/Property Improvement Tax Increment Grant Program*.

The property is located within the Walkerville Business Improvement Area (BIA), Walkerville Heritage Area (as per Schedule G of the Official Plan) and Main Streets CIP Area (See Appendix A). The proposed improvements are consistent with the goals and objectives of the Main Street CIP.

The property is also the subject of a report (S 7.2026) included on the February 2, 2026, Development Heritage Standing Committee (DHSC) Agenda regarding the Intent to Partially Demolish this Heritage Listed property (1519 Wyandotte Street East) for the purpose of improving the building facades.

Discussion:

The *Main Street CIP* offers financial incentives to encourage property owners and businesses to make investments to improve the exterior appearance of their buildings and storefronts along Main Streets. Such improvements provide a benefit to the community, by preserving heritage features, protecting Main Streets, and reconnecting storefronts with the public realm. The Main Streets CIP is applicable to the Ford City BIA Main Street and all other BIAs in the City of Windsor, except for the Sandwich Town and Downtown Windsor BIAs. Both the Sandwich Town and Downtown Windsor BIA have grant programs available under separate CIPs.

The applicant has applied for the following grant programs through the *Main Streets CIP*:

Building Facade Improvement Program--Funding for the *Building Facade Improvement Program* is broken down into three categories:



Category A (Beautification) —aesthetic and minor functional improvements aimed at making the building facade and storefront more attractive and welcoming to tenants and customers



Category B (Restoration)—aesthetic, functional, and restoration improvements made to restore key features of the building facade



Category C (Replacement)— encourage work that will replace or reinstate key features that have been lost or deteriorated beyond repair or are of a style that is no longer consistent with the building design.

Applicants can receive a grant for 50% of the costs for eligible building facade and storefront improvements up to a maximum of \$30,000 per project. The amount can be increased up to \$60,000 per project for larger buildings with multiple storefronts. The grant also applies to the side(s) and rear of buildings provided the building facade is visible from an adjacent street or public right-of-way or park, and as long as the storefront/facade facing the main street is improved at the same time. The building located at 1519 Wyandotte Street East, is considered a larger building with multiple storefronts and therefore eligible for the maximum grant amount of \$60,000.

Proposed Facade Improvements -1519 Wyandotte Street East

The applicant is proposing the following improvements to the Facades along Wyandotte Street East, Gladstone Avenue, the alley, and East facing façade.

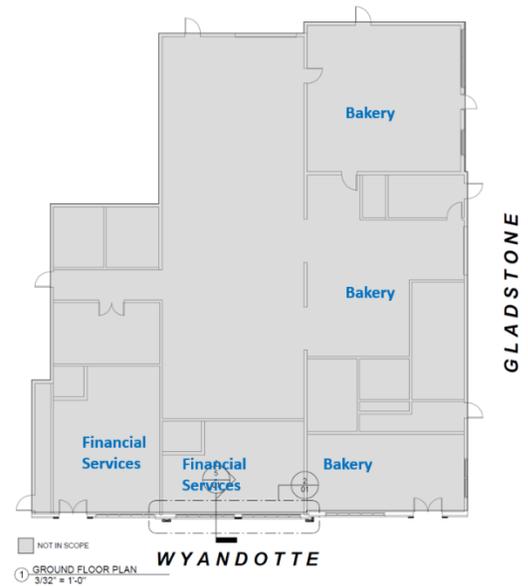
- Remove some non-original exterior elements and materials that are inconsistent with the building's historic character and the surrounding vernacular
- Install black fabric awnings and construct two full-height pillars to visually restore the original three-part division of the facade
- Restore brick (non original) and install new brick where the existing brick has deteriorated beyond repair. If the existing brick cannot be restored a new heritage appropriate brick that is consistent with the Walkerville Colour Palette will be proposed.
- Potentially refurbish the existing mural on the South facing façade and add an additional mural on the East facing façade.

All exterior façade work is eligible to receive CIP grants through this program.

Building Property Improvement Tax Increment Grant Program -- An annual grant equal to the lesser of 100% of the increase in municipal property taxes for ten (10) years or the eligible costs, once the project is completed and reassessed by Municipal Property Assessment Corporation (MPAC). This grant is intended to help offset the costs of rehabilitating and redeveloping properties, as long as such development, redevelopment or rehabilitation results in an increase in municipal property taxes.

The applicant is proposing the following eligible interior improvements:

- Install new lighting and finishes on the second floor
- Extend the second floor in the middle of the building to use the double high space of the Wyandotte middle unit ground floor
- Interior renovations are proposed on the first for a bakery and financial services as identified in the diagram below. The remaining ground floor space will eventually be renovated for a future use.



The applicant indicates that the estimated eligible costs for the project is approximately \$305,000. The Planning Act stipulates that the grants under a CIP cannot be more than the eligible costs. The total grant amount of \$143,770, inclusive of the Building Façade Improvement Program of \$60,000, and the Building/Property Improvement Tax Increment Grant of \$83,770, is less than the estimated eligible costs.

Risk Analysis:

The approval of these grants does not carry significant risk, as there are sufficient funds within CIP Reserve Fund 226 approved by Council. The applicant will not receive any grants until all work is completed and inspected to the satisfaction of the Planning and Building Department. As a requirement of Section 28 (7.3) of the Planning Act, Administration has confirmed that the grant amount does not exceed the total cost of the project.

Climate Change Risks

Climate Change Mitigation:

The rehabilitation of the existing building is expected to have minimal impact on the project's contribution to climate change. Enhancements to the current structure will reduce CO2 emissions associated with construction and require fewer materials compared to building a new facility.

Using an existing building and infrastructure in a built-up area of the city also promotes efficiency on the existing infrastructure network by not promoting development on Greenfield land.

Climate Change Adaptation:

Improvements to the existing building and site located at 1519 Wyandotte Street East will use modern building methods which will conform to the Ontario Building Code concerning energy efficiency. Using the existing building, lot, and infrastructure in a developed area of the city also promotes efficiency on the existing infrastructure network by not promoting development on greenfield land.

Financial Matters:

On February 22, 2021, Council approved the 2021 budget, which included a new reserve fund for all active CIPs in the City. As CIP grant applications are approved, the approved grant amount will be regarded as committed in the CIP Reserve Fund 226, until the grant is ready to be paid out. The current uncommitted balance of the CIP reserve fund is \$489,255. However this balance does not account for other CIP grant requests that are currently being considered by the Standing Committee or have been endorsed by the Standing Committee and are not yet approved by City Council.

If approved, funds will be transferred from the CIP Reserve Fund 226 to the Main Streets CIP Fund (Project #7219018) to a maximum amount of \$60,000 for the façade improvement grant once the work is completed to the satisfaction of the City Planner, and the grant is ready to be paid out.

Building/Property Improvement Tax Increment Grant

When the CIP application was filed in 2025, the assessment value of this property was \$555,000. The post-development assessment value is estimated to be \$800,000. For illustrative purposes, the table below identifies the estimated annual CIP grant to be \$8,377, which is equal to 100% of the increase in the municipal portion of property taxes. The estimated total amount of the grant over ten (10) years is \$83,770.

Estimated Revitalization Tax Increment Grant for 1801 Wyandotte Street East			
Annual Pre-Development Taxes (Municipal Portion Only)	Estimated Annual Post-Development Taxes (Municipal Portion Only)	Estimated Annual Increase in Taxes (Municipal Portion Only)	Estimated Annual Tax Increment Grant
\$18,978	\$27,355	\$8,377	\$8,377

Because the Grant Program does not cancel taxes, the applicant must pay the full amount of property taxes annually and will subsequently receive a grant for the difference between the pre- and post-development municipal taxes. The City will retain the amount of pre-development (base) municipal taxes throughout the lifespan of the grant program of \$18,978 per annum; however, will be foregoing any incremental property taxes, of \$8,377 per annum to a maximum of 10 years that could otherwise be used to offset future budget pressures. After completion of the grant program (up to 10 years), the City will collect the full value of the municipal taxes (\$27,355 annually).

Eligible Incentive Programs	Grant
Building Facade Improvement – Main Streets	\$60,000
Building/Property Improvement Tax Increment Grant	\$83,770
Total	\$143,770

Consultations:

Planners (Kevin Alexander, Senior Planner, Tracy Tang, Acting Heritage Planner, and Sophia Di Blasi, Senior Urban Designer) have worked with the owner and architect on the proposed improvements to 1514 Wyandotte Street East to ensure that important elements of the building are restored, and heritage appropriate materials are used when elements require replacement.

Jose Mejalli, Assessment Manager Officer, Treasury and Financial Accounting, and Carolyn Nelson, Manager of Property Valuation & Administration, Treasury and Financial Accounting, were consulted with respect to the Main Streets CIP *Building/Property Improvement Tax Increment Grant*.

Michael Okanlawon, Financial Planning Administrator was consulted with respect to the CIP Reserve Fund.

Conclusion:

Improvements to 1514 Wyandotte Street East meet all eligibility criteria identified in this report and in the *Main Streets CIP*. The restoration and improvements to the existing building contributes to the revitalization of the existing Walkerville Main Street area and the protection of a significant built heritage resource listed on Windsor’s Municipal Heritage Register. The proposed improvements are consistent with the goals and objectives of the Main Street CIP.

Planning Act Matters:

N/A

Approvals:

Name	Title
Kevin Alexander	Planner III – Special Projects
Jason Campigotto	Deputy City Planner – Growth (A)
Emilie Dunnigan	Manager Development Revenue & Financial Administrator
Lorie Gregg	Executive Director, Financial Planning/Deputy Treasurer
John Revell	Chief Building Official
Kate Tracey	Senior Legal Counsel, Legal & Real Estate

Name	Title
Neil Robertson	City Planner
Lorie Gregg	On behalf of Commissioner, Finance & City Treasurer
Jelena Payne	Deputy CAO/Commissioner, Economic Development
Jelena Payne	Acting Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:

- 1 Appendix A - Location and Existing Condition
- 2 Appendix B - Proposed Improvements

Appendix A – Existing Condition



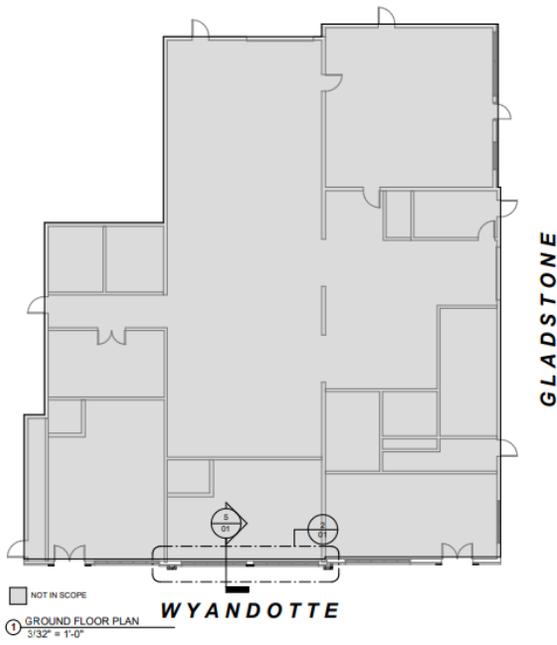
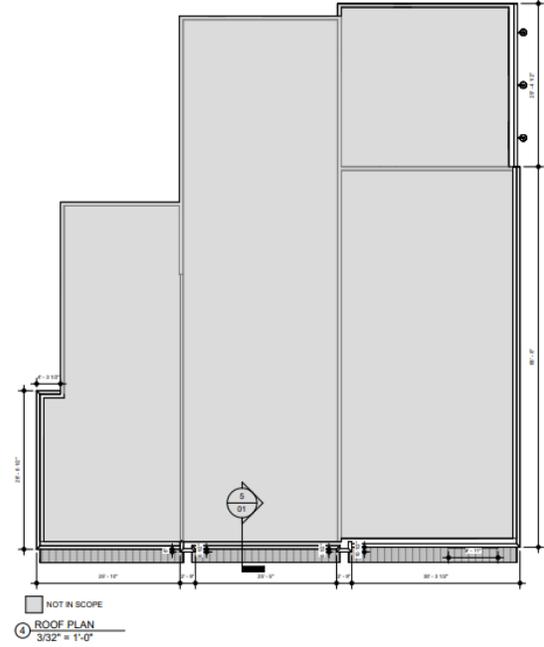
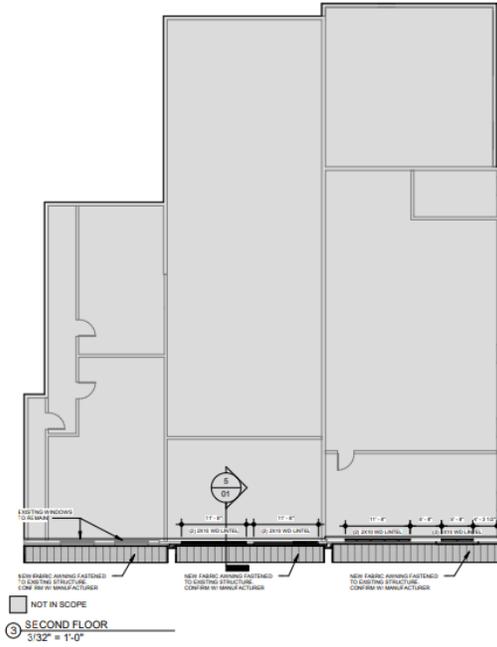
1519 WYANDOTTE AVENUE FACADE PERMIT PACKAGE



SITE VIEW

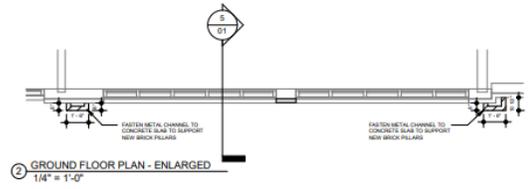


Appendix B –Façade Improvements



GLADSTONE

WYANDOTTE



Appendix B –Façade Improvements

Propose new heritage appropriate brick (below) that fits with the Walkerville Colour Palette if the non-original existing brick cannot be restore.





Committee Matters: SCM 29/2026

Subject: International Relations Committee Annual Reports 2024/2025

International Relation Committee 2024 & 2025 Annual Reports

2024 Accomplishments

The International Relations Committee reviewed and proposed a change to the City of Windsor’s Twin City Policy to include a Friendship City Program, which allows the Committee to consider city to city relationships that are less formal, do not require a formal agreement and serve as a first step in establishing a formal Twin City bond. The policy was approved by City Council on April 22, 2024.

The International Relations Committee was approached by the City of Arlington, Texas requesting to establish a sister city relationship with Windsor. The Committee met virtually with representatives of the City of Arlington and discussions progressed toward a Friendship City relationship. Dialogue between the two cities is ongoing.

On July 26, 2024, the Symbol of Friendship Display was unveiled, honouring and recognizing Windsor’s Twin Cities. This display was a vision of the International Relations Committee and was completed and realized with the help of the City’s Parks, Recreation and Facilities Team. The display is located on the south side of the City Hall campus, between 350 City hall Square and 400 City Hall Square.



Twenty-six Students, two teachers and one tour escort from the Misono Jogakuin High School in Windsor's twin city of Fujisawa, Japan were in Windsor from July 22nd to August 1, 2024. On July 26th, the students, accompanied by their teachers and escorts, visited City Hall. The group was greeted in Council Chambers by Mayor Drew Dilkens and some members of the International Relations Committee. After some welcoming remarks, the students presented a gift to Mayor Dilkens and this was followed by a small reception, lots of picture taking and the unveiling of the Symbol of Firendship Display.



Committee member L.T. Zhao vacationed in China with his family and made a stop in Changchun, China, on August 1, 2024. During the visit, meetings were held with Mister Ou Shuo, Deputy Director (mayor), officials from the Foreign Affairs Division, Consular Affairs Division and other municipal representatives. Their discussions focused on strengthening the sister-city relationship and leveraging student exchange opportunities. Mr. Zhao was presented with a gift for the City of Windsor. As a result of this visit, a connection was established between Changchun Shiyi High School and Tecumseh Vista Academy.



On August 22nd members of the International Relations Committee hosted a group of sixty students from the Ritsumeikan Uji High School in Kyoto Japan. The students were in Windsor on an exchange trip from August 15th through the 26th.



The 8th Annual children’s Art Exhibition was held from October 7-13, 2024 at Devonshire Mall. The theme was “*What I love about my City*”. Participating cities included, Fujisawa, Japan, Gunsan, South Korea, Changchun, China, Saltillo, Mexico and Mannheim, Germany.



The International Relations Committee, in partnership with the Culture Department, purchased Six - 6 panel display towers, which were used for the Children’s Art Exhibition and greatly enhanced the display. The panels have been and will continue to be used for future art/cultural displays.

The International Relations Committee was represented at the 27th Annual Polish Canadian Business Society Dinner, held Friday, November 15th at the Dom Polski Hall.

2025 Accomplishments

In 2025, the City of Windsor celebrated three significant Twin City anniversaries:

- Mannheim, Germany – 45 years
- Lublin, Poland – 25 years
- Gunsan, South Korea – 20 years

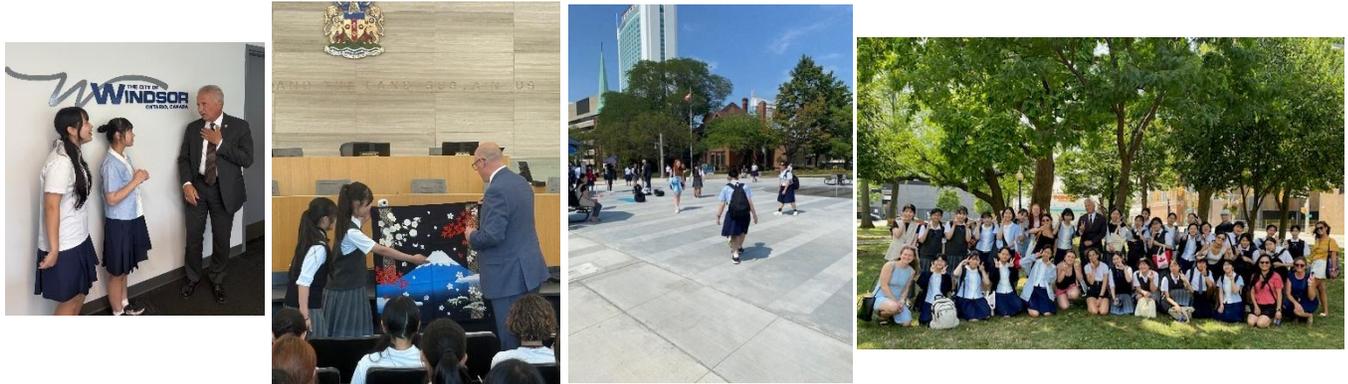
From July 22nd to July 27th, International Relations Committee Chair, Councillor Angelo Marignani and Committee member, Jerry Barycki, travelled first to Mannheim, Germany and then to Lublin, Poland to commemorate the milestone anniversaries. The successful five-day trip served to build upon the strong ties with these twin cities and during these visits, meetings were held to discuss further relationship development and continued collaboration.



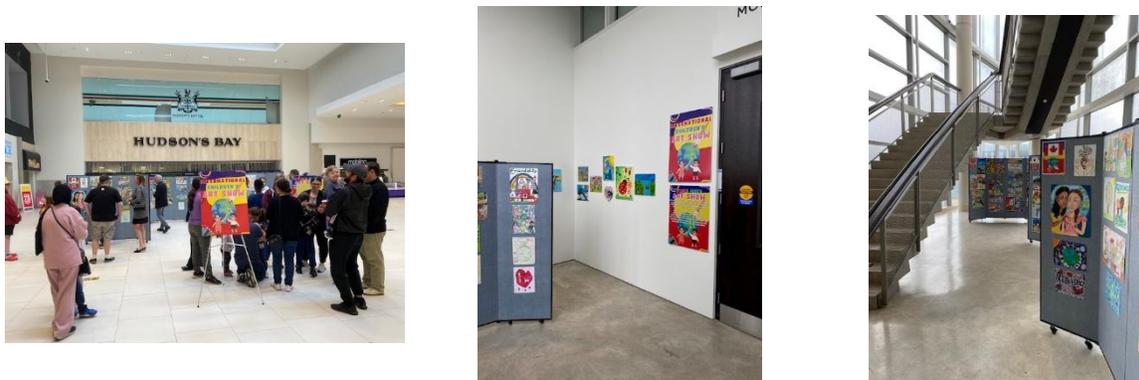


The International Relations Committee once again welcomed a group of students from Windsor’s twin city of Fujisawa, Japan. The group from the Misono Jogakuin High School, which included twenty-eight exchange students, two teachers and one escort, were in Windsor from July 22nd through July 31st, experiencing our culture, and exploring many wonderful sites all while studying English. On Wednesday, July 30th, the group toured City Hall and were greeted in Council Chambers by Mayor Dilkens and several members of the International Relations Committee. After a short reception, the students enjoyed taking photos and playing games at the new City Hall Square plaza.

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The 9th annual Children’s Art Exhibition opened on October 6th at Devonshire Mall, where the art remained on display until October 13th. Subsequently the display was moved to Art Windsor-Essex (formerly the Art Gallery of Windsor) on October 24th, where it will remain until March 1st, 2026. The theme for 2025 was “Friendships: From Neighbourhoods to Nations” and participating cities included Fujisawa, Japan, Gunsan, South Korea, Changchun, China, Mannheim, Germany, Saltillo, Mexico, and Lublin, Poland.

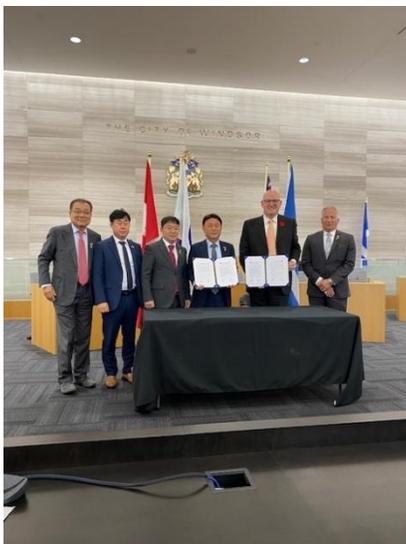


The International Relations Committee supported a request to sign an agreement with the Kupiansk City Military Administration (Kharkiv Region, Ukraine) The agreement is a symbolic agreement with no lasting commitments but does demonstrate our support for Ukraine. The agreement will be signed by Mayor Dilkens sometime in 2026.



From October 29 to November 1, 2025, a delegation from our twin city of Gunsan South Korea visited Windsor to commemorate the 20th anniversary of our twinning. The group's itinerary included an official dinner with the Mayor, Members of Administration, Members of the International Relations Committee and various Community and Business leaders. Also included were the laying of a wreath at the Korean Veterans Memorial and site visits to NextStar Energy, Bobak America, and Serve One, and a meeting with Invest WindsorEssex. During the visit, Mayor Imjune Kang and Mayor Dilkens signed a Gunsan–Windsor Economic and Cultural Memorandum of Agreement (MOA).

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A delegation from Lublin, Poland, visited Windsor from November 12 to November 16, 2025, to commemorate the 25th anniversary of the twinning relationship. Their visit included site visits to the Canadian Aviation Museum, Windsor International Airport – YQG, St. Clair College, and the University of Windsor, a tour of the Canadian Port of Entry site for the Gordie Howe International Bridge, and stops at Art Windsor–Essex to view the children’s art display, which includes art from Lublin, Centennial Park to view the Goat Fountain donated by Lublin, and Lublin Street in Windsor.



The delegation also participated in the 28th Annual Polish Canadian Business Society Dinner, and the tribute breakfast for Jerry Barycki, which was also attended by members of the International Relations Committee.

Finally, in 2025, the International Relations Committee approved moving forward with reciprocal visits with Arlington, Texas, as a first step toward exploring potential partnership opportunities. These visits are planned for 2026.