

Consolidated Development & Heritage Standing Committee Meeting Agenda

Date: Monday, December 1, 2025

Time: 4:30 o'clock p.m.

Location: Council Chambers, 1st Floor, Windsor City Hall

All members will have the option of participating in person in Council Chambers or electronically and will be counted towards quorum in accordance with Procedure By-law 98-2011 as amended, which allows for electronic meetings. The minutes will reflect this accordingly. Any delegations have the option to participate in person or electronically.

MEMBERS:

Ward 1 – Councillor Fred Francis

Ward 4 - Councillor Mark McKenzie

Ward 7 - Councillor Angelo Marignani

Ward 9 - Councillor Kieran McKenzie

Ward 10 - Councillor Jim Morrison (Chairperson)

Member Anthony Arbour

Member Joseph Fratangeli

Member Daniel Grenier

Member John Miller

Member Charles Pidgeon

Member Robert Polewski

Member Khassan Saka

Member William Tape

ORDER OF BUSINESS

Item #	Item Description
1.	CALL TO ORDER

READING OF LAND ACKNOWLEDGMENT

We [I] would like to begin by acknowledging that the land on which we gather is the traditional territory of the Three Fires Confederacy of First Nations, which includes the Ojibwa, the Odawa, and the Potawatomi. The City of Windsor honours all First Nations, Inuit and Métis peoples and their valuable past and present contributions to this land.

2.	DISCLOSURES OF PECUNIARY INTEREST AND THE GENERAL NATURE THEREOF
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3.	REQUEST FOR DEFERRALS, REFERRALS OR WITHDRAWALS
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4.	COMMUNICATIONS
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5.	ADOPTION OF THE <i>PLANNING ACT</i> MINUTES
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5.1.	Adoption of the Development & Heritage Standing Committee minutes (<i>Planning Act</i>) of its meeting held November 3, 2025 (SCM 355/2025)
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7.	<i>PLANNING ACT</i> MATTERS
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DELEGATIONS: (5 Minutes)

7.1.	ZBA Application - 475 Cabana Road West – Z 012-2025 [ZNG/7306] - Ward 1 (S 103/2025) <i>Author: Frank Garardo, Planner III – Policy & Special Studies</i>
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a) Frank Garardo, Planner III – Policy & Special Studies (in person)

b) Tracey Pillon-Abbs, Principal Planner, Pillon Abbs Inc., available for questions (in person)

c) Andi Shallvari and Brent Klundert, Property Owners, BK Cornerstone, available for questions (in person)

- 7.2. Zoning By-law Amendment Application for 2525 Annie Street, Z-024/25 [ZNG-7328], Ward 8 **(S 128/2025)** *Author: Brian Nagata, Planner III - Development (Acting)*
- a) Brian Nagata, Planner III - Development (Acting) (in person)
 - b) Tracey Pillon-Abbs, Principal Planner, Pillon Abbs Inc., available for questions (in person)
 - c) Larry Holmes, Property Owner, available for questions (via Zoom)
- 7.3. ZBA Application - Z 029/25 (ZNG-7333) 3185, 3187, 3189 & 3191 McRobbie Rd. - Ward 7 **(S 125/2025)** *Author: Averil Parent, Planner II - Development Review*
- a) Averil Parent, Planner II - Development Review (in person)
 - b) Jasmeen Dhillon, Applicant, available for questions (via Zoom)
- Clerk's Note:** Administration is providing the **attached** updated Appendix A.
- 7.4. Rezoning – 4276 Roseland Drive East – Z-030/25 ZNG/7334 – Ward 1 **(S 126/2025)** *Author: Adam Szymczak, Senior Planner – Development*
- a) Adam Szymczak, Senior Planner – Development (in person)
 - b) Davide M. Petretta, Applicant, Petcon Realty Corp. (in person)
 - c) Esam Saeed , Area Resident (via Zoom)
 - d) Max Song, Area Resident (in person)
- 7.5. Zoning By-law Amendment Application for 3503 Byng Road, Z-019/25 [ZNG-7317], Ward 9 **(S 127/2025)** *Author: Brian Nagata, Planner III - Development (Acting)*
- a) Brian Nagata, Planner III - Development (Acting) (in person)
 - b) Tracey Pillon-Abbs, Principal Planner, Pillon Abbs Inc., available for questions (in person)
 - c) David Thoms, Area Resident (in person)
 - d) Frank & Linda Lucente, Area Residents (in person)
 - e) Debora Bessette & Ronald Craig, Area Residents (in person)
- Clerk's Note:** Debora Bessette & Ronald Craig, Area Residents are providing the **attached** email dated November 27, 2025 as a written submission.

8. ADOPTION OF THE MINUTES

- 8.1. Adoption of the Development & Heritage Standing Committee minutes of its meeting held November 3, 2025 **(SCM 328/2025)**

9. PRESENTATIONS AND DELEGATIONS (COMMITTEE ADMINISTRATIVE MATTERS)

10. HERITAGE ACT MATTERS

DELEGATIONS: (5 Minutes)

- 10.1. Ontario *Heritage Act* Part IV Heritage Designations of 'High' Priority Properties, University of Windsor (Ward 2) **(S 133/2025)** *Author: Tracy Tang, Planner III – Heritage (Acting)*
- a) Charlie Simpkins, University of Windsor, available for questions (in person)

3. REQUEST FOR DEFERRALS, REFERRALS OR WITHDRAWALS

- 11.2. Amendment to Sign By-law 250-04 for 3663 Walker Rd, File No. SGN-003/24 (BILLBOARD) - Ward 9 **(S 131/2025)** *Author: Kevin Alexander, Senior Planner--Special Projects*

Clerk's Note: The applicant is requesting a deferral to a future meeting of the Development & Heritage Standing Committee to allow for further discussion with administration to take place.

11. ADMINISTRATIVE ITEMS

- 11.1. Closure of Grand Boulevard and Joinville Avenue located east of Lloyd George Boulevard, Ward 8, SAS-7225 **(S 129/2025)** *Author: Brian Nagata, Planner III - Development (Acting)*
- 11.2. Amendment to Sign By-law 250-04 for 3663 Walker Rd, File No. SGN-003/24 (BILLBOARD) - Ward 9 **(S 131/2025)** *Author: Kevin Alexander, Senior Planner--Special Projects*

Clerk's Note: The applicant is requesting a deferral to a future meeting of the Development & Heritage Standing Committee to allow for further discussion with administration to take place.

12. COMMITTEE MATTERS

13. QUESTION PERIOD

14. ADJOURNMENT

GENERAL NOTES

1. ALL CONSTRUCTION TO COMPLY WITH THE GENERAL NOTES AND THE CURRENT ONTARIO BUILDING CODE, FIRE CODE, PLUMBING CODE, ELECTRICAL CODE AND/OR LOCAL BY-LAWS. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
2. WINDOW AND DOOR SIZES ARE SHOWN FOR REFERENCE ONLY. GENERAL CONTRACTOR SHALL CONSULT MANUFACTURER SPECIFICATIONS FOR ALL EXACT ROOF OPENING SIZES AND GLAZING DIMENSIONS PRIOR TO CONSTRUCTION. LOCATION, HIDE HEIGHTS AND SILL HEIGHTS TO BE CONFIRMED ON SITE BY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
3. WOOD WALL AND FLOOR FRAMING SHALL COMPLY WITH OBC PART 9 EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED ON DRAWINGS
4. WOOD ROOF FRAMING SHALL COMPLY WITH OBC SECTION 9.2.3 EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED ON DRAWINGS
5. MINIMUM FOOTING DEPTH SHALL BE 4'-0" BELOW FINISHED GRADE. UNDER-FLOOR SPACE SHALL COMPLY WITH OBC 9.8.
6. PERMIT APPLICATION TO SUBMIT EITHER A TRUSS DESIGN DATA SHEET OR THE COMPLETE TRUSS DESIGN DRAWINGS FOR ANY PRE-ENGINEERED ROOF TRUSSES OR GIRDERS
7. ALL ATTICS ARE DESIGNED AS NON-STORAGE UNLESS OTHERWISE NOTED
8. PROVIDE INSULATION TO MEET OBC 9.5.2 AND SB-12. ALL EXTERIOR WALLS TO BE MINIMUM R24.
9. PROVIDE RIGID INSULATION AT ALL PERIMETER SLAB ON GRADE CONDITIONS
10. DAMPPROOFING AND WATERPROOFING SHALL COMPLY WITH OBC SECTION 9.13.
11. ALL BRICK OR MASONRY LEDGES SHALL BE A MINIMUM OF 6" ABOVE FINISHED GRADE.
12. GRADING SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING AT EVERY POINT WHERE THE BUILDING MEETS FINISHED GRADE.
13. VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED
14. ELECTRICAL SYSTEM DESIGN IS BY OTHERS
15. MECH & HVAC SYSTEM DESIGN IS BY OTHERS
16. PLUMBING DESIGN IS BY OTHERS
17. DO NOT SCALE DRAWINGS.
18. GC TO CONFIRM REQUIREMENTS FOR ZONING, SETBACK, AND ENVIRONMENTAL RESTRICTIONS PRIOR TO CONSTRUCTION.
19. THESE DGVS ARE FOR MIN. BUILDING PERMIT ONLY AND DO NOT GIVE ALL DETAILS FOR COMPLETE BUILDING PROCESS. G.C. IS RESPONSIBLE FOR ALL OTHER DETAILS (E.G., STAMPS FOR CODE, REIN. PORCHES OR POINT-LOADING DIAGRAMS, LINTEL DESIGN, BENCH REINFORCEMENT, ETC.) PRIOR TO CONSTRUCTION. PROCESS IF REQUESTED BY LOCAL MUNICIPAL AUTHORITIES
20. THIS CONSULTANT IS UNAWARE OF ANY SOIL BEARING CAPACITY PROBLEMS. THIS CONSULTANT HAS ADVISED OWNER TO INVOLVE A GEOTECHNICAL CONSULTANT PRIOR TO CONSTRUCTION TO ADVISE CONSULTANT OF ALL SUBSURFACE CAPACITIES. IF ANY SOIL PROBLEMS EXIST, THE OWNER MUST HIRE A E.C. TO SOLVE THESE PROBLEMS AND PAY FOR ALL FEES AND EXTRA MATERIALS DURING THIS TIME
21. G.C. MUST HIRE ONT. LAND SURVEYOR TO PLACE HOME CORNER AND ELEVATE FOR EXCAVATIONS AND PRODUCE A COMPLETE GRADING PLANS FOR OWNERS AND LOCAL AUTHORITIES APPROVAL
22. DESIGNER IS NOT HIRED NOR RESPONSIBLE FOR CONSTRUCTION REVIEW DURING CONSTRUCTION. ANY INTERIOR OR EXTERIOR MODIFICATIONS MADE BY G.C. DURING CONSTRUCTION MUST BE REPORTED TO THIS CONSULTANT. IF NOT, THE DESIGNER WILL NOT TAKE ANY RESPONSIBILITY FOR ERRORS MADE DURING CONSTRUCTION INCURRING COST TO THE DESIGNER.
23. G.C. MUST CHECK ALL DIMENSION OF PLANS AND FIELD DIM. PRIOR TO ORDERING PREP. E.G. TRUSSES AND REPORT ANY DISCREPANCY TO THE DESIGNER IN WRITING IMMEDIATELY PRIOR TO ERECTION AND FABRICATION OF TRUSSES
24. ALL DIMENSIONS ON PLANS ARE SHOWN IN NOMINAL DIMENSIONS FOR EASE OF CONSTRUCTION AND ADDING OF FRACTIONS
25. G.C. IS RESPONSIBLE FOR DEVELOPER APPROVAL OF ALL DESIGNS. PRIOR TO WORKING DGVS STARTED.
26. G.C. IS RESPONSIBLE TO ALSO REVIEW TRUSS SHOP DGVS AND APPROVE AND UNDERSTAND ALL CONSTRUCTION METHODS AND DETAILS OF PRELIM. ROOF SHEETINGS AND APPROVE PRIOR TO SUBMITTING PERMIT DGVS TO THE DESIGNER.
27. G.C. IS RESPONSIBLE TO KEEP ALL DESIGN COMPONENTS AND LAYOUT THE SAME AS PER THESE DGVS. FAILURE TO DO SO VOIDS THESE DGVS AND FIELD MEASUREMENTS AND MUST BE DONE TO SITE ON SITE CONDITIONS. THIS CONTRACTOR MUST PAY FOR THESE REVISIONS.
28. EXTERIOR FINISHES AND FINISHING SYSTEMS ARE FOR DEMONSTRATION. G.C. MAY USE APPROVED FINISHES AND FINISHING SYSTEMS THAT MEET MINIMUM CODE. DESIGNER MUST BE INFORMED AND APPROVE CHANGES FROM DEMONSTRATED FINISHES AND FINISHING SYSTEMS.
29. EXTERIOR FINISHES, WINDOWS, DOORS, SIZES AND STYLE, KITCHEN LAYOUTS, BATH LAYOUTS, AND BASEMENT DESIGNS ARE THIS DESIGNERS RENDERING OF WHAT THE HOUSE CAN INCLUDE. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ABOVE MENTIONED CAPACITIES AS LONG AS THEY MEET O.B.C. G.C. TO INFORM DESIGNER OF ANY DIFFERENCES TO THIS PLAN.

GENERAL NOTES

1. THESE GENERAL NOTES PERTAIN TO ALL ARCHITECTURAL DRAWINGS
2. THE ONTARIO BUILDING CODE LATEST EDITION SHALL BE THE BASIS FOR THE DESIGN AND CONSTRUCTION FOR THIS PROJECT
3. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
4. GENERAL CONTRACTOR TO VERIFY ALL SITE CONDITIONS PRIOR TO HOME CONSTRUCTION.
5. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE CONSULTANTS MUST BE NOTIFIED IN WRITING OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS.
6. CONTRACTOR SHALL PROMPTLY NOTIFY THE CONSULTANT IN WRITING OF THE EXISTENCE OF ANY OBSERVED VARIANCES BETWEEN THE DOCUMENTS AND APPLICABLE CODES OR ORDINANCES OR REGULATORY AGENCIES
7. CONSULTANT WILL NOT BE HELD RESPONSIBLE FOR ANY OMISSIONS TO ERRORS REFERRING TO, OR DEVIATIONS FROM THIS SET OF DRAWINGS DURING THE CONSTRUCTION PROCESS.
8. SPECIFIC NOTES AND SPECIFIC DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTE AND TYPICAL DETAILS.
9. THE CONTRACTOR SHALL OBTAIN ANY ALL NECESSARY PERMITS AND ARRANGE FOR ALL REQUIRED INSPECTIONS AS REQUIRED BY GOVERNING LAWS.
10. ALL COLOURS FOR MATERIAL SPECIFIED WITHIN THESE DRAWINGS SHALL BE CHOSEN BY CLIENT FROM SAMPLES PROVIDED BY CONTRACTOR.
11. THESE PRINTS ARE THE PROPERTY AND DESIGN THIS DESIGNER. THE DESIGNER RESERVES THE RIGHT TO REPRODUCE THE SAME HOUSE AT NO BENEFIT TO THE PURCHASER OF THIS HOME.

CONSTRUCTION NOTES

1. DOWNSPOUTS MAY CONNECT AT HARD SURFACES ONLY
2. EXHAUST FANS AND DUCTS SHALL BE SIZED ACCORDING TO O.B.C. PART 6 OR 9.32. ALL FANS SHALL EXHAUST DIRECTLY OUTDOORS. KITCHEN EXHAUST FAN SHALL BE NON-COMBUSTIBLE PIPE
3. PROVIDE AN ATTACH ACCESS HATCH THAT IS MIN 3'4 FT WITH NO DIMENSION LESS THAN 21" OR 20" X 28" MIN
4. ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO 9.8. O.B.C.
5. GARAGE ENTRY DOOR SHALL BE TIGHT-FITTING, WEATHER STRIPPED AND SELF CLOSING TO PROVIDE A GAS TIGHT SEAL
6. ANY CHANGES TO THE BACKFILL HEIGHT DURING CONSTRUCTION MUST BE APPROVED BY THE CBO.
7. SMOKE DETECTORS REQUIRED IN EACH SLEEPING ROOM & HALLWAY AS PER 9.8.10.19.3. OF O.B.C.
8. ALL HVAC, PLUMBING AND ELECTRICAL DEPICTED AND/OR LOCATED ON THIS DRAWING ARE THIS DESIGNER'S INTERPRETATION AND ARE SUBJECT TO CHANGE. G.C. TO CONFIRM ALL LOCATIONS
9. THE OWNER IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF CONC. STAIRS, CONC. PORCH, HANDRAILS, AND
10. GRADING ASSOCIATED WITH REAR COVERED PORCH. THE CONTRACTOR IS NOT RESPONSIBLE UNLESS EXPLICITLY STATED

IN THE BUILDING CONTRACT.

11. THIS DESIGNER HAS STAMPED AND REVIEWED THESE DRAWINGS, BUT IS NOT RESPONSIBLE FOR UNFORESEEN SITE CONDITIONS. THIS DESIGNER IS NOT RESPONSIBLE FOR EROSION, LANDSLIDE, OR LAND DEVELOPMENT CONDITIONS, AND LOT RESTRICTIONS.

12. THE GENERAL CONTRACTOR MAY / CAN CHANGE ANY DOORS, WINDOWS, MATERIALS, OR EXTERIOR DETAILS TO MEET THE

CONTRACT BETWEEN THE G.C. AND HIS/HER CLIENT. THE G.C. IS TO NOTIFY THIS DESIGNER OF ANY CHANGES THAT ARE MADE TO THESE DRAWINGS.

13. G.C. TO CONFORM WITH ALL CODES TO INCLUDE NO LOW PERFORMANCE MATERIALS as per 9.25.5.1. OF O.B.C. OTHERWISE G.C.

MUST ENSURE WALL ASSEMBLY MEETS 9.25.5.2 OF O.B.C

1. VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2. ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3. ALL OPENINGS TO HAVE (2) 2x8 LINTEL UNLESS NOTED.

FLOOR PLAN NOTES	
1.	VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3.	ALL INTERIOR WALL TYPES TO BE TYPED UNLESS OTHERWISE NOTED
4.	VERIFY ALL MEP WORK ON SITE

EXTERIOR ELEVATION NOTES	
1.	ALL EXTERIOR FINISHES AS PER EXTERIOR MATERIAL FINISHES SCHEDULE OR EQUAL APPROVED.
2.	ALL EXTERIOR FINISHES INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS
3.	ALL EXTERIOR TRIMS, SILLS AND FLASHING TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.

GENERAL NOTES

1. FOOTINGS AND SLABS
2. FOOTINGS AND FOUNDATIONS TO COMPLY WITH O.C. SECTION 15
3. SLABS TO COMPLY WITH O.C. SECTION 9.16
4. CONCRETE FOUNDATION WALLS TO COMPLY WITH O.C. SECTION 15
5. CONCRETE FOUNDATION WALLS TO COMPLY WITH O.C. SECTION 9.16
6. ATTACHED GARAGES SHALL COMPLY WITH O.C. SECTION 13
7. MASONRY VENEER WALLS
8. MASONRY VENEER WALLS SHALL COMPLY WITH O.C. SECTION 9.20
9. WOOD FRAMING
10. WOOD FRAMING SHALL COMPLY WITH O.C. SECTION 9.23
11. ROOF CONSTRUCTION
12. ROOF CONSTRUCTION SHALL COMPLY WITH O.C. SECTION 9.26
13. BASEMENT
14. FINISH: 2" MINIMUM OF UNFINISHED BASEMENT FLOOR AREA (UNSTRUCTURED VENTILATION AREA TO THE OUTDOORS)
15. DOORS AND WINDOWS
16. DOORS AND WINDOWS SHALL COMPLY WITH O.C. SECTION 8.5
17. FLASHING
18. FLASHING SHALL COMPLY WITH O.C. SECTION 9.28, 9.27
19. INSULATION AND VAPOR BARRIERS
20. INSULATION SHALL COMPLY WITH O.C. SECTION 9.76
21. VAPOR BARRIERS SHALL COMPLY WITH O.C. SECTION 9.25
22. FIRE RESISTANCE
23. FIRE RESISTANCE SHALL COMPLY WITH O.C. SECTION 10
24. CHIMNEYS
25. CHIMNEY AND FLUES SHALL COMPLY WITH O.C. SECTION 9.21
26. NATURAL AND MECHANICAL VENTILATION SHALL COMPLY WITH O.C. SECTION 9.1
27. NATURAL AND MECHANICAL VENTILATION SHALL COMPLY WITH O.C. SECTION 9.1
28. SMOKE ALARMS
29. SMOKE ALARMS SHALL COMPLY WITH O.C. SECTION 8.1

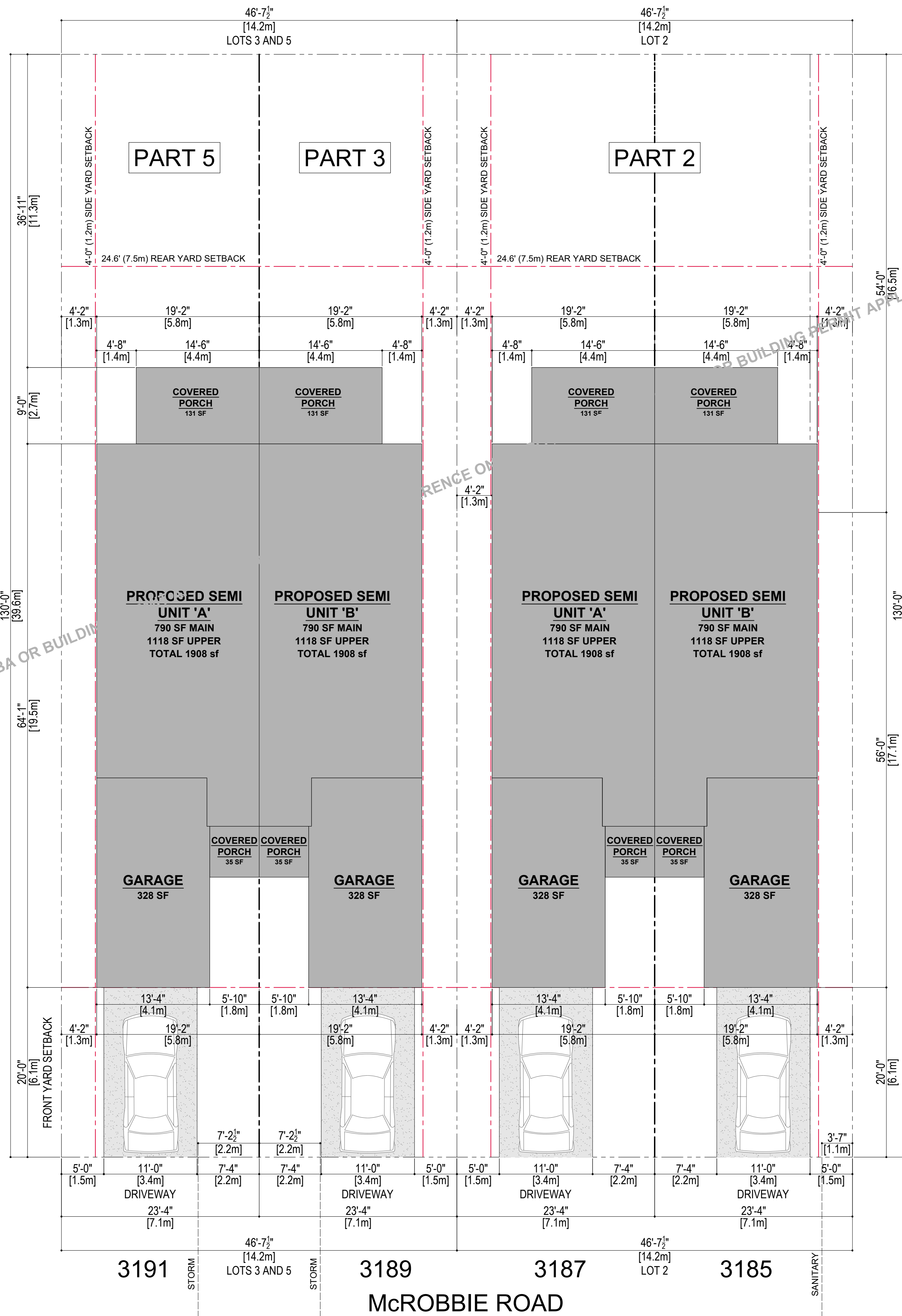
SITE INFO		
ADDRESS	LOT NUMBER	LOT AREA
PARTS 3 & 5 3189 & 3191 McRobbie Windsor, ON	PARTS 3 & 5	6063 ± SF
	ZONING	ALLOWABLE COVERAGE
	RD2.2 (Requested)	2728 SF (45%)
		PROPOSED COVERAGE
		2564 SF (42.3%)
BUILDING AREAS UNIT 'A' AND 'B' - COMBINED		
DWELLING	1580 SF	146.79 m²
GARAGE	652 SF	60.57 m²
FRONT PORCH	70 SF	6.5 m²
REAR PORCH	262 SF	24.34 m²
TOTAL LOT COVERAGE	2564 SF (42.3%)	238.2 m² (42.3%)

BUILDING AREAS					
UNIT 'A'			UNIT 'B'		
MAIN	790 SF	73.39 m ²	MAIN	790 SF	73.39 m ²
BASEMENT	790 SF	73.39 m ²	BASEMENT	790 SF	73.39 m ²
UPPER	1118 SF	103.87 m ²	UPPER	1118 SF	103.87 m ²
GARAGE	326 SF	30.29 m ²	GARAGE	326 SF	30.29 m ²
FRONT PORCH	35 SF	3.25 m ²	FRONT PORCH	35 SF	3.25 m ²
REAR PORCH	131 SF	12.17 m ²	REAR PORCH	131 SF	12.17 m ²
TOTAL G.F.A.	1908 SF	177.26 m ²	TOTAL G.F.A.	1908 SF	177.26 m ²

FRONT YARD		
TOTAL FRONT YARD AREA	466 SF	43.29 m ²
HARD SURFACE (Driveway and sidewalks)	220 SF	20.43 m ²
LANDSCAPED AREA	246 SF (52.3%)	22.85 m ²
PARKING SPACES	2 (1) GARAGE, (1) DRIVEWAY FOR EACH UNIT	

INDEX OF DRAWINGS	
A00.1	SITE PLAN, ROOF PLAN & NOTES
A00.2	BUILDING SECTIONS
A01.1	FOUNDATION AND MAIN FLOOR
A01.2	MAIN AND UPPER FLOOR PLANS
A02.1	ELEVATIONS
A02.2	ELEVATIONS

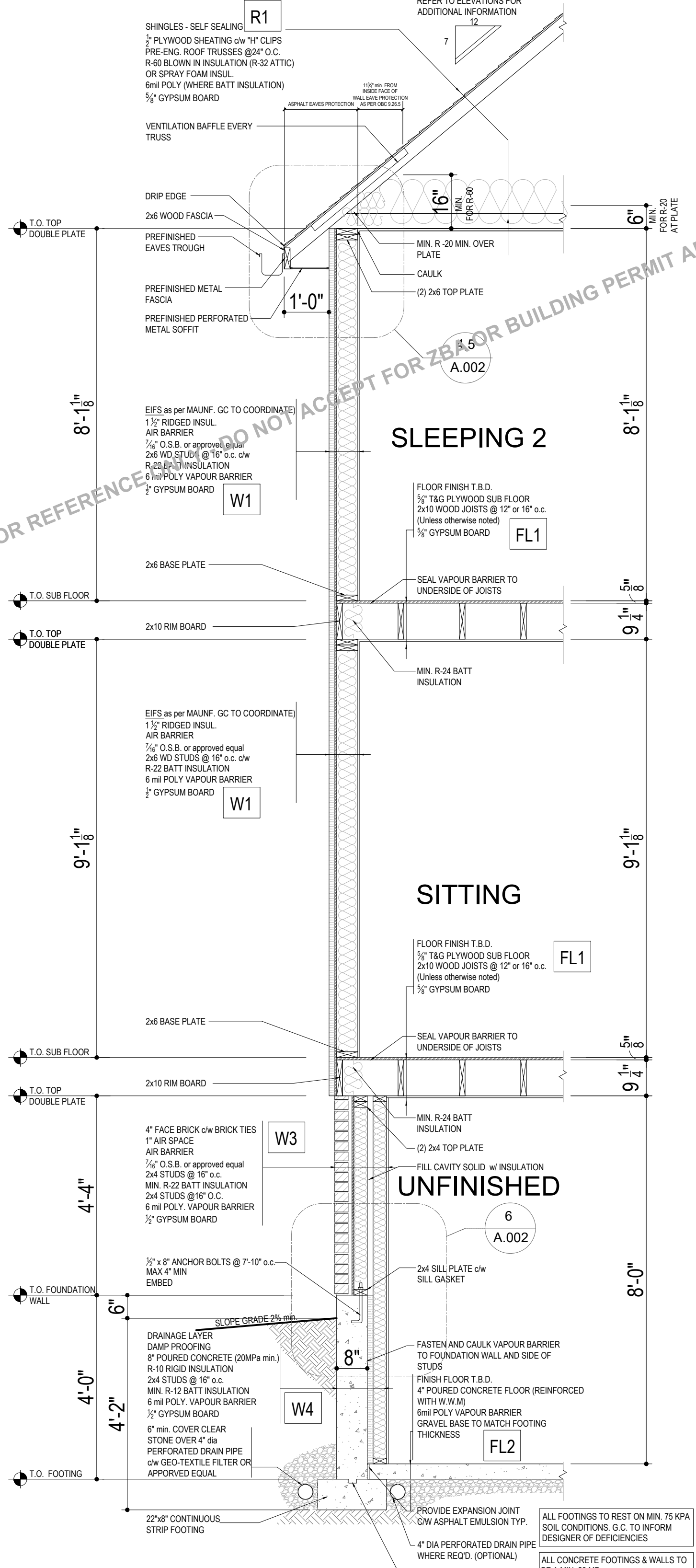
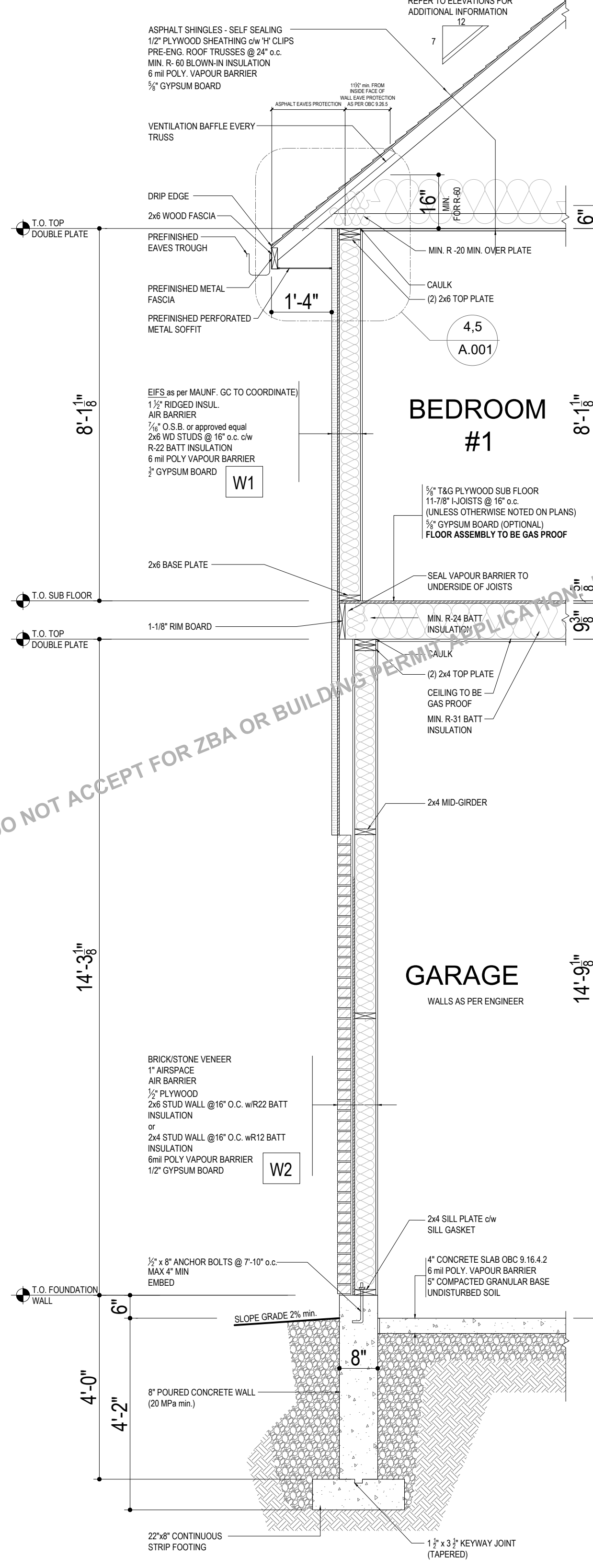
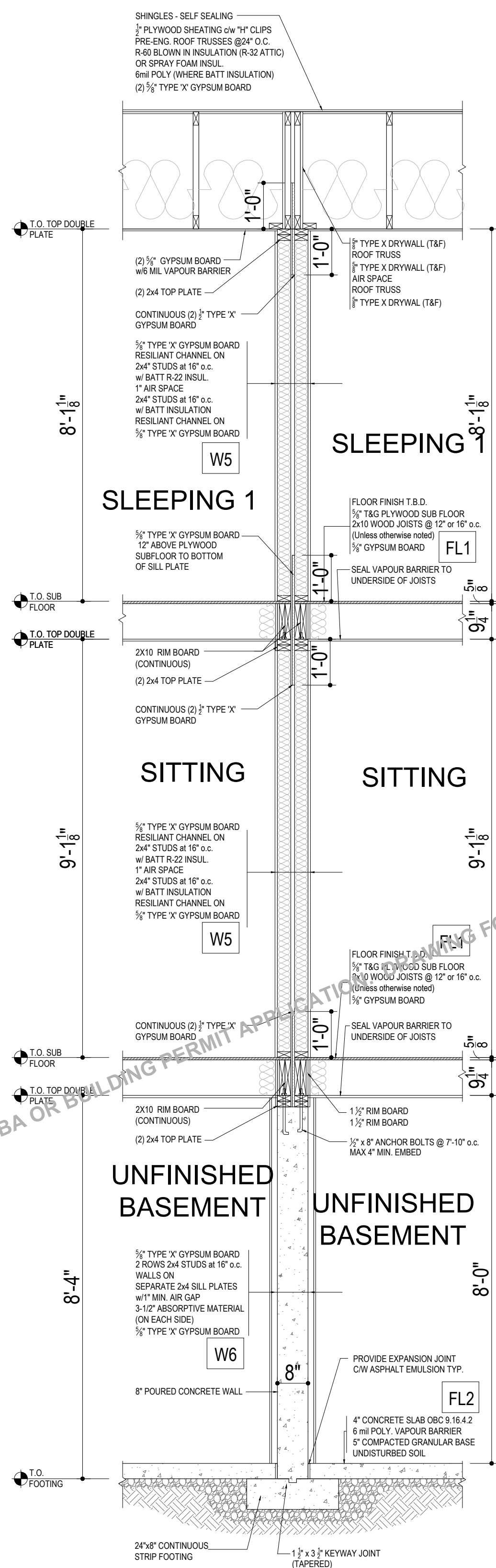
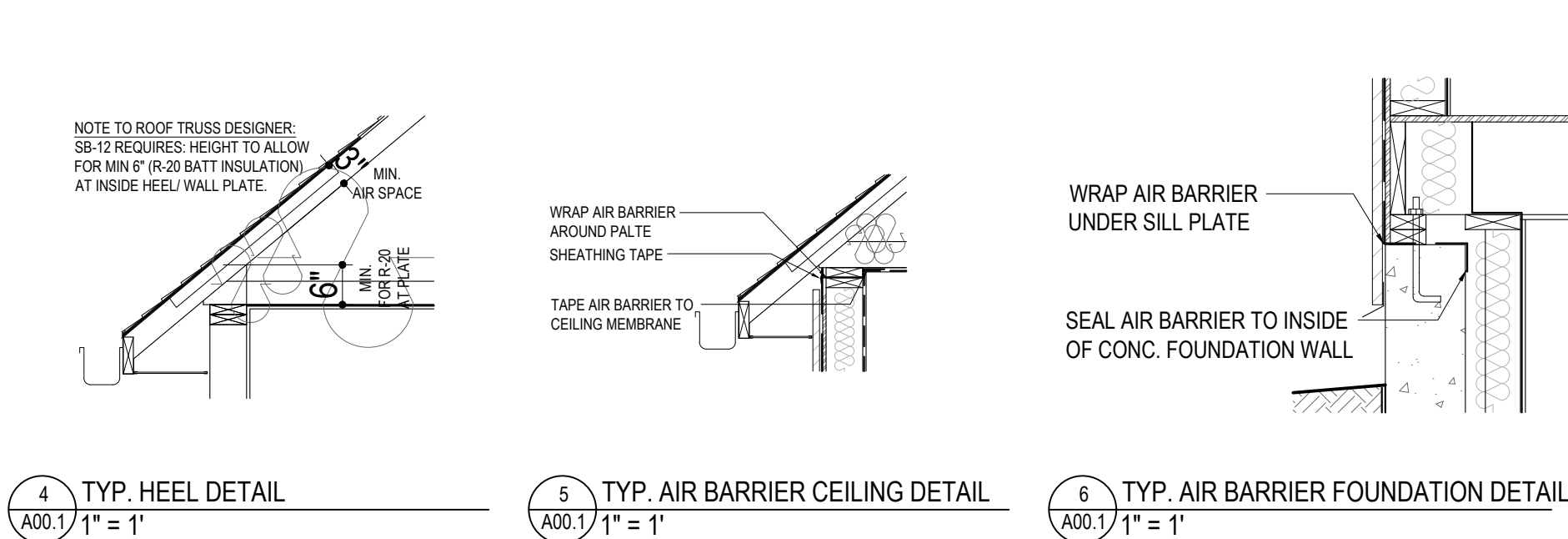
SITE PLAN NOTES	
1.	THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, APPROVALS AND DEVELOPMENTAL SITE CONDITIONS, AND LOT RESTRICTIONS.
2.	THIS PLAN IS NOT A LEGAL SURVEY. ALL DIMENSIONS SHOULD BE VERIFIED BY AN O.L.S. THIS SITE PLAN IS PROVIDED AS A GUIDE TO LOCATE THE BUILDING
SITE PLAN LEGEND	
	SETBACKS
	PROPERTY LINES
	Proposed Build
	Hard Surfaces



MARK	WALL / PARTITION LEGEND	DESCRIPTION
W1		EIFS as per MAUNF. GC TO COORDINATE) 1 1/2" RIDGED INSUL. AIR BARRIER 7/16" O.S.B. or approved equal 2x6 WD STUDS @ 16" o.c. c/w R-22 BATT INSULATION 6 mil POLY VAPOUR BARRIER 1/2" GYPSUM BOARD
W2		BRICK/STONE VENEER 1" AIRSPACE AIR BARRIER 1/2" PLYWOOD 2x6 STUD WALL @ 16" O.C. w/R22 BATT INSULATION or 2x4 STUD WALL @ 16" O.C. w/R12 BATT INSULATION 6mil POLY VAPOUR BARRIER 1/2" GYPSUM BOARD
W3		4" FACE BRICK c/w BRICK TIES 1" AIR SPACE AIR BARRIER 7/16" O.S.B. or approved equal 2x4 STUDS @ 16" o.c. MIN. R-22 BATT INSULATION 2x4 STUDS @ 16" O.C. 6 mil POLY. VAPOUR BARRIER 1/2" GYPSUM BOARD
W4		DRAINAGE LAYER DAMP PROOFING 8" POURED CONCRETE (20MPa min.) R-10 RIGID INSULATION 2x4 STUDS @ 16" o.c. MIN. R-12 BATT INSULATION 6 mil POLY. VAPOUR BARRIER 1/2" GYPSUM BOARD (OPTIONAL)
W5		1/2" TYPE 'X' GYPSUM BOARD RESILIENT CHANNEL ON 2x4" STUDS at 16" o.c. w/ BATT R-22 INSUL. 1" AIR SPACE 2x4" STUDS at 16" o.c. w/ BATT INSULATION RESILIENT CHANNEL ON 1/2" TYPE 'X' GYPSUM BOARD
W6		1/2" TYPE 'X' GYPSUM BOARD 2 ROWS 2x4 STUDS at 16" o.c. WALLS ON SEPARATE 2x4 SILL PLATES w/1" MIN. AIR GAP 3-1/2" ABSORPTIVE MATERIAL (ON EACH SIDE) 1/2" TYPE 'X' GYPSUM BOARD
P1		1/2" GYPSUM BOARD 2x4 STUD WALL @ 16" O.C. 1/2" GYPSUM BOARD ★ DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING
P2		1/2" GYPSUM BOARD 2x6 STUD WALL @ 16" O.C. 1/2" GYPSUM BOARD ★ DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING

MARK	FLOOR / ROOF LEGEND	DESCRIPTION
FL1		FLOOR FINISH T.B.D. 1/2" T&G PLYWOOD SUB FLOOR 2x10 FLOOR JOISTS @ 12" OR 16" O.C. (SEE PLANS) 1/2" GYPSUM BOARD
FL2		4" POURED CONCRETE FLOOR (REINFORCED WITH W.W.M) 6mil POLY VAPOUR BARRIER GRAVEL BASE TO MATCH FOOTING THICKNESS
R1		SHINGLES - SELF SEALING 1/2" PLYWOOD SHEATHING c/w 1" CLIPS PRE-ENG. ROOF TRUSSES @ 24" O.C. R-60 BLOWN IN INSULATION (R-32 ATTIC) OR SPRAY FOAM INSUL. 6mil POLY (WHERE BATT INSULATION) 1/2" GYPSUM BOARD

FLOOR / ROOF LEGEND GENERAL NOTES
1. ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED



FLOOR PLAN NOTES	
1.	VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3.	ALL INTERIOR WALL TYPES TO BE "P1" UNLESS OTHERWISE NOTED
4.	VERIFY ALL MEP WORK ON SITE

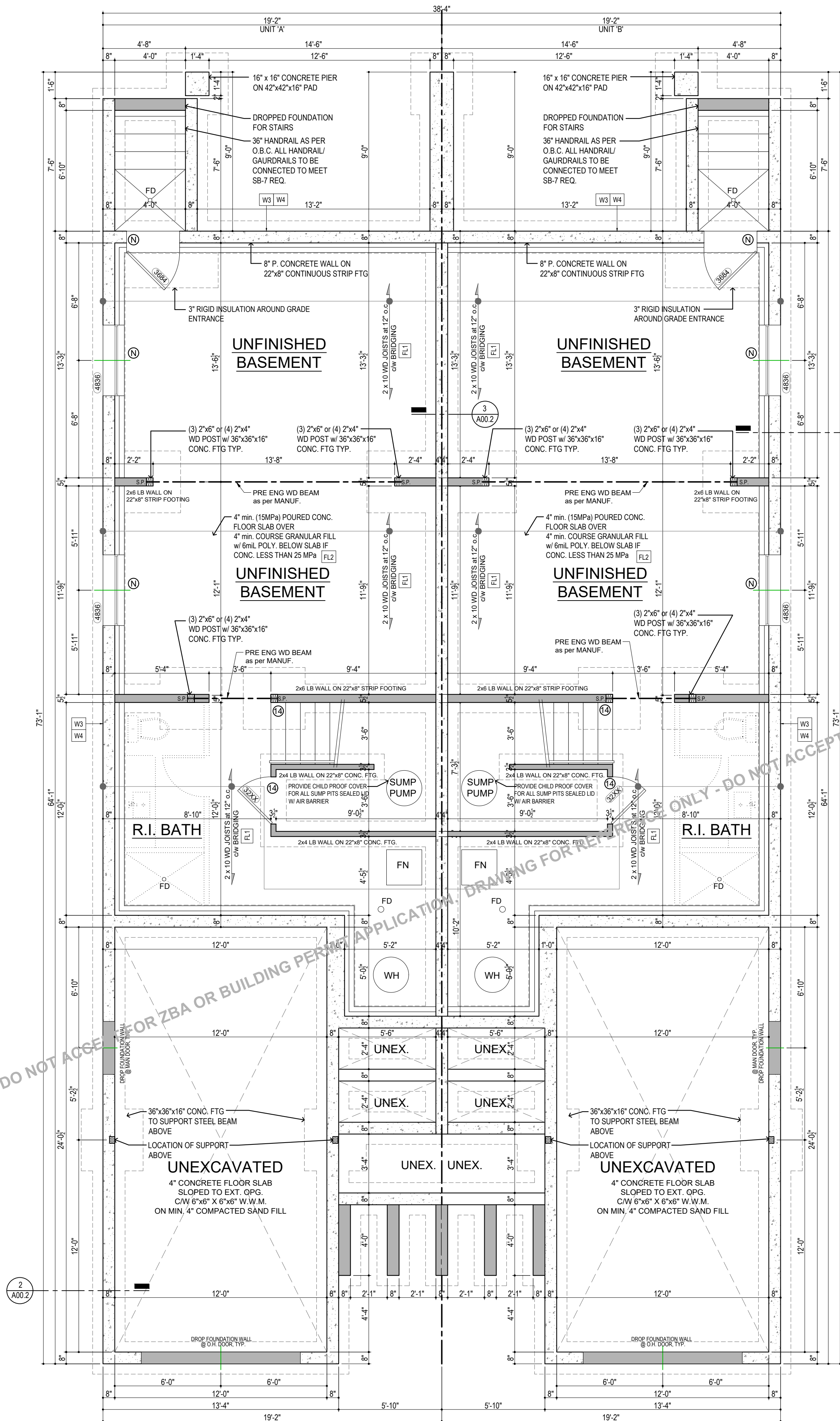
KEY NOTES	
1.	VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3.	ALL OPENINGS TO HAVE (2) 2x6 LINTEL UNLESS OTHERWISE NOTED.

MARK	WALL / PARTITION LEGEND	DESCRIPTION
W1		EIFS as per MANUF. GC TO COORDINATE) 1/2" RIGID INSUL. AIR BARRIER 7/8" O.S.B. or approved equal 2x6 WD STUDS @ 16" o.c. c/w R-22 BATT INSULATION 6 mil POLY VAPOUR BARRIER 1/2" GYPSUM BOARD
W2		BRICKSTONE VENEER 1" AIRSPACE AIR BARRIER 1/2" PLYWOOD 2x6 STUD WALL @ 16" o.c. w/R22 BATT INSULATION 2x4 STUD WALL @ 16" o.c. w/R22 BATT INSULATION 6 mil POLY VAPOUR BARRIER 1/2" GYPSUM BOARD
W3		4" FACE BRICK c/w BRICK TIES 1" AIRSPACE AIR BARRIER 7/8" O.S.B. or approved equal 2x4 STUDS @ 16" o.c. MIN. R-22 BATT INSULATION 2x4 STUDS @ 16" o.c. 6 mil POLY. VAPOUR BARRIER 1/2" GYPSUM BOARD
W4		DRAINAGE LAYER DAMP PROOFING 8" POURED CONCRETE (20MPa min.) R-10 RIGID INSULATION 2x4 STUDS @ 16" o.c. MIN. R-12 BATT INSULATION 6 mil POLY. VAPOUR BARRIER 1/2" GYPSUM BOARD (OPTIONAL)
W5		3/4" TYPE 'X' GYPSUM BOARD RESILIENT CHANNEL ON 2x4" STUDS @ 16" o.c. w/ BATT R-22 INSUL. 1" AIRSPACE 2x4" STUDS @ 16" o.c. w/ BATT INSULATION RESILIENT CHANNEL ON 3/4" TYPE 'X' GYPSUM BOARD
W6		3/4" TYPE 'X' GYPSUM BOARD 2 ROWS 2x4 STUDS @ 16" o.c. WALLS ON SEPARATE 2x4 SILL PLATES w/1" MIN. AIR GAP 3-1/2" ABSORPTIVE MATERIAL (ON EACH SIDE) 3/4" TYPE 'X' GYPSUM BOARD
P1		1/2" GYPSUM BOARD 2x4 STUD WALL @ 16" o.c. 1/2" GYPSUM BOARD ★ DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING
P2		1/2" GYPSUM BOARD 2x4 STUD WALL @ 16" o.c. 1/2" GYPSUM BOARD ★ DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING

WALL / PARTITION LEGEND GENERAL NOTES	
1.	ALL WALL TYPE DESCRIPTIONS COMMENCES FROM THE EXTERIOR FACE OF THE WALL CAVITY.
2.	ALL VET. AREAS WHERE GYPSUM BOARD IS PRESENT SHALL BE EQUIPPED W/MOISTURE RESISTANT GYPSUM BOARD.
3.	PROVIDE AND INSTALL ALL EXTERIOR FINISHES, TRIMS & FLASHING AS PER MANUF. RECOMMENDATIONS.
4.	PROVIDE FOUNDATION WATERPROOFING AT ALL WALLS ABUTTING BASEMENT AREAS.
5.	ALL MASONRY VENEERS TO HAVE CODE COMPLIANT WEEP HOLES (9.20.13.1) AND WALL TIES (9.20.9.5)
6.	ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED

MARK	FLOOR / ROOF LEGEND	DESCRIPTION
FL1		FLOOR FINISH T.B.D. 3/4" T&G PLYWOOD SUB FLOOR 2x10 FLOOR JOISTS @ 12" or 16" o.c. (SEE PLANS) 1/2" GYPSUM BOARD
FL2		SHINGLES - SELF SEALING 3/4" PLYWOOD SHEATHING ON 4" CLIPS 6x6 WOOD TRUSSES @ 24" o.c. R-30 BLOWN IN INSULATION (R-32 ATTIC) OR SPRAY FOAM INSUL. 6 mil POLY (WHERE BATT INSULATION) 1/2" GYPSUM BOARD
R1		1" AIRSPACE AIR BARRIER 7/8" O.S.B. or approved equal 2x4 STUDS @ 16" o.c. MIN. R-22 BATT INSULATION 2x4 STUDS @ 16" o.c. 6 mil POLY. VAPOUR BARRIER 1/2" GYPSUM BOARD

FLOOR / ROOF LEGEND GENERAL NOTES	
1.	ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED



FOUNDATION PLAN 790 SF
A01.1 1/4" = 1"

LINTEL SCHEDULE (EXTERIOR)		LINTEL SCHEDULE (INTERIOR)		EXTERIOR WALL STUDS w/BRICK		EXTERIOR WALL STUDS w/SIDING		STEEL LINTEL SCHEDULE		LEGEND	
LINTEL SIZE	MAX. SPAN	LINTEL SIZE	MAX. SPAN	STUD LENGTH	SUPPORTING	STUD LENGTH	SUPPORTING	STEEL LINTEL SIZE	MAX. SPAN	S.P. STL	3" x 3" HSS STEEL POST
2-2x4"	4'-11"	2-2x4"	4'-11"	13'-7"	2x6" @ 12"	13'-7"	2x6" @ 12"	3" x 3" HSS STEEL POST	3" x 3" HSS STEEL POST	S.P.	SUPPORT REQUIRED (3) 2x6
2-2x6"	6'-4"	2-2x6"	6'-4"	15'-0"	2x6" @ 12"	15'-0"	2x6" @ 12"	4" x 4" HSS STEEL POST	4" x 4" HSS STEEL POST	E.F.	GRAB BAR SUPPORT REQ'D
2-2x8"	7'-2"	2-2x8"	7'-2"	16'-4"	2x6" @ 12"	16'-4"	2x6" @ 12"	6" x 6" HSS STEEL POST	6" x 6" HSS STEEL POST	E.F.	EXHAUST FAN w/ NON-COMBUSTIBLE DUCTWORK
2-2x10"	8'-0"	2-2x10"	8'-0"	17'-3"	2x6" @ 12"	17'-3"	2x6" @ 12"	8" x 8" HSS STEEL POST	8" x 8" HSS STEEL POST		
2-2x12"	10'-11"	2-2x12"	10'-11"	18'-3"	2x6" @ 12"	18'-3"	2x6" @ 12"	10" x 10" HSS STEEL POST	10" x 10" HSS STEEL POST		

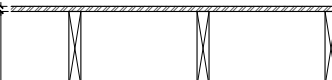
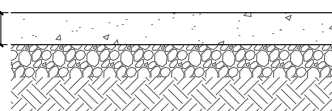
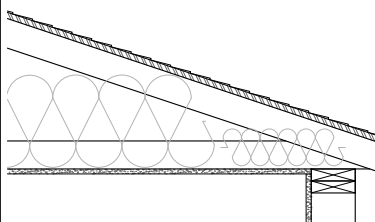
UPPER FLOOR PLAN 790 SF
A01.1 1/4" = 1"

FLOOR PLAN NOTES	
1.	VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3.	ALL INTERIOR WALL TYPES TO BE "P1" UNLESS OTHERWISE NOTED
4.	VERIFY ALL MEP WORK ON SITE

KEY NOTES	
1.	VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3.	ALL OPENINGS TO HAVE (2) 2x8 LINTEL UNLESS OTHERWISE NOTED.

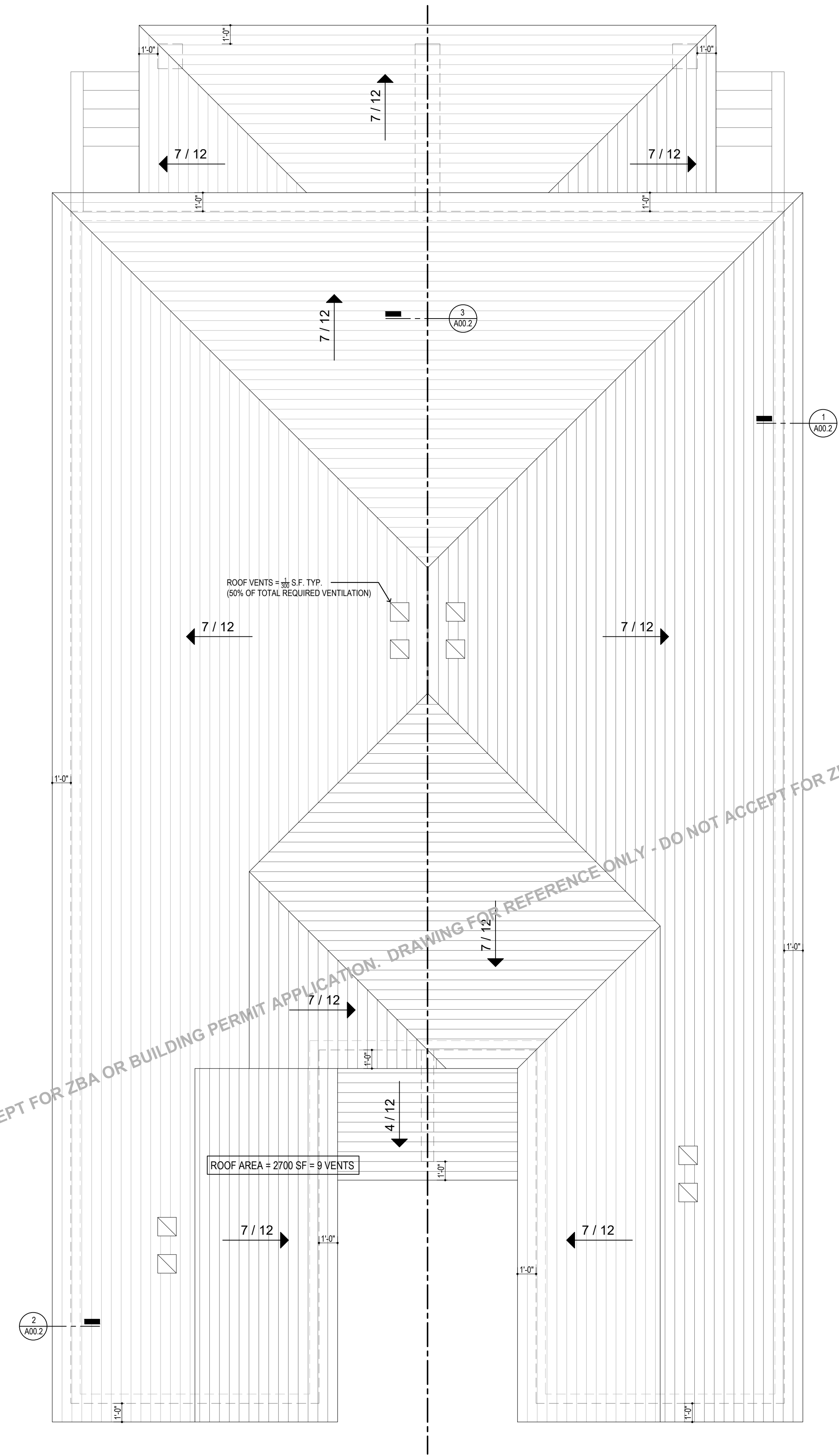
MARK	WALL / PARTITION LEGEND	DESCRIPTION
W1		EIFS as per MAUNF. GC TO COORDINATE) 1/2" RIDGED INSUL. AIR BARRIER 7/8" O.S.B. or approved equal 2x6 WD STUDS @ 16" o.c. c/w R-22 BATT INSULATION 6 mil POLY VAPOUR BARRIER 3/4" GYPSUM BOARD
W2		BRICK/STONE VENEER 1" AIRSPACE AIR BARRIER 1/2" PLYWOOD 2x6 STUD WALL @ 16" O.C. w/R22 BATT INSULATION or 2x4 STUD WALL @ 16" O.C. w/R12 BATT INSULATION 6mil POLY VAPOUR BARRIER 1/2" GYPSUM BOARD
W3		4" FACE BRICK c/w BRICK TIES 1" AIR SPACE AIR BARRIER 7/8" O.S.B. or approved equal 2x4 STUDS @ 16" o.c. MIN. R-22 BATT INSULATION 2x4 STUDS @ 16" O.C. 6 mil POLY. VAPOUR BARRIER 1/2" GYPSUM BOARD
W4		DRAINAGE LAYER DAMP PROOFING 8" POURED CONCRETE (20MPa min.) R-10 RIGID INSULATION 2x4 STUDS @ 16" o.c. MIN. R-12 BATT INSULATION 6 mil POLY. VAPOUR BARRIER 1/2" GYPSUM BOARD (OPTIONAL)
W5		3/4" TYPE 'X' GYPSUM BOARD RESILIENT CHANNEL ON 2x4" STUDS @ 16" o.c. w/ BATT R-22 INSUL. 1" AIR SPACE 2x4" STUDS @ 16" o.c. w/ BATT INSULATION RESILIENT CHANNEL ON 3/4" TYPE 'X' GYPSUM BOARD
W6		3/4" TYPE 'X' GYPSUM BOARD 2 ROWS 2x4 STUDS @ 16" o.c. WALLS ON SEPARATE 2x4 SILL PLATES w/1" MIN. AIR GAP 3-1/2" ABSORPTIVE MATERIAL (ON EACH SIDE) 3/4" TYPE 'X' GYPSUM BOARD
P1		1/2" GYPSUM BOARD 2x4 STUD WALL @ 16" O.C. 1/2" GYPSUM BOARD * DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING
P2		1/2" GYPSUM BOARD 2x6 STUD WALL @ 16" O.C. 1/2" GYPSUM BOARD * DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING

WALL / PARTITION LEGEND GENERAL NOTES	
1.	ALL WALL TYPE DESCRIPTIONS COMMENCES FROM THE EXTERIOR FACE TO THE INTERIOR FACE OF THE WALL CAVITY.
2.	ALL VET AREAS WHERE GYPSUM BOARD IS PRESENT SHALL BE EQUIPPED WITH MOISTURE RESISTANT GYPSUM BOARD.
3.	PROVIDE AND INSTALL ALL EXTERIOR FINISHES, TRIMS & FLASHING AS PER MANUF. RECOMMENDATIONS.
4.	PROVIDE FOUNDATION WATERPROOFING AT ALL WALLS ABUTTING BASEMENT AREAS.
5.	ALL MASONRY VENEERS TO HAVE CODE COMPLIANT WEEP HOLES (9.20.13.18), FLASHING (9.20.13.11) AND WALL TIES (9.20.9.5)
6.	ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED

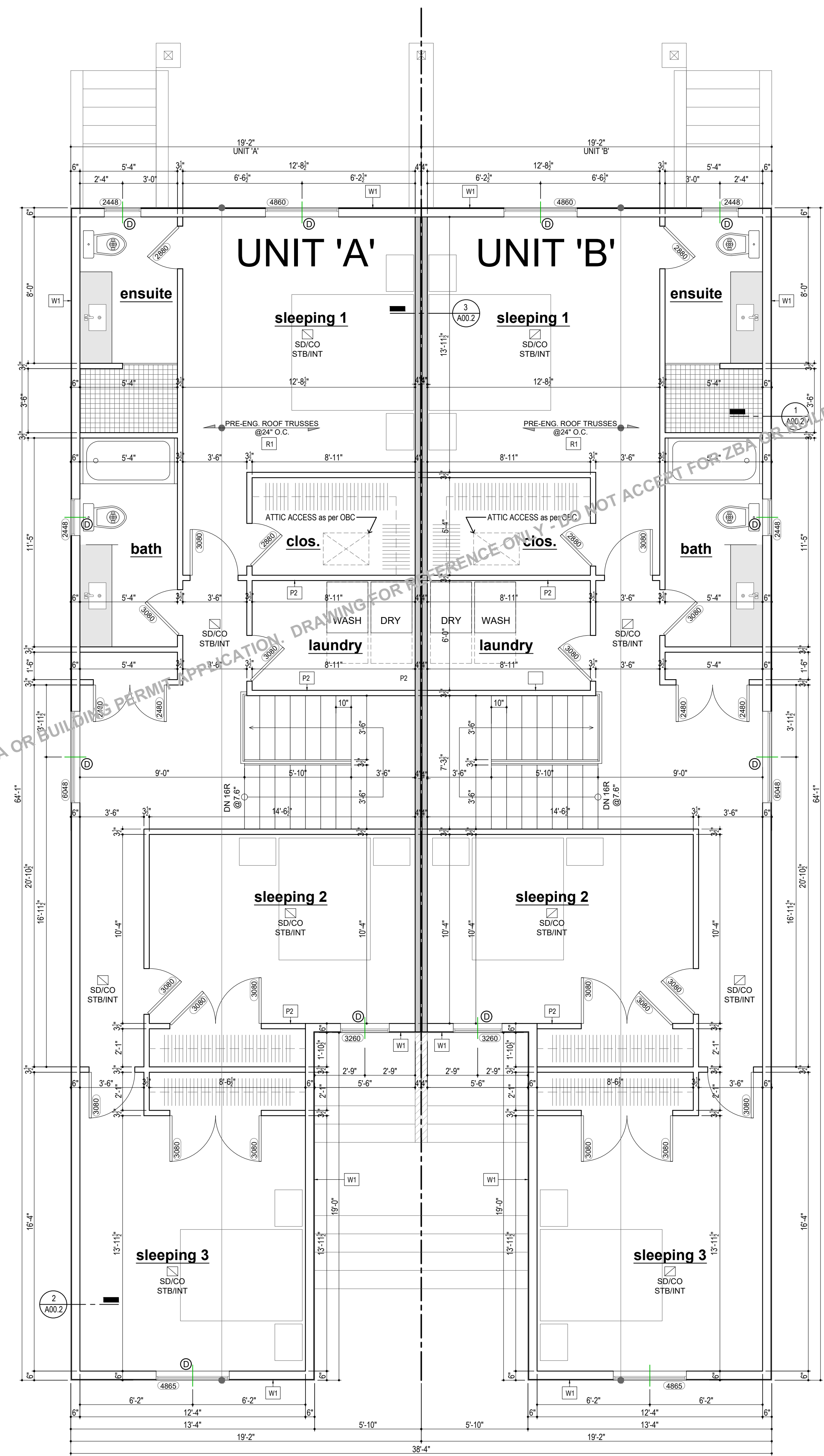
MARK	FLOOR / ROOF LEGEND	DESCRIPTION
FL1		FLOOR FINISH T.B.D. ¾" TAG PLYWOOD SUB FLOOR 2x10 FLOOR JOISTS @12" OR 16" O.C. (SEE PLANS) ¾" GYPSUM BOARD
FL2		
R1		SHINGLES - SELF SEALING ¾" PLYWOOD SHEATHING @¾" CLIPS RIGID INSUL. ROOF TRUSSES @24" O.C. R-60 BLOWN IN INSULATION (R-32 ATTIC) OR SPRAY FOAM INSUL. 6mil POLY (WHERE BATT INSULATION) ¾" GYPSUM BOARD

FLOOR / ROOF LEGEND GENERAL NOTES	
1.	ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED

2 ROOF PLAN
1/4" = 1'



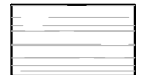
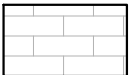
1 UPPER FLOOR PLAN 1118 SF
1/4" = 1'

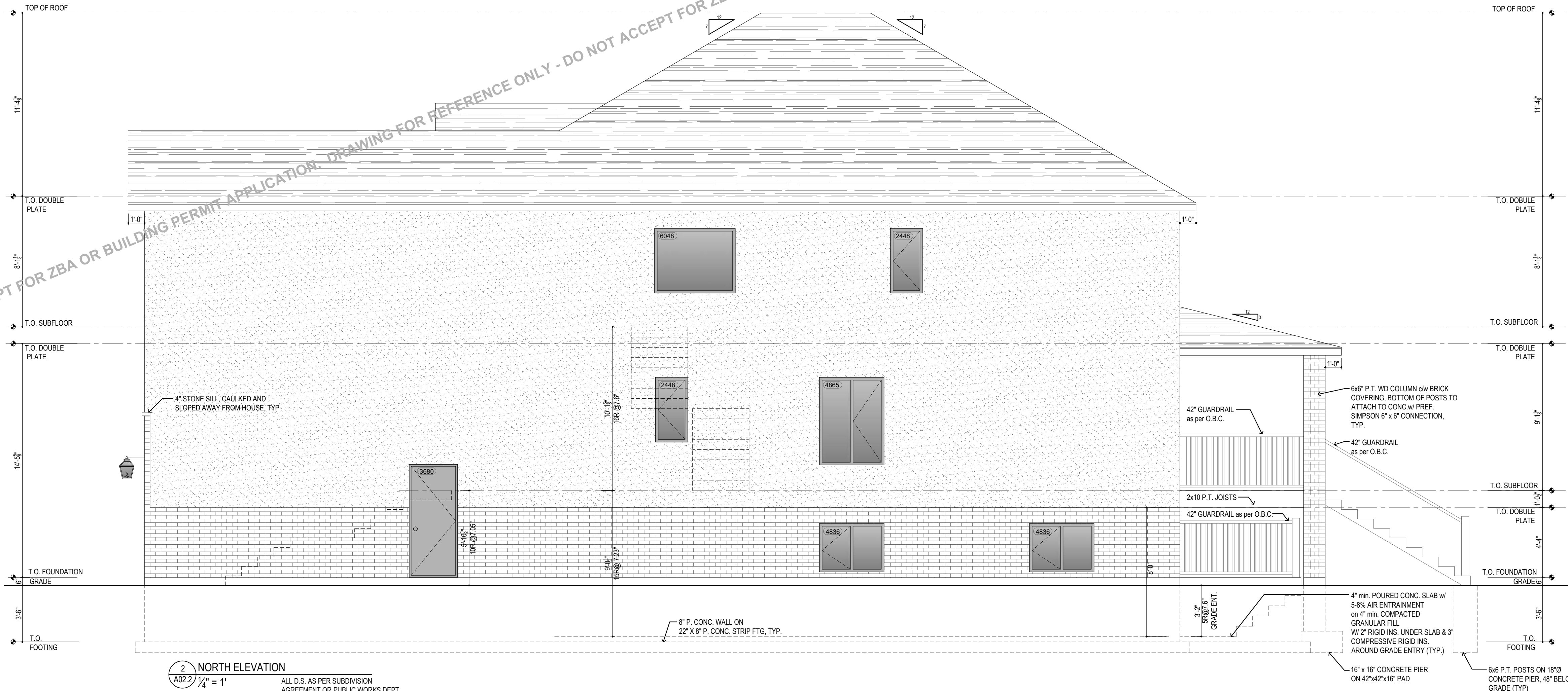
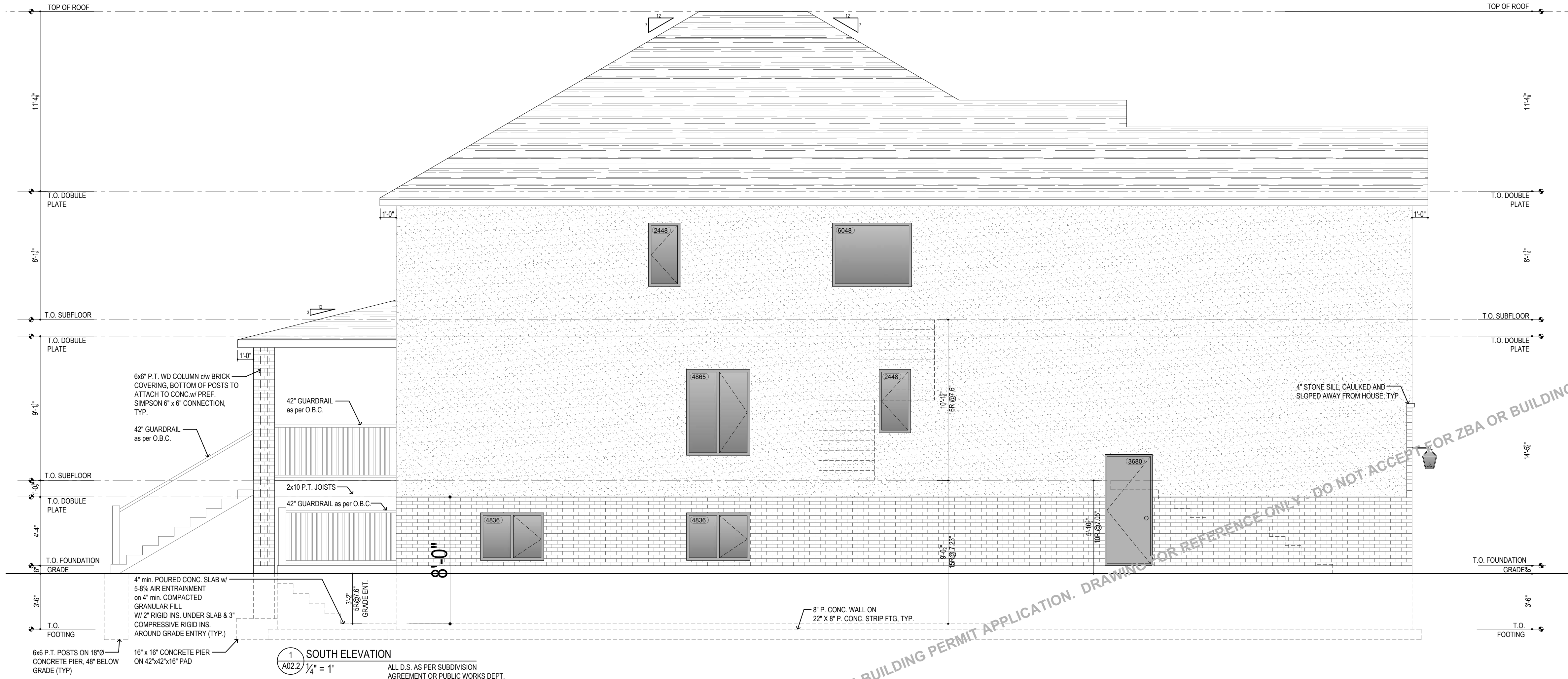


LINTEL SCHEDULE (EXTERIOR)				LINTEL SCHEDULE (INTERIOR)				EXTERIOR WALL STUDS w/BRICK			EXTERIOR WALL STUDS w/SIDING			STEEL LINTEL SCHEDULE		LEGEND
MAX SPAN				MAX SPAN				STUD LENGTH			SUPPORTING			SUPPORTING		LEGEND
LINTEL SIZE	ROOF + CEILING	ROOF + CEILING AND 1 STORY	ROOF + CEILING AND 2 STORY	LINTEL SIZE	ROOF + CEILING	ROOF + CEILING AND 1 STORY	ROOF + CEILING AND 2 STORY	13-77"	13-48"	16-00"	13-77"	13-48"	16-00"	13-77"	13-48"	
2-2x4"	4'-11"	2'-2"	2'-2"	2-2x4"	2'-2"	2'-2"	2'-2"	13-77"	2-2x4" @ 12"	2-2x4" @ 12"	13-77"	2-2x4" @ 12"	2-2x4" @ 12"	13-77"	2-2x4" @ 12"	2-2x4" @ 12"
2-2x6"	6'-4"	4'-10"	4'-4"	2-2x6"	4'-0"	3'-3"	2'-10"	15-00"	2-2x6" @ 16"	2-2x6" @ 16"	15-00"	2-2x6" @ 16"	2-2x6" @ 16"	15-00"	2-2x6" @ 16"	2-2x6" @ 16"
2-2x8"	7'-2"	5'-11"	5'-4"	2-2x8"	5'-4"	3'-11"	3'-10"	16-4"	2-2x8" @ 16"	2-2x8" @ 16"	16-4"	2-2x8" @ 16"	2-2x8" @ 16"	16-4"	2-2x8" @ 16"	2-2x8" @ 16"
2-2x10"	8'-0"	7'-3"	6'-4"	2-2x10"	6'-7"	4'-9"	4'-2"	17-39"	2-2x10" @ 12"	2-2x10" @ 12"	17-39"	2-2x10" @ 12"	2-2x10" @ 12"	17-39"	2-2x10" @ 12"	2-2x10" @ 12"
2-2x12"	10'-11"	8'-9"	7'-6"	2-2x12"	7'-1"	5'-9"	4'-9"	18-37"	2-2x12" @ 12"	2-2x12" @ 12"	18-37"	2-2x12" @ 12"	2-2x12" @ 12"	18-37"	2-2x12" @ 12"	2-2x12" @ 12"
THIS NET SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PROJECT				THIS NET SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PROJECT				ASSUMES 5 WIND HOURLY WIND PRESSURE AND 15 MPH SNOW LOAD			ASSUMES 5 WIND HOURLY WIND PRESSURE AND 15 MPH SNOW LOAD			THIS NET SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PROJECT		S.P. STL 3" x 3" x 1/2" HSS STEEL POST S.P. SUPPORT REQUIRED (3) 2x6 OR (4) 2x4 EX GRAB BAR SUPPORT REQ'D E.F. EXHAUST FAN w/ NON-COMBUSTIBLE DUCTWORK
THIS NET SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PROJECT				THIS NET SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PROJECT				ASSUMES 5 WIND HOURLY WIND PRESSURE AND 15 MPH SNOW LOAD			ASSUMES 5 WIND HOURLY WIND PRESSURE AND 15 MPH SNOW LOAD			THIS NET SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PROJECT		

GLAZING OPENINGS IN BUILDING FACE			
ELEVATION	BUILDING FACE (SF)	GLAZING (SF)	GLAZING %
WEST	986 SF	280 SF	28%
SOUTH	1486 SF	103 SF	6 %
EAST	889 SF	204 SF	22%
NORTH	1486 SF	103 SF	6%
TOTAL	4847 SF	690 SF	14%

EXTERIOR ELEVATION NOTES			
1.	ALL EXTERIOR FINISHES AS PER EXTERIOR MATERIAL FINISHES SCHEDULE OR EQUAL APPROVED.		
2.	ALL EXTERIOR FINISHES INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS		
3.	ALL EXTERIOR TRIMS, SILLS AND FLASHING TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.		
4.	EXISTING GRADING TO BE COORDINATED w/OWNER/G.C.		
5.	NEW OPENING ELEVATION TO BE SET BY TOWNSHIP		

EXTERIOR MATERIAL FINISHES SCHEDULE			
			
Shingles	Stucco	Brick	



DRAWING FOR REFERENCE ONLY - DO NOT ACCEPT FOR ZBA OR BUILDING PERMIT APPLICATION. DRAWING FOR REFERENCE ONLY - DO NOT ACCEPT FOR ZBA OR BUILDING PERMIT APPLICATION. DRAWING FOR REFERENCE ONLY - DO NOT ACCEPT FOR ZBA OR BUILDING PERMIT APPLICATION.

Development & Heritage Standing Committee
Monday, December 1, 2025
Item 7.5 - Written Submission

From: Debbie Craig < >

Sent: Thursday, November 27, 2025 8:55 PM

To: Clerks <clerks@citywindsor.ca>

Subject: Re: Delegation Confirmation - Item 7.5 – Zoning By-law Amendment Application for 3503 Byng Road, Z-019/25 [ZNG-7317], Ward 9

My name is Debora Bessette Craig, and I have lived at [REDACTED] Byng Road since 1977.

Building a six-unit dwelling on that small parcel of land is likely to cause strain on the current infrastructure, resources, and residents. Byng and the surrounding roads are small, narrow roads with little room for 2-way traffic. The proposed parking lot is being designed to accommodate 6 vehicles. If any of the occupants of the units own more than one vehicle, they will need to park on the small roads. There are very few places for people to park when visiting family and friends in the neighbourhood as it is. Now there will be further demand for parking. A six-unit dwelling is going to create more parking and traffic congestion. There are no sidewalks on most of the roads in the area, which makes it a safety concern for pedestrians, especially with an increase in density.

With an increase in density, comes an increase in noise. Also as one of the three properties most directly affected by this dwelling, there is the problem of privacy.

The plan showed a dumpster in the south-west corner of the concrete parking lot. We have had problems with rats in the past and this will only increase the problem.

Also there will likely be a problem with drainage for the properties that are affected by the concrete parking lot and six-unit dwelling with no green space.

Our neighbourhood is a lovely, quiet area of single family homes. This zoning change will negatively affect the aesthetic of our neighbourhood.

As residents directly affected, we strongly oppose the building of the six-unit dwelling at 3503 Byng Road.

Respectfully submitted.

Debora Bessette Craig & Ronald Craig