

Development & Heritage Standing Committee Meeting

Date: Monday, January 10, 2022

Time: 4:30 o'clock p.m.

Location: Council Chambers, 1st Floor, Windsor City Hall

All members will be participating electronically and will be counted towards quorum in accordance with Procedure By-law 98-2011 as amended, which allows for electronic meetings during a declared emergency. The minutes will reflect this accordingly.

MEMBERS:

Ward 3 – Councillor Rino Bortolin (Chairperson)

Ward 4 – Councillor Chris Holt

Ward 5 – Councillor Ed Sleiman

Ward 7 – Councillor Jeewen Gill

Ward 10 – Councillor Jim Morrison

Lynn Baker

Andrew Foot

Joseph Fratangeli

Anthony Gyemi

John Miller

Dorian Moore

Jake Rondot

ORDER OF BUSINESS

- | Item # | Item Description |
|---------------|--|
| 1. | CALL TO ORDER

READING OF LAND ACKNOWLEDGEMENT
We [] would like to begin by acknowledging that the land on which we gather is the traditional territory of the Three Fires Confederacy of First Nations, which includes the Ojibwa, the Odawa, and the Potawatomie. The City of Windsor honours all First Nations, Inuit and Métis peoples and their valuable past and present contributions to this land. |
| 2. | DISCLOSURES OF PECUNIARY INTEREST AND THE GENERAL NATURE THEREOF |
| 3. | REQUEST FOR DEFERRALS, REFERRALS OR WITHDRAWALS |
| 4. | COMMUNICATIONS |
| 5. | ADOPTION OF THE <i>PLANNING ACT</i> MINUTES |
| 5.1. | <i>Planning Act</i> Minutes from the Development and Heritage Standing Committee meeting held December 6, 2021 (SCM 404/2021) |
| 6. | PRESENTATION DELEGATIONS (<i>PLANNING ACT</i> MATTERS) |
| 7. | <i>PLANNING ACT</i> MATTERS |
| 7.1. | Rezoning Application for properties known as 3945 and 3985 Dougall Avenue; Applicant: 2319576 Ontario Ltd.; File No. Z-014/19, ZNG/5898; Ward 1 (S 39/2020) |
| 7.2. | Rezoning - Chantelle Bayley - 2422 Rossini Blvd Z 035-21 [ZNG-6573] - Ward 5 (S 166/2021) |
| 7.3. | Rezoning - Brisson Property Management - 2920 Langlois - Z-033/21 ZNG/6544 - Ward 10 (S 168/2021) |

8. **ADOPTION OF THE MINUTES**

9. **PRESENTATIONS AND DELEGATIONS (COMMITTEE ADMINISTRATIVE MATTERS)**

10. **HERITAGE ACT MATTERS**

N/A

11. **ADMINISTRATIVE ITEMS**

11.1. Economic Revitalization Community Improvement Plan (CIP) application submitted by 2810859 Ontario Inc. for 10700 Tecumseh Road East (Ward 7) (**S 161/2021**)

11.2. Brownfield Redevelopment Community Improvement Plan (CIP) application submitted by Amy-Lynn and Gabriel Valente for 10965 Riverside Drive East (Ward 7) (**S 162/2021**)

11.3. University Avenue and Wyandotte Street Community Improvement Plan (CIP) Application submitted by 2605385 Ontario Inc. on behalf of AIPL Holdings Inc. for 1200 University Avenue West (Ward 3) (**S 163/2021**)

11.4. Ford City/Building Facade Improvement CIP Application for 1093 Drouillard Road. Owner: Kyle McDonald – Ward 5 (**S 170/2021**)

11.5. Ford City/Building Facade Improvement CIP Application for 2778 Richmond Street. Owner: Kyle McDonald – Ward 5 (**S 169/2021**)

12. **COMMITTEE MATTERS**

12.1. Minutes of the Property Standards Committee of its meeting held October 6, 2021 (**SCM 378/2021**)

13. **QUESTION PERIOD**

14. **ADJOURNMENT**



Committee Matters: SCM 404/2021

Subject: *Planning Act* Minutes from the Development and Heritage Standing Committee meeting held December 6, 2021

Development & Heritage Standing Committee
(Planning Act Matters)

Date: Monday, December 6, 2021
Time: 4:30 pm

MEMBERS PRESENT:

Councillors:

Ward 3 - Councillor Bortolin (Chair)
Ward 4 - Councillor Holt
Ward 5 - Councillor Sleiman
Ward 7 - Councillor Gill
Ward 10 - Councillor Morrison

Members:

Member Gyemi
Member Moore

Members Regrets:

Member Rondot

Clerk's NOTE: Members Gyemi and Moore participated via video conference (Zoom), in accordance with Procedure By-law 98-2011 as amended, which allows for electronic participation during a declared emergency.

PARTICIPATING VIA VIDEO CONFERENCE ARE THE FOLLOWING FROM ADMINISTRATION:

Tracy Tang, Planner II – Revitalization & Policy Initiatives
Kevin Alexander, Planner III – Special Projects
Greg Atkinson, Planner III – Economic Development
Justina Nwaesei, Planner III – Subdivisions
Adam Szymczak, Planner III – Zoning
Kristina Tang, Planner III – Heritage
Rania Toufeili, Policy Analyst
Steven Payne, Student Planner
Minan Song, Student Planner
Marianne Sladic, Clerk Steno Senior
Sandra Gebauer, Council Assistant

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PARTICIPATING IN COUNCIL CHAMBERS ARE THE FOLLOWING FROM ADMINISTRATION:

Thom Hunt, City Planner
Michael Cooke, Manager of Planning Policy / Deputy City Planner
Wira Vendrasco, Deputy City Solicitor – Legal & Real Estate
Anna Ciacelli, Deputy City Clerk / Supervisor of Council Services

1. CALL TO ORDER

The Chairperson calls the meeting of the Development & Heritage Standing Committee to order at 4:32 pm.

2. DISCLOSURES OF PECUNIARY INTEREST AND THE GENERAL NATURE THEREOF

None

3. REQUEST FOR DEFERRALS, REFERRALS OR WITHDRAWALS

None

4. COMMUNICATIONS

None

5. ADOPTION OF THE PLANNING ACT MINUTES

5.1 Minutes of the Development & Heritage Standing Committee (*Planning Act Matters*) minutes held November 8, 2021.

Moved by: Councillor Gill

Seconded by: Councillor Sleiman

THAT the Minutes of the Development & Heritage Standing Committee meeting (*Planning Act Matters*) meeting held November 8, 2021 **BE ADOPTED** as presented.

CARRIED, UNANIMOUSLY.

Report Number: SCM 373/2021
Clerk's File: MB2021

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6. PRESENTATION & DELEGATIONS (*PLANNING ACT MATTERS*) – participating via video conference

Item 7.1 & 7.2	Tracey Pillon-Abbs, Planner representing Applicant
Item 7.1	Paolo DiBartolomeo, Applicant; and Maria DiBartolomeo, Paul Mar Housing
Item 7.2	Lenn Curtis and Christine Oszter, Property Owners in Area
Item 7.3	Jackie Lassaline, Planning Consultant representing Deniz Orak
Item 7.3	Mark Noughra, Area Resident

7. PLANNING ACT MATTERS

7.1 Z-038/21 [ZNG/6598] – Paul Mar Housing 739 Bridge Ave – Rezoning Ward 2

Minan Song, Co-Op Student (author) with Justina Nwaesei (co-author), Planner III – Subdivisions

Ms Song provides a brief presentation of the report.

Tracey Pillon-Abb – Pillon Abbs Inc (agent) is in support of the recommendations and is available for questions.

Paolo DiBartolomeo (applicant) is available for questions.

Moved by: Councillor Holt

Seconded by: Councillor Sleiman

Decision Number: **DHSC 349**

RECOMMENDATIONS

THAT Zoning By-law 8600 **BE AMENDED** by changing the zoning of the land located on the west side of Bridge Ave., south of Wyandotte Street West, described as Plan 369, Lots 234 & 235 (PIN 01224-0375), from Residential District 1.3 (RD1.3) to Residential District 2.1 (RD2.1) in Zoning By-law 8600.

Motion CARRIED UNANIMOUSLY.

Report Number: S 152/2021
Clerk's File: ZB/14030

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7.2 Z-027/21 [ZNG/6501] & OPA 151 [OPA/6502] – 2800573 Ontario Ltd 3165 Walker Rd – Rezoning & Official Plan Amendment Ward 9

Justina Nwaesei (author), Planner III – Subdivisions

Ms Nwaesei provides a brief presentation of the report.

Tracey Pillon-Abbs – Pillon Abbs Inc (agent) requests an amendment to the wording of the recommendation such that there are no windows on the north and south sides and the required minimum building setback to be 0 metres. The applicant is willing to work with Site Plan and can easily move the balcony to the opposite side. Most concerns can and will be addressed during Site Plan Control. Ms. Pillon-Abbs is available for questions.

Lenn Curtis & Christine Foster (residents) – notes concern over the parking situation. They get many people parking on their property who are not visiting their establishments. Also concern over crime (drugs & break-ins/theft) in the area.

Moved by: Councillor Sleiman

Seconded by: Councillor Morrison

Decision Number: **DHSC 350**

RECOMMENDATIONS

I. THAT the City of Windsor Official Plan, Volume II, Part 1 – Special Policy Areas, **BE AMENDED** by adding a site specific policy as follows:

1. X **WEST SIDE OF WALKER ROAD, BETWEEN E.C. ROW EXPRESSWAY AND SYDNEY AVENUE**

1.X.1 The property described as Lots 810 to 814, Pt Lot 809 and Pt Closed Alley, Registered Plan 1126, designated as Part 2 on Plan 12R-13004 and Parts 5 to 10 on Plan 12R-18422, (PIN 01345-0220 LT and PIN 01345-0470 LT), located on the west side of Walker Road, between the E.C. ROW Expressway and Sydney Avenue, municipally known as 3165 Walker Road, is designated on Schedule A: Planning Districts and Policy Areas in Volume I – The Primary Plan.

1.X.2 Notwithstanding the policy in section 6.5.3.1 of the Official Plan, Volume I, *residential use in a combined use building* shall be an additional permitted use on the subject land and all residential units shall be located on the second floor above the non-residential uses on the main floor of a 2-storey building.

II. THAT an amendment to the Zoning By-law 8600 **BE APPROVED** to change the zoning for the property described as Lots 810 to 814, Pt Lot 809 and Pt Closed Alley, Registered Plan 1126, designated as Part 2 on Plan 12R-13004 and Parts 5 to 10 on Plan 12R-18422, (PIN 01345-0220 LT and PIN 01345-0470 LT), located on the west side of Walker Road, between the E.C.

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ROW Expressway and Sydney Avenue, by adding the following site-specific zoning provisions to permit *dwelling units in a combined use building* as additional permitted use on the subject land:

“437. WEST SIDE OF WALKER ROAD, BETWEEN E.C. ROW EXPRESSWAY AND SYDNEY AVENUE

For the land comprising Lots 810 to 814, Pt Lot 809 and Pt Closed Alley, Registered Plan 1126, designated as Part 2 on Plan 12R-13004 and Parts 5 to 10 on Plan 12R-18422, (PIN 01345-0220 LT and PIN 01345-0470 LT) *Dwelling Units in a Combined Use Building* with any one or more of the commercial uses permitted in Section 16.2.1 except an existing *funeral establishment, existing gas bar, or existing service station*, shall be an additional permitted use and shall be subject to the following additional provisions:

- a) All *dwelling units*, not including entrances thereto, shall be located above the non-residential uses;
- b) Section 16.3.5 shall not apply to a *combined use building*;
- c) Building Height – Maximum – 10 m
- d) Building Setback from an Interior Lot Line – Minimum
 1. Where a *habitable room window* faces the *interior lot line* 6.0 m
 2. Where a *habitable room window* does not face the *interior lot line* 3.0 m from the west lot line; and 0 m from the north and south lot lines.
- e) Landscape Open Space Yard – Minimum – 30% of Lot Area
- f) Exposed flat concrete block walls or exposed flat concrete walls, whether painted or unpainted, are prohibited; and
- g) *Parking spaces* for the *dwelling units* shall be clearly marked, assigned and set apart from other *parking spaces*.
[ZDM12; ZNG-6502]”

III. THAT the parcel described as Lots 810 to 814, Pt Lot 809 and Pt Closed Alley, Registered Plan 1126, designated as Part 2 on Plan 12R-13004 and Parts 5 to 10 on Plan 12R-18422, located on the west side of Walker Road, between the E.C. ROW Expressway and Sydney Avenue, **BE EXEMPT** from the provisions of section 45(1.3) of the *Planning Act*, and

IV. THAT the Site Plan Approval Officer **BE DIRECTED** to incorporate the following requirements and other requirements found in Appendix D of this Report, in the Site Plan Approval process and the Site Plan Agreement for the proposed development on the subject land:

- 1) Noise mitigation measures recommended by JJ Acoustic Engineering Ltd.
- 2) Sanitary Sampling Manhole;
- 3) Record of Site Condition;
- 4) Parkland dedication;
- 5) Stormwater management – underground storage required (stormwater chambers);
- 6) Enbridge Gas minimum separation requirements;
- 7) Adequate clearance from existing ENWIN's pole lines and power lines; and

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8) Canada Post requirements and guidelines for the proposed multi-unit.
Motion CARRIED UNANIMOUSLY.

Report Number: S 158/2021
Clerk's File: ZO/14209 & ZB/14208

7.3 Z-019/21 [ZNG/6443] – Deniz Orak 1174 Curry Ave – Rezoning Ward 2

Adam Szymczak (author), Planner III – Zoning

Mr. Szymczak gives a brief presentation of the report and is available for any questions.

Jackie Lassaline – Lassaline Planners (consultant) is in agreement with the recommendations and is available for any questions.

Mark Nouhra (resident) – notes concerns over street congestion, parking and density. Addressed by Ms. Lassaline.

Moved by: Councillor Morrison
Seconded by: Member Gyemi

Decision Number: **DHSC 351**

RECOMMENDATIONS

THAT Zoning By-law 8600 **BE AMENDED** by changing the zoning of Lots 36 to 37, Registered Plan 1168, (known municipally as 1174 Curry Avenue; Roll No. 040-430-12400; PIN 01217-0209) situated on the east side of Curry Avenue between Grove Avenue & Pelletier Street) from Residential District 1.3 (RD1.3) to Residential District 2.2 (RD2.2).

Motion CARRIED UNANIMOUSLY.

Report Number: S 155/2021
Clerk's File: ZB/14135

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8. ADJOURNMENT

There being no further business, the meeting of the Development & Heritage Standing Committee (Planning Act Matters) is adjourned at 5:25 p.m.

Ward 3 – Councillor Bortolin
(Chairperson)

Thom Hunt
(Secretary)



Subject: Rezoning Application for properties known as 3945 and 3985 Dougall Avenue; Applicant: 2319576 Ontario Ltd.; File No. Z-014/19, ZNG/5898; Ward 1

Reference:

Date to Council: January 10, 2022
Author: Justina Nwaesei, MCIP, RPP
Senior Planner - Subdivisions
519-255-6543, ext. 6165
jnwaesei@citywindsor.ca

Planning & Building Services
Report Date: September 5, 2020
Clerk's File #: ZB/13592

To: Mayor and Members of City Council

Recommendation:

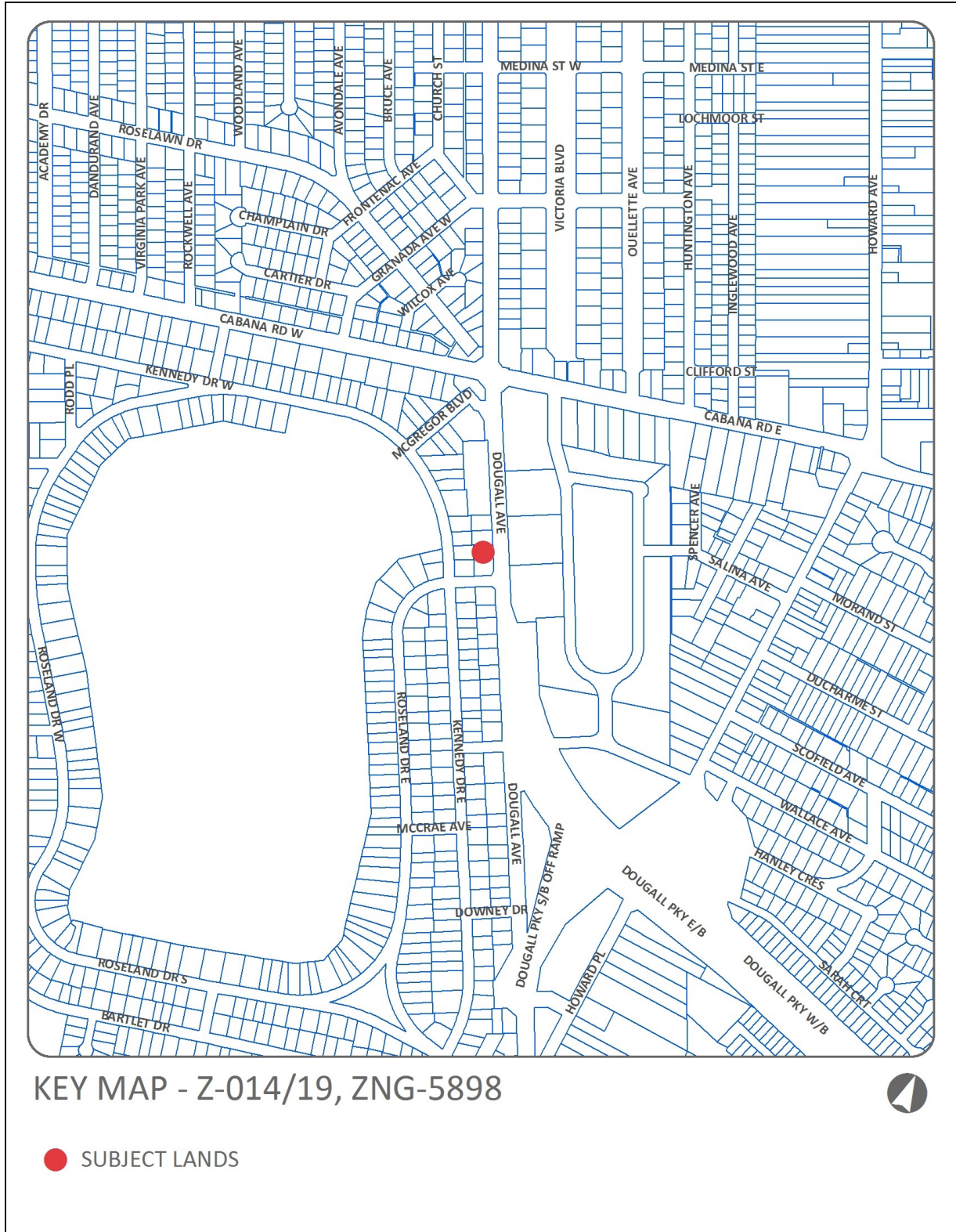
- I. That an amendment to the Zoning By-law 8600 to change the zoning of Part of lots 133 and 134, RP 1478, located on the northwest corner of the intersection of Dougall Avenue and Roseland Drive East, and municipally known as 3945 and 3985 Dougall Avenue, from RD1.4 to CD1.3 **BE DENIED** for reasons noted in the report, particularly the following:
 - a. The amendment is not consistent with the PPS;
 - b. The amendment does not conform with the Official Plan; and
 - c. Approval of the requested amendment is not good planning

Executive Summary:

N/A

Background:

1. KEY MAP



2. APPLICATION INFORMATION

LOCATION: Located on the northwest corner of the intersection of Dougall Avenue and Roseland Drive E., and municipally known as 3945 and 3985 Dougall Avenue.

APPLICANT: 2319576 Ontario Ltd. [c/o Dan & Linda Jahn]

AGENT: Dillon Consulting Limited [c/o Melanie Muir]

PROPOSAL: The applicant is requesting an amendment to Zoning By-law 8600 for the lands located on the northwest corner of the intersection of Roseland Drive East and Dougall Avenue, to allow the redevelopment of the existing residential lands municipally known as 3985 and 3945 Dougall Avenue. The applicant requests to change the zoning of the subject lands from RD1.4 to a site-specific Commercial Zone similar to CD1.3 (Commercial District 1.3) to permit a range of neighbourhood commercial uses with on-site parking.

The requested amendment will facilitate the demolition of the existing single unit dwellings and accessory structures on the subject lands to accommodate the proposed commercial development. The applicant's conceptual site plan (Appendix E, attached) shows forty-three (43) motor vehicle parking spaces are proposed. The conceptual site plan also shows proposed driveway access on Dougall Avenue and another driveway access on Roseland Drive East.

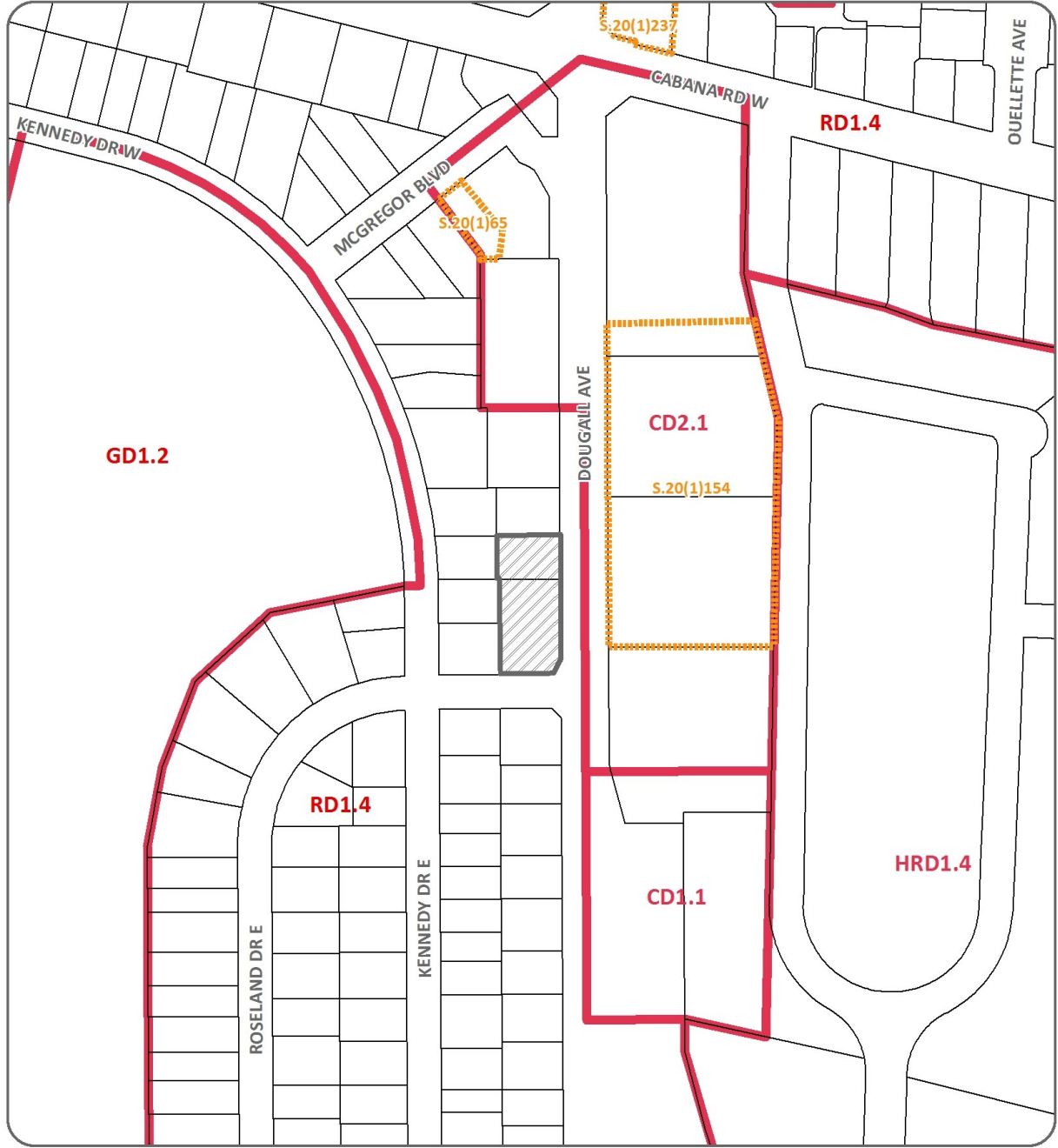
SUBMISSIONS BY APPLICANT:

- Planning Justification Report (PJR), prepared by Dillon Consulting
- Conceptual Development Site Plan
- Property deed
- Stormwater Management Memo/Full Report
- Transportation Impact Study
- Meeting Summary Report (June 11, 2019 Open House – meeting with residents)
- Zoning Amendment Application Form and Fees
- PJR Supplementary Memo dated July 3, 2020, prepared by Dillon Consulting

3. SITE INFORMATION

OFFICIAL PLAN	ZONING & ZDM	CURRENT USE(S)	PREVIOUS USE(S)
<ul style="list-style-type: none"> • Roseland Planning District • Residential Land Use 	Residential District 1.4 (RD1.4); ZDM9	Single Unit Dwellings (SUDs)	Residential
FRONTAGE	DEPTH	AREA	SHAPE
74.3m on Dougall Avenue	Irregular	3000sq.m	Rectangular
Note: All measurements are approximate			

4. REZONING MAP



PART OF ZONING DISTRICT MAP 9

N.T.S.

REQUESTED ZONING AMENDMENT

2319576 Ontario Ltd.



SUBJECT LANDS

PLANNING & BUILDING DEPARTMENT



DATE : JANUARY, 2020
FILE NO. : Z-014/19, ZNG/5898

5. NEIGHBOURHOOD CHARACTERISTICS

NEIGHBOURHOOD MAP



NEIGHBOURHOOD MAP - Z-014/19, ZNG/5898



SUBJECT LANDS

SURROUNDING LAND USE

The subject lands are within an established residential neighbourhood in the South Windsor Area. The surrounding developments in the area are commercial uses along some sections of Dougall Avenue frontage, and low density residential uses in the rest of the subject neighbourhood.

North of the subject lands, there is an existing single unit dwelling (at 3935 Dougall Avenue) abutting the subject lands. Next north, there is a commercial parking lot on Residential lands. The parking lot serves the commercial plaza at 3865 – 3893 Dougall Avenue, owned by Countryside Plaza Inc. Immediate north of 3865 – 3893 Dougall Avenue, there is another commercial plaza at the southwest corner of Dougall and Cabana, municipally known as 3833-3855 Dougall Avenue, and owned by Dougall Square Plaza Limited.

South and southwest of the subject lands, there are low density residential uses, mostly ranch-style single unit dwellings.

East of the subject lands, on the east side of Dougall Avenue R.O.W., there are commercial uses in an established commercial corridor stretching from Cabana Road E. southerly, beyond the easterly extension of Roseland Drive East R.O.W.

West of the subject lands, there are low density residential uses, mostly ranch-style single unit dwellings. Further west, there is Roseland Golf and Curling Club on Open Space lands owned by the municipality.

A list of existing commercial uses in the subject area are documented on pages 3 and 4 of the Planning Justification Report submitted by the applicant and are inserted in this report as TABLE 1; see page 7 below. Site Photos attached to this report as Appendix A, show surrounding land uses in the subject area.

MUNICIPAL INFRASTRUCTURE

- The City's records show that there is a 525mm diameter reinforced concrete pipe storm sewer and a 200mm diameter polyvinylchloride pipe sanitary sewer available along the west side of Dougall Avenue R.O.W., abutting the subject lands. In addition, there is a 1500mm diameter reinforced concrete pipe storm sewer and a 1050mm diameter reinforced concrete pipe sanitary sewer available along the Roseland Dr. E. frontage of the subject lands. The sewers are available to service the subject lands; the municipal records show existing sanitary sewer private drain connections for the subject lands along Dougall Avenue frontage.
- Dougall Avenue is classified Class II Arterial Rd in the Official Plan.
- Cabana Road W. is classified Class II Arterial Road in the Official Plan.
- Roseland Drive East is a Local Road.
- The Dougall Avenue & Roseland Drive East intersection and Dougall Avenue & Cabana Road East intersection are both signalized.
- There are water mains, curb & gutter, concrete sidewalks, street lights, and hydro poles with overhead wires in the subject area.

- Public Transit via Dougall 6 (north and south bound) and South Windsor 7 (east and west bound) is available on Dougall and Cabana, approximately 300m from the subject land. Bus stops are an average of 400m away from the subject lands.

TABLE 1 - Excerpt from the applicant's Planning Justification Report

<p>North (West side of Dougall Avenue, Roseland Drive East to Cabana Road West):</p> <ul style="list-style-type: none"> • Existing single detached residential uses - 3935 Dougall Avenue (RD1.4); • Existing commercial uses (CD2.1) including but not limited to: <ul style="list-style-type: none"> ○ Eyewares of Windsor ○ Toscana Restaurant ○ Scotiabank ○ Dressed by an Olive ○ The Delicate Touch Lingerie & Sleepwear ○ Carswell Chiropractic and Massage ○ Cameo Hair Salon ○ Dental Office ○ Unique Convenience ○ Johnny Piez Gourmet Pizza ○ State Farm Insurance ○ Rosedale Animal Hospital ○ Gluten Free Bakery ○ Ted Farron Gourmet Butcher <p>East (East side of Dougall Avenue, Roseland Drive East to Cabana Road West):</p> <ul style="list-style-type: none"> • Existing commercial uses (CD2.1) including but not limited to; <ul style="list-style-type: none"> ○ Shoppers Drug Mart ○ Canadian Tire Gas Bar ○ Starbucks ○ Simoniz Touchless Car Wash ○ Little Caesars Pizza ○ Goodlife Fitness (24 Hour) ○ Padrone Men's Barbershop and Hair Salon ○ Dr. Dan Foresto, Dentist ○ Cabana Court Chiropractic ○ Massage Addict ○ Linda's Magic Nails ○ Iguana Sushi bar ○ IDA Lifestyle Pharmacy ○ RBC Royal Bank ○ Tim Hortons ○ Bahama Mamma Tanning Salon ○ Mann's Convenience
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Table 1 above confirms that there are a variety of commercial uses already available in the surrounding area.

Discussion:

In early 2019, 2319576 Ontario Ltd. submitted applications for an Official Plan Amendment (OPA) and a Zoning By-law Amendment (ZBA) to permit commercial uses at 3945 and 3985 Dougall Avenue. The OPA and ZBA applications were later withdrawn at the preliminary review stage. Following the withdrawal of the OPA and ZBA applications, 2319576 Ontario Ltd. then submitted this rezoning application on July 17, 2019, requesting for a zoning change to permit neighbourhood commercial use(s) on the properties known as 3945 and 3985 Dougall Avenue.

1. PROVINCIAL POLICY STATEMENT (PPS) 2020

Provincial Policy Statement 2020 was issued under section 3 of the Planning Act and came into effect May 1, 2020. It replaces the Provincial Policy Statement issued April 30, 2014.

The Provincial Policy Statement provides policy direction on matters of provincial interest related to land use planning and development and sets the policy foundation for regulating the development and use of land in Ontario.

This amendment is about a proposed neighbourhood commercial development (retail use) replacing existing residential developments (single detached dwellings) on residential lands. The applicant's planning consultant provided a Planning Justification Report and Supplementary Memo in support of the proposed amendment. I have reviewed their submission and I disagree with their opinion.

Under "Managing and Directing Land use..." the PPS mentions residential uses (a range of housing types such as single detached dwellings, etc.) and housing options. In addition, the Provincial Policy Statement 2020 devotes a full sub-section (1.4) specifically to Housing, in which residential intensification is specifically mentioned. To the contrary, there is no specific mention of a "neighbourhood commercial use". Other PPS policies such as 1.1.1, 1.1.2, 1.1.3 address the need for a mix of land uses (residential, commercial, industrial, institutional, etc. Policy 1.1.1 (b) mentions commercial uses, but there is no specific mention of "*Neighbourhood Commercial Use(s)*" in the PPS. It is a category of commercial use found in the City's Official Plan.

To analyse the PPS policies pertaining to the requested amendment, one would need to consider the current use being replaced (the existing residential use), because housing is of high interest to the Province. The following policies of the PPS 2020 are deemed relevant for this analysis, and have been considered:

1.1.1 Healthy, liveable and safe communities are sustained by:

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;*
- b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;*

Regarding 1.1.1 (a), the subject area of the City is already planned and contains existing developments and land use pattern(s). The proposed amendment undermines the existing established residential neighbourhood. This neighbourhood, like many others in the City, has potential for residential intensification and infill, which would make it more efficient.

The proposed amendment is an intrusion on the existing planned land use pattern in the subject area. There is an existing commercial corridor with a host of commercial uses in

very close proximity to the subject lands; see TABLE 1 on page 7 above. Therefore, in order to keep the nearby existing commercial uses vibrant and sustainable, it would be more appropriate to explore opportunities for residential intensification on the subject land, rather than the proposed commercial development.

Regarding 1.1.1(b), the subject lands are within an established residential neighbourhood in *South Windsor* area of the City. The subject neighbourhood accommodates existing low density residential developments (mostly single unit dwellings), existing commercial uses concentrated along portions of an arterial roadway (Dougall Avenue), plus an open space use (Golf Course) in a suitable manner, which is consistent with policy 1.1.1 (b).

Based on the above, one can conclude that this amendment is not required to sustain a healthy, liveable and safe community for the residents in the subject neighbourhood.

The following relevant statements have also been examined with respect to this zoning by-law amendment:

1.1.3.2 – Land use patterns within settlement areas shall also be based on a range of uses and opportunities for intensification and redevelopment in accordance with the criteria in policy 1.1.3.3, where this can be accommodated.

1.1.3.3 states that “Planning authorities shall identify appropriate locations and promote opportunities for transit-supportive development, accommodating a significant supply and range of housing options through intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs.”

With respect to statements 1.1.3.2 and 1.1.3.3 above, it is important to note that they include these phrases: *“shall identify” “appropriate locations”, “accommodating a significant supply and range of housing options”, “intensification and redevelopment”, “where this can be accommodated” and “taking into account existing building stock or areas”.*

The proposed amendment to allow commercial development (neighbourhood commercial) on the subject lands does not take into account existing building stock or area. This amendment ignores the fact that the subject area has existing functional commercial corridor serving the needs of a broad spectrum of customers, including the day-to-day needs of the residents in the subject neighbourhood. The subject amendment is not consistent with policies 1.1.3.2 and 1.1.3.3 of PPS 2020.

As mentioned already in this report, sub-section 1.4 of the PPS pertains to *Housing*. Specifically, policy 1.4.1 states *“to provide for an appropriate range and mix of housing options and densities required to meet projected requirements of current and future residents of the regional market area...”* and policy 1.4.3 states *“planning authorities to provide for an appropriate range and mix of housing types and densities...”*

It is important to note that the PPS promotes an increase in housing supply as evidenced in policies such as 1.1.1 (b) where additional residential units and multi-unit housing are encouraged; 1.1.3.3 *...accommodating a significant supply and range of housing options through intensification and redevelopment ...*; and 1.4 which focuses on *Housing - residential intensification and redevelopment, appropriate range and mix of housing options and densities...*

Windsor has experienced historically low residential vacancy rate, according to CMHC data. During the past year, the Planning Department saw a significant increase in the number of applications to meet the rising demand in housing. That trend has continued this year. This

amendment is proposing to decrease housing supply so as to increase commercial use in the neighbourhood. Consequently, the proposed amendment is not consistent with the Provincial Policy Statements regarding “*increase in housing supply and densities*”.

Based on the above analysis, the proposed neighbourhood commercial use at the subject location is not consistent with the PPS 2020.

2. OFFICIAL PLAN (OP)

As noted in the City of Windsor Official Plan, Volume 1, “*the Land Use chapter of this Plan promotes a compact urban form and directs compatible development to appropriate locations within existing and future neighbourhoods.*” Refer to attached Appendix B – Excerpts from Official Plan Vol. 1.

The key phrase is “*appropriate locations*”. The question is whether the subject lands are appropriate locations for the proposed neighbourhood commercial development. This planning analysis suggests that the nearby existing commercial corridor uses make the subject lands not appropriate locations for the proposed neighbourhood commercial development.

The subject lands are within an area designated “Residential” in Schedule D: Land Use, Official Plan (OP) Volume 1. Relevant OP Residential Land Use Objectives and Policies are discussed below.

Relevant Residential Land Use Objectives:

To promote compact neighbourhoods (6.3.1.2), selective residential redevelopment, infill and intensification initiatives (6.3.1.3) and provide for complimentary services and amenities which enhance the quality of residential areas (6.3.1.5).

The subject neighbourhood is built-up and is reasonably a compact neighbourhood. The subject lands are presently occupied by low-density residential dwellings which could benefit from City Council’s recent approval of *Additional Dwelling Units* (ADUs). The ADU provision, in this instance, provides the opportunity to increase the number of dwelling units from 2 units to 6 units on the subject lands (meaning 3 units per property) without needing to submit a rezoning application or site plan approval.

The subject neighbourhood already has complementary services and amenities as evidenced in the Surrounding Uses section of this report. There are a variety of commercial uses already available in the surrounding area (examples include retail, restaurant, personal service shops and office uses), which provide the day-to-day needs of area residents and beyond. Table 1 on page 7 of this report provides a comprehensive list of the existing variety of commercial uses in close proximity to the subject lands. These existing commercial uses also enhance the quality of life within the subject residential area.

Relevant Residential Land Use Policies:

Permitted Uses within the Residential Land Use designation include Low, Medium and High Profile dwelling units. The Official Plan classifies the Low Profile Housing developments into two types:

- Small scale forms [single detached, semi-detached, duplex and row and multiplexes with up to 8 units]; and
- Large scale forms [buildings with more than 8 units]

In addition to the above permitted uses, ancillary uses are permitted in the Residential Land Use designation. **Neighbourhood Commercial uses** (subject to the provisions of section 6.3.2.9) are listed among the permitted ancillary uses in the Residential Land Use designation.

Section 6.3.2.8 of the OP Vol. 1 provides the following as a definition for Neighbourhood Commercial: *“Neighbourhood Commercial uses include commercial uses which are intended to primarily serve the day to day needs of residents within the immediate neighbourhood or neighbourhoods”.*

There are no specific locational criteria in the OP for neighbourhood commercial uses, which means Council has the ability to identify and determine location(s) deemed appropriate for such uses, based on Administrative input and neighbourhood response to such proposals.

Section 6.3.2.9 of the OP Vol. 1 provides the Neighbourhood Commercial Evaluation Criteria shown below:

- “At the time of submission, the proponent shall demonstrate to the satisfaction of the Municipality that a proposed Neighbourhood Commercial development within a designated Residential area is:*
- (a) feasible having regard to the other provisions of this Plan, provincial legislation, policies and appropriate guidelines and support studies for uses:*
 - (i) within or adjacent to any area identified on Schedule C: Development Constraint Areas and described in the Environment chapter of this Plan;*
 - (ii) adjacent to sources of nuisance, such as noise, odour, vibration and dust;*
 - (iii) within a site of potential or known contamination;*
 - (iv) where traffic generation and distribution is a provincial or municipal concern;*
 - (v) adjacent to heritage resources; and*
 - (vi) where market impact is identified as a municipal concern;*
 - (b) in keeping with the goals, objectives and policies of any secondary plan or guideline plan affecting the surrounding area;*
 - (c) compatible with the surrounding area in terms of scale, massing, height, siting, orientation, setbacks, parking and landscaped areas;*
 - (d) capable of being provided with full municipal physical services and emergency services; and*
 - (e) provided with adequate off-street parking.”*

The applicant's concept plan shows 43 motor vehicle parking spaces are proposed for the proposed commercial development (retail building) on the subject site. As stated under the ZONING section of this report, only 21 parking spaces would be required for the retail development. It would appear the proposed development does not take into account the residential nature of the surrounding area, north, south and west of the subject lands.

There are significant landscaped open spaces on the residential lands in the subject area, which adds to the quality of life of the residents. The concept plan shows that the proposed development will not have landscaped open space reflective of the residential neighbourhood it is intended to serve.

In my opinion, this amendment does not meet the evaluation criteria set out under 6.3.2.9(c) of the OP with respect to compatibility with the surrounding residential area in terms of parking and landscaped open space.

According to the applicant's Supplementary Memo of July 3, 2020, the reason for the proposed Zoning By-law Amendment at this time is that *“the applicant has had expressed interest from small scale commercial tenants interested in moving into the neighbourhood but into smaller units and sites than the existing plazas in the area.”*

The Supplementary Memo further states that *“there is a high demand for the proposed neighbourhood commercial uses....”* That *“there are currently no commercial vacancies in the surrounding area, and as such the applicant wishes to provide the additional neighbourhood commercial units needed to the supply area”*.

The applicant submitted no evidence of the high demand for neighbourhood commercial uses in the subject area. Further to that, the absence of commercial vacancies is not an acceptable justification for neighbourhood commercial use in the area. The above extracts from the applicant’s Supplementary Memo do not address the evaluation criteria in 6.3.2.9, Neighbourhood Commercial Evaluation, of the OP.

The applicant’s Supplementary Memo of July 3, 2020 further states that *“adding commercial space will help ensure that sufficient land supply for commercial purposes is provided while meeting the evaluation criteria for neighbourhood commercial uses.”* This rationale is not supported by any policies in the PPS or OP.

The requested amendment has the effect of creating an extension to the existing Commercial Corridor in the immediate area. The applicant’s Consultant states, in their Supplementary Memo dated July 3, 2020, that *“the proposed neighbourhood commercial development is a natural extension of the existing commercial uses to the north of the subject site.”* *“The proposed development will extend the commercial presence on the west side, south to Roseland Drive East by introducing additional needed neighbourhood commercial uses at the corner.”*

This rationale for the proposed amendment is in direct contradiction to the OP policies regarding the creation of a new commercial corridor or the extension of an existing commercial corridor. Section 6.5.3.5 of the OP indicates that *“Council shall discourage the development of new Commercial Corridors or the extension of existing Commercial Corridors...”* Therefore, the requested amendment is contrary to the explicit provisions of the OP and in my opinion does not conform to the OP.

It is my further opinion that it is not good planning to use the neighbourhood commercial provision of the OP as a means to achieve the end result of extending an existing commercial corridor or creation of a new commercial corridor.

In addition to the above, the following should also be considered with respect to the requested amendment:

- At the June 11, 2019 Open House Session (Public Information Centre) residents in the neighbourhood expressed concerns about the creation of additional commercial lands in their neighbourhood. They were concerned that the proposed commercial development could change their neighbourhood character (an established residential neighbourhood).

3. ZONING

The subject land is zoned Residential District 1.4 (RD1.4) by Zoning By-law 8600. This report contains Appendix C - Excerpts from the Zoning By-law 8600.

The RD1.4 zoning category permits a single unit dwelling, an existing duplex dwelling or existing semi-detached dwelling, and any use accessory to the foregoing uses. The applicant is requesting a change from RD1.4 to CD1.3 (Commercial District 1.3). The CD1.3 zoning category permits the following uses:

Business Office,
Child Care Centre
Commercial School

Dwelling Units in a Combined Use Building with any one or more of the above uses
Double Duplex Dwelling

Food Outlet - Take-out
Medical Office
Personal Service Shop
Professional Studio
Repair Shop - Light
Restaurant
Retail Store

Duplex Dwelling
Semi-Detached Dwelling
Single Unit Dwelling
Tourist Home
Any use accessory to the preceding uses.

There are existing commercial uses in the subject area of the City, as noted already in this report and shown in Table 1 (page 7) of this report. The existing RD1.4 already permits low profile residential developments of the single unit dwelling type. Though the applicant's development proposal is for a neighbourhood commercial use (retail building) on the subject land, the requested zoning (CD1.3) would permit commercial uses and low to medium density residential uses as noted above.

The applicant's concept plan shows a proposed retail building (483 sq.m.) with 43 proposed motor vehicle parking spaces on the subject lands. The zoning by-law requires only 21 parking spaces for the proposed retail development. The proposed extra paved surface is not desirable.

The proposed CD1.3 zoning requires 15% landscaped open space for the commercial development. The 15% landscaped open space would not complement the surrounding established residential lands that have generally been developed with significant landscaped open space areas.

The impact of the requested neighbourhood commercial development, extension of an existing commercial corridor or the creation of a new commercial corridor on the immediate residential neighbourhood is typically defined as "Commercial Creep".

For all the reasons noted already in this report it is difficult for administration to support this amendment that would permit the proposed neighbourhood commercial uses on the subject land.

4. SITE PLAN.

The proposed redevelopment meets the definition of a "development" per the Planning Act and per the City of Windsor Site Plan Control By-law 1-2004. Should Council decide to approve the proposed rezoning, the applicant would be required to submit an application for Site Plan Approval.

Please note that Site Plan Control is the more appropriate planning tool for addressing most of the requirements of municipal departments and external agencies contained in the attached Appendix D to this report.

5. ISSUES TO BE RESOLVED: None

6. ALTERNATIVES FOR CONSIDERATION: None

Risk Analysis:

N/A

Financial Matters:

N/A

Consultations:

1. OPEN HOUSE SESSION – Public Information Centre (PIC)

At the request of the Planning Department, the applicant organized an Open House Session to introduce the subject amendment to facilitate the proposed redevelopment of the subject site. The Open House Session occurred from 5pm to 7pm on June 11, 2019 at the Roseland Golf and Curling Club, located at 455 Kennedy Drive West.

Summary of the meeting is available in a report provided by the applicant's planning consultant. The Meeting Summary report shows that 15 submissions were received from residents, some in support of the proposed redevelopment and others in objection to the proposed redevelopment. The summary of Public Comments Received because of the Open House meeting can be found in Appendix D-1, Excerpts from *Meeting Summary Report*, attached to this planning report.

2. DEPARTMENT AND AGENCIES

Comments from municipal departments and external agencies are attached as Appendix D to this report. There are no objections to the subject amendment; however, Essex Region Conservation Authority (ERCA) is concerned with the potential impact of the quality and quantity of runoff in the downstream watercourse due to future development on the subject site. (See Appendix D for the full comment.)

As noted already in this report, Site Plan Control is the more appropriate tool for addressing the requirements of municipal departments and external agencies contained in Appendix D, attached.

3. PUBLIC NOTICE

The official notice will be advertised in the Windsor Star Newspaper as mandated by the Planning Act.

Courtesy notice will be mailed to all properties within 120m (400 feet) of the subject parcel prior to the Development & Heritage Standing Committee (DHSC) meeting.

Conclusion:

It is my opinion that the requested amendment to the zoning by-law to accommodate the proposed neighbourhood commercial development on the subject lands is not consistent with the PPS 2020 and does not maintain conformity with the Official Plan.

In my opinion, this amendment does not constitute good planning. It is recommended that the applicant's request be denied.

Planning Act Matters:

I concur with the above comments and opinion of the Registered Professional Planner.

Michael Cooke, MCIP, RPP

Manager Planning Policy / Deputy City Planner

Thom Hunt, MCIP, RPP

City Planner

I am not a registered Planner and have reviewed as a Corporate Team Leader

SAH, City Solicitor

OC, Chief Administrative Officer

Approvals:

Name	Title
Michael Cooke, MCIP, RPP	Manager Planning Policy / Deputy City Planner
Thom Hunt, MCIP, RPP	City Planner
Wira Vendrasco	Deputy City Solicitor
Shelby Askin Hager	City Solicitor
Onorio Colucci	Chief Administrative Officer

Notifications:

Name	Address	Email
Abutting property owners and tenants within 120 meter (400 feet)		
Applicant: 2319576 Ontario Ltd. (c/o Dan and Linda Jahn)	P.O. Box 24054, Windsor ON N8Y 4Y9	djahn@primus.ca
Agent: Dillon Consulting Limited (c/o Melanie Muir)	3200 Deziel Dr., Suite 608, Windsor ON N8W 5K8	mmuir@dillon.ca
Councillor Fred Francis	350 City Hall Square West - Suite 220, Windsor, ON, N9A 6S1	ffrancis@citywindsor.ca

Appendices:

- 1 Appendix A-Site Photos
- 2 Appendix B- Excerpts from OP
- 3 Appendix C- Excerpts from Zoning By-law 8600
- 4 Appendix D - CONSULTATIONS
- 5 Appendix D -1 Excerpts from Meeting Summary Report
- 6 Appendix E - Conceptual Site Plan



**View of 3985
Dougall from
Roseland Dr. E.**



**View of 3985
Dougall from the
east side of Dougall
Avenue**



View of Subject properties (3985 & 3945 Dougall Ave.) from east side of Dougall Ave.



View of existing residential uses at the intersection of Roseland Dr. E. and Kennedy Drive E.

Development & Heritage Standing Committee - January 10, 2022



View of existing residential uses west side of Dougall Avenue, south of the subject lands

APPENDIX A – SITE PHOTOS taken on Feb 19, 2020

Files Z-014/19

View of abutting properties next north of the subject lands, on the west side of Dougall Ave.





View of west side of Dougall Ave. showing the subject lands and the abutting residential property next north



View of 3985 Dougall Avenue and nearby commercial uses east side of Dougall Avenue, from Roseland Drive East

Development & Heritage Standing Committee - January 10, 2022



View of east side of Dougall Ave. showing the existing commercial uses in the commercial corridor



View of east side of Dougall Ave. showing the existing commercial uses in the commercial corridor



APPENDIX A – SITE PHOTOS taken on Feb 19, 2020

Files Z-014/19



View of existing commercial uses in the commercial corridor located on the southwest corner of Dougall Avenue and partially extending along the west side of Dougall Avenue, north of the subject lands.





View of existing commercial uses in the commercial corridor located on the southwest corner of Dougall Avenue and partially extending along the west side of Dougall Avenue, north of the subject lands



View of northeast corner of Dougall Ave. and Cabana intersection showing the existing commercial uses

APPENDIX B – EXCERPTS FROM THE OFFICIAL PLAN

OP Volume 1 – Primary Plan

6. Land Use

6.0 Preamble

A healthy and livable city is one in which people can enjoy a vibrant economy and a sustainable healthy environment in safe, caring and diverse neighbourhoods. In order to ensure that Windsor is such a city, Council will manage development through an approach which balances environmental, social and economic considerations. As such, the Land Use chapter of this Plan promotes a compact urban form and directs compatible development to appropriate locations within existing and future neighbourhoods.

This chapter of the Official Plan provides goals, objectives and policies for the land use designations identified on Schedule D: Land Use and Schedule E: City Centre Planning District and should be read in conjunction with the other parts of the Plan.

6.1 Goals

In keeping with the Strategic Directions, Council's land use goals are to achieve:

<i>NEIGHBOURHOODS</i>	6.1.1	Safe, caring and diverse neighbourhoods.
<i>ENVIRONMENTALLY SUSTAINABLE</i>	6.1.2	Environmentally sustainable urban development.
<i>RESIDENTIAL</i>	6.1.3	Housing suited to the needs of Windsor's residents.
<i>EMPLOYMENT</i>	6.1.4	The retention and expansion of Windsor's employment base.
<i>COMMERCIAL</i>	6.1.5	Convenient and viable areas for the purchase and sale of goods and services.
<i>INSTITUTIONAL</i>	6.1.6	An integration of institutions within Windsor's neighbourhoods.
<i>OPEN SPACE</i>	6.1.7	A variety of open space areas.
<i>WATERFRONT</i>	6.1.8	An accessible Detroit River, Lake St. Clair and a healthy waterfront.

<i>NATURAL HERITAGE</i>	6.1.9	The protection and conservation of environmentally significant and sensitive natural heritage features and functions.
<i>MIXED USE</i>	6.1.10	Pedestrian oriented clusters of residential, commercial, employment and institutional uses.
<i>CITY CENTRE PLANNING DISTRICT</i>	6.1.11	The City Centre as the vibrant focal point and symbol of Windsor.
<i>AIRPORT</i>	6.1.12	Protection and enhancement of Windsor Airport's role in serving passenger and cargo needs. (added by OPA #60-05/07/07-B/L85-2007-OMB Decision/Order No.2667, 10/05/2007)
<i>FUTURE GROWTH AREAS</i>	6.1.13	The provision of sufficient land in appropriate locations to accommodate future population and employment growth in Windsor. (added by OPA #60-05/07/07-B/L85-2007-OMB Decision/Order No.2667, 10/05/2007)

6.2 General Policies

<i>SCHEDULE D: LAND USE</i>	6.2.1.1	The following land use designations shall be identified on Schedule D: Land Use: <ul style="list-style-type: none"> (a) Residential; (b) Industrial; (c) Business Park; (d) Commercial Centre; (e) Commercial Corridor; (f) Major Institutional; (g) Open Space; (h) Natural Heritage; (i) Mixed Use; (j) Waterfront Residential; (k) Waterfront Recreation; and (l) Waterfront Port.
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- (m) Windsor Airport (added by OPA #60-05/07/07-B/L85-2007-OMB Decision/Order No.2667, 10/05/2007)
- (n) Future Urban Area (added by OPA #60-05/07/07-B/L85-2007-OMB Decision/Order No.2667, 10/05/2007)
- (o) Future Employment Area (added by OPA #60-05/07/07-B/L85-2007-OMB Decision/Order No.2667, 10/05/2007)

*TYPES OF
DEVELOPMENT
PROFILE*

6.2.1.2 For the purpose of this Plan, Development Profile refers to the height of a building or structure. Accordingly, the following Development Profiles apply to all land use designations on Schedule D: Land Use unless specifically provided elsewhere in this Plan:

- (a) Low Profile developments are buildings or structures generally no greater than three (3) storeys in height;
- (b) Medium Profile developments are buildings or structures generally no greater than six (6) storeys in height; and
- (c) High Profile developments are buildings or structures generally no greater than fourteen (14) storeys in height.

*TYPES OF
DEVELOPMENT
PATTERN*

6.2.1.3 For the purpose of this Plan, Development Pattern refers to an area bounded by the nearest Collector and/or Arterial roads and/or other major linear physical features. Accordingly, two categories of Development Pattern are provided for:

- (a) a Neighbourhood which exhibits a characteristic lotting and/or development profile; and
- (b) an Undeveloped Area which does not have characteristic lotting or development profile.

6.3 Residential

The lands designated as “Residential” on Schedule D: Land Use provide the main locations for housing in Windsor outside of the City Centre Planning District. In order to develop safe, caring and diverse neighbourhoods, opportunities for a broad range of housing types and complementary services and amenities are provided.

The following objectives and policies establish the framework for development decisions in Residential areas.

6.3.1 Objectives

<i>RANGE OF FORMS & TENURES</i>	6.3.1.1	To support a complementary range of housing forms and tenures in all neighbourhoods.
<i>NEIGHBOURHOODS</i>	6.3.1.2	To promote compact neighbourhoods which encourage a balanced transportation system.
<i>INTENSIFICATION, INFILL & REDEVELOPMENT</i>	6.3.1.3	To promote selective residential redevelopment, infill and intensification initiatives.
<i>MAINTENANCE & REHABILITATION</i>	6.3.1.4	To ensure that the existing housing stock is maintained and rehabilitated.
<i>SERVICE & AMENITIES</i>	6.3.1.5	To provide for complementary services and amenities which enhance the quality of residential areas.
<i>HOME BASED OCCUPATIONS</i>	6.3.1.6	To accommodate home based occupations.
<i>SUFFICIENT LAND SUPPLY</i>	6.3.1.7	To ensure that a sufficient land supply for residential and ancillary land uses is available to accommodate market demands over the 20 year period of this Plan.

6.3.2 Policies

In order to facilitate the orderly development and integration of housing in Windsor, the following policies shall apply.

<i>PERMITTED USES</i>	6.3.2.1	Uses permitted in the Residential land use designation identified on Schedule D: Land Use include Low, Medium and High Profile dwelling units.
<i>ANCILLARY USES</i>	6.3.2.2	In addition to the uses permitted above, Council will encourage the achievement of diverse and self-sufficient neighbourhoods by permitting the following ancillary uses in areas designated Residential on Schedule D: Land Use without requiring an amendment to this Plan: <ul style="list-style-type: none"> (a) community services including libraries, emergency services, community centres and similar public agency uses; (Deleted by OPA #82 – June 20, 2011, B/L 117-2011)

- (a) ~~community services including libraries, emergency services, community centres and similar public agency uses, but does not include a Methadone Clinic;~~
(Deleted by OPA #106 – November 6, 2015, B/L 143-2015)
- (a) community services including libraries, emergency services, community centres and similar public agency uses;
(Amended by OPA #106 – November 6, 2015, B/L 143-2015)
- (b) home based occupations subject to the provisions of policy 6.3.2.7;
- (c) Neighbourhood Commercial uses subject to the provisions of policy 6.3.2.9;
- (d) Open Space uses subject to the provisions of section 6.7; and
- (e) Minor Institutional uses subject to the provisions of section 6.6.

*TYPES OF
LOW PROFILE
HOUSING*

6.3.2.3

For the purposes of this Plan, Low Profile housing development is further classified as follows:

- (a) small scale forms: single detached, semi-detached, duplex and row and multiplexes with up to 8 units; and
- (b) large scale forms: buildings with more than 8 units.

*LOCATIONAL
CRITERIA*

6.3.2.4

Residential development shall be located where:

- (a) there is access to a collector or arterial road;
- (b) full municipal physical services can be provided;
- (c) adequate community services and open spaces are available or are planned; and
- (d) public transportation service can be provided.

*EVALUATION
CRITERIA FOR A
NEIGHBOURHOOD
DEVELOPMENT
PATTERN*

6.3.2.5

At the time of submission, the proponent shall demonstrate to the satisfaction of the Municipality that a proposed residential development within an area having a Neighbourhood development pattern is:

- (a) feasible having regard to the other provisions of this Plan, provincial legislation, policies and appropriate guidelines and support studies for uses:
 - (i) within or adjacent to any area identified on Schedule C: Development Constraint Areas and described in the Environment chapter of this Plan;
 - (ii) adjacent to sources of nuisance, such as noise, odour, vibration and dust;
 - (iii) within a site of potential or known contamination;
 - (iv) where traffic generation and distribution is a provincial or municipal concern; and
 - (v) adjacent to heritage resources.
- (b) in keeping with the goals, objectives and policies of any secondary plan or guideline plan affecting the surrounding area;
- (c) compatible with the surrounding area in terms of scale, massing, height, siting, orientation, setbacks, parking and amenity areas;
- (d) provided with adequate off street parking;
- (e) capable of being provided with full municipal physical services and emergency services; and
- (f) facilitating a gradual transition from Low Profile residential development to Medium and/or High profile development and vice versa, where appropriate.

*EVALUATION
CRITERIA FOR AN
UNDEVELOPED
AREA
DEVELOPMENT
PATTERN*

6.3.2.6

At the time of submission, the proponent shall demonstrate to the satisfaction of the Municipality that a proposed residential development within an area having a Undeveloped Area development pattern is:

- (a) feasible having regard to the other provisions of this Plan, provincial legislation, policies and appropriate guidelines and support studies for uses:
 - (i) within or adjacent to any area identified on Schedule C: Development Constraint Areas and described in the Environment chapter of this Plan;

- (ii) adjacent to sources of nuisance, such as noise, odour, vibration and dust;
 - (iii) within a site of potential or known contamination;
 - (iv) where traffic generation and distribution is a provincial or municipal concern; and
 - (v) adjacent to heritage resources.
- (b) in keeping with the goals, objectives and policies of any secondary plan or guideline plan affecting the surrounding area;
 - (c) capable of being provided with full municipal services and emergency services; and
 - (d) in keeping with the subdivision, consent and/or condominium policies of this Plan (see Tools chapter).

*HOME BASED
OCCUPATIONS*

6.3.2.7

Council shall permit home based occupations in any dwelling unit provided:

- (a) persons employed in the home based occupation are limited to residents of the dwelling unit from which the home based occupation is conducted;
- (b) there are no visible changes to the residential character of the building;
- (c) the home based occupation is incidental and secondary to the residential use;
- (d) outside storage and display is prohibited, and exterior signage is restricted;
- (e) the home based occupation is compatible with abutting and/or adjacent dwelling units with respect to traffic generation and parking and potential nuisances such as noise and odour; and
- (f) the home based occupation is contained within the dwelling unit.

- | | | |
|---|----------|--|
| <i>NEIGHBOURHOOD
COMMERCIAL
DEFINITION</i> | 6.3.2.8 | For the purposes of this Plan, Neighbourhood Commercial uses include commercial uses which are intended to primarily serve the day to day needs of residents within the immediate neighbourhood or neighbourhoods;
(Added by OPA #106 – November 6, 2015, B/L 143-2015) |
| <i>NEIGHBOURHOOD
COMMERCIAL
EVALUATION
CRITERIA</i> | 6.3.2.9 | <p>At the time of submission, the proponent shall demonstrate to the satisfaction of the Municipality that a proposed Neighbourhood Commercial development within a designated Residential area is:</p> <ul style="list-style-type: none"> (a) feasible having regard to the other provisions of this Plan, provincial legislation, policies and appropriate guidelines and support studies for uses: <ul style="list-style-type: none"> (i) within or adjacent to any area identified on Schedule C: Development Constraint Areas and described in the Environment chapter of this Plan; (ii) adjacent to sources of nuisance, such as noise, odour, vibration and dust; (iii) within a site of potential or known contamination; (iv) where traffic generation and distribution is a provincial or municipal concern; (v) adjacent to heritage resources; and (vi) where market impact is identified as a municipal concern; (b) in keeping with the goals, objectives and policies of any secondary plan or guideline plan affecting the surrounding area; (c) compatible with the surrounding area in terms of scale, massing, height, siting, orientation, setbacks, parking and landscaped areas; (d) capable of being provided with full municipal physical services and emergency services; and (e) provided with adequate off-street parking. |
| <i>ANCILLARY USE
DESIGN
GUIDELINES</i> | 6.3.2.10 | The following guidelines shall be considered when evaluating the proposed design of an ancillary use: |

- (a) the ability to achieve the associated policies as outlined in the Urban Design chapter of this Plan;
- (b) the provision of appropriate landscaping or other buffers to enhance:
 - (i) all parking lots, and outdoor loading, storage and service areas; and
 - (ii) the separation between the use and adjacent uses, where appropriate;
- (c) motorized vehicle access is oriented in such a manner that traffic will be discouraged from using Local Roads where other options are available; and
- (d) pedestrian and cycling access is accommodated in a manner that is distinguishable from the access provided to motorized vehicles and is safe and convenient.

MUNICIPAL ASSISTANCE

6.3.2.11

Council may direct the allocation of municipal resources for the development and rehabilitation of housing through:

- (a) the leasing of land;
- (b) the oversizing of infrastructure to provide for future residential development;
- (c) the provision of community services and open space;
- (d) technical support and planning studies;
- (e) development incentives;
- (f) partnership arrangements; and
- (g) other actions as may be appropriate.

HOUSING PROGRAMS

6.3.2.12

Council may assist the federal and provincial governments in the administration of housing programs and initiatives.

AFFORDABLE HOUSING

6.3.2.13

Council shall encourage the provision of affordable and social assisted housing.

SPECIAL NEEDS

6.3.2.14

Council shall encourage the provision of housing to meet the needs of special segments of Windsor’s population such as the physically challenged.

<i>TENURE VARIETY</i>	6.3.2.15	Council shall encourage the provision of a variety of housing tenures which recognize the diverse needs of Windsor’s residents.
<i>PROTECT RENTAL HOUSING</i>	6.3.2.16	Council shall protect the existing stock of rental housing from conversion to freehold ownership when rental vacancy rates are below 3% across Windsor as identified by a public agency, subject to the provisions of the Tools chapter of this Plan. <small>(deleted by OPA#63, June 21, 2007, B/L 100/2007)</small>
<i>PROTECT RENTAL HOUSING</i>	6.3.2.16	Council shall protect the existing supply of rental housing from conversion in keeping with the Rental Housing Conversion to Condominium policies detailed in Section 11.5.4 of this Plan. <small>(added by OPA#63, June 21, 2007, B/L 100/2007)</small>
<i>HERITAGE CONSERVATION</i>	6.3.2.17	Council shall encourage the retention, restoration and sensitive renovation of historic and/or architecturally significant residential buildings in accordance with the Heritage Conservation chapter of this Plan.
<i>MAINTENANCE & REHABILITATION STANDARDS</i>	6.3.2.18	Council shall promote the maintenance of Windsor’s housing stock at a standard sufficient to provide acceptable conditions of health, safety and appearance in accordance with the Community Improvement section of this Plan.
<i>MONITOR HOUSING</i>	6.3.2.19	The Municipality will continue to monitor residential development activity and the supply and affordability of existing housing.
<i>SHORT TERM LAND SUPPLY</i>	6.3.2.20	Council shall endeavor to maintain at least a three year supply of draft approved and registered residential lots and blocks in order to meet anticipated short term housing demands.
<i>LONG TERM LAND SUPPLY</i>	6.3.2.21	Council shall maintain at least a ten year supply of land designated for residential development to meet anticipated long term housing demands.
<i>SECOND UNIT DEFINITION</i>	6.3.2.22	A second residential unit (second unit) is a separate residential dwelling unit consisting of a separate access, kitchen, washroom, and living space that is within a single detached, semi-detached, or rowhouse dwelling (i.e. the primary dwelling unit) or a building accessory to the primary dwelling unit located on the same lot.

- LOCATION OF SECOND UNITS* 6.3.2.23 A second unit:
- a) must be located on lands designated for residential use on Schedules D and E;
 - b) shall not be located within any part of a basement or cellar (i.e. part of a building below grade) within the floodplain areas shown on Schedule C; and
 - c) outside of the floodplain areas shown on Schedule C, shall not be located within any part of a basement or cellar (i.e. part of a building below grade) unless the following criteria have been met to the satisfaction of the Chief Building Official or City Engineer:
 - i. Eavestrough downspouts are disconnected from the City of Windsor's sewer system;
 - ii. A sump pump has been installed; and
 - iii. Where possible a backflow sanitary valve has been installed in the second unit.
- (Amended by OPA122 - APPROVED November 21, 2018, B/L#148-2018)
- SECOND UNIT REQUIREMENTS* 6.3.2.24 A second unit shall be permitted within the primary dwelling unit or building accessory to the primary dwelling unit subject to the following criteria:
- a) The second unit conforms with the definition and location requirements set out in 6.3.2.22 and 6.3.2.23;
 - b) No additional dwelling units are present in the primary dwelling unit or buildings accessory to primary dwelling unit;
 - c) The second unit must be subordinate in scale and function to the primary dwelling unit and the Zoning By-law may regulate the gross floor area of the second unit;
 - d) Parking can be accommodated where required by the Zoning By-law;
 - e) Where located on a property identified on the Municipal Heritage Register or within a Heritage Area identified on Schedule G the second unit must not alter the exterior of an existing primary or accessory building visible from the street or other public space unless it is demonstrated, to the satisfaction of the City Planner, that the proposed alteration would not detract from the cultural heritage value and attributes of the property or Heritage Area; and
 - f) The second unit complies with health and safety standards and the second unit has been constructed in accordance with a building permit.
- (Amended by OPA122 - APPROVED November 21, 2018, B/L#148-2018)

<i>REQUIREMENTS SPECIFIC TO A SECOND UNIT IN AN ACCESSORY BUILDING</i>	6.3.2.25	<p>A second unit within a building that is accessory to a single-detached, semi-detached, or a rowhouse dwelling is permitted subject to the following criteria:</p> <ul style="list-style-type: none"> a) The proposed second unit conforms with the definition, location, and general requirements set out in 6.3.2.22 - 6.3.2.24; b) The second unit shall have direct pedestrian access from a paved public street or alley; c) The second unit shall have municipal sanitary sewer, municipal storm water outlet, electrical, and water services; and d) A municipal address for the second unit shall be clearly visible from the public street. <p style="text-align: center;"><small>(Amended by OPA122 - APPROVED November 21, 2018, B/L#148-2018)</small></p>
<i>SEVERANCE OF SECOND UNIT PROHIBITED</i>	6.3.2.26	<p>The severance of a second unit located within the primary dwelling unit or within a building accessory to the primary dwelling unit is prohibited.</p> <p style="text-align: center;"><small>(Amended by OPA122 - APPROVED November 21, 2018, B/L#148-2018)</small></p>
<i>HEIGHT OF ACCESSORY BUILDING CONTAINING A SECOND UNIT ABOVE A GARAGE</i>	6.3.2.27	<p>An application to allow a maximum height of up to 8m through a minor variance may be considered where the external second unit is proposed to contain all of its habitable space above a garage subject to the following criteria:</p> <ul style="list-style-type: none"> (a) The height of the second unit does not exceed the height of the primary dwelling; (b) Significant trees and plantings are preserved on the subject property; and (c) Any adverse impacts to the streetscape or abutting properties are addressed through the second unit design and siting. <p style="text-align: center;"><small>(Amended by OPA122 - APPROVED November 21, 2018, B/L#148-2018)</small></p>
<i>CREATION OF LODGING HOUSE</i>	6.3.2.28	<p>The combination of lodgers (i.e. persons provided with lodging for hire) within the primary and second dwelling units must not constitute a lodging house as defined within any City of Windsor by-law.</p> <p style="text-align: center;"><small>(Amended by OPA122 - APPROVED November 21, 2018, B/L#148-2018)</small></p>

6.5.3 Commercial Corridor Policies

The Commercial Corridor land use designation is intended for areas which are designed for vehicle oriented commercial uses. Commercial Corridors take the form of commercial strips along Arterial and Collector roads within Windsor. The intent of the following policies is to strengthen identified Commercial Corridors for retail and service uses.

<i>PERMITTED USES</i>	6.5.3.1	Uses permitted in the Commercial Corridor land use designation are primarily retail, wholesale store (added by OPA 58, 24 07 2006) and service oriented uses and, to a lesser extent, office uses.
<i>ANCILLARY USES</i>	6.5.3.2	In addition to the uses permitted above, Council may permit the following ancillary uses in areas designated as Commercial Corridor on Schedule D: Land Use without requiring an amendment to this Plan: <ul style="list-style-type: none"> (a) adult entertainment parlours provided that: <ul style="list-style-type: none"> (i) such uses are a minimum of 150 metres from lands used or zoned for residential, institutional or open space purposes; and (ii) policy 6.5.3.7 is satisfied, with the exception that the proponent demonstrate that the proposal's market impact is acceptable; and (b) Open Space uses subject to the policies of section 6.7.
<i>STREET PRESENCE</i>	6.5.3.3	Council will encourage Commercial Corridor development to provide a continuous street frontage and presence. Accordingly, development along a Commercial Corridor shall be: <ul style="list-style-type: none"> (a) no more than two storeys in height, except on lands immediately adjacent to an intersection with a Class I or Class II Arterial Road or Class I or Class II Collector Road where the height of the building(s) may be no more than six storeys in height; and (b) encouraged to locate the buildings at the street frontage lot line with parking accommodated at the rear of the site.
<i>INFILL & CONSOLIDATION</i>	6.5.3.4	Council shall promote the infilling and consolidation of existing Commercial Corridors.

- | | | |
|--|---------|---|
| <i>NEW OR
EXTENDED
CORRIDORS</i> | 6.5.3.5 | Council shall discourage the development of new Commercial Corridors or the extension of existing Commercial Corridors and may only designate or extend a Commercial Corridor when the Municipality is satisfied that the market impact of the proposal on other commercial areas is acceptable (see Procedures chapter). |
| <i>LOCATIONAL
CRITERIA</i> | 6.5.3.6 | <p>Commercial Corridor development shall be located where:</p> <ul style="list-style-type: none"> (a) there is access to Class I or Class II Arterial Roads or Class I Collector Roads; (b) full municipal physical services can be provided; and (c) commercial related traffic can be directed away from residential areas. |
| <i>EVALUATION
CRITERIA</i> | 6.5.3.7 | <p>At the time of submission, the proponent shall demonstrate to the satisfaction of the Municipality that a proposed commercial development is:</p> <ul style="list-style-type: none"> (a) feasible having regard to the other provisions of this Plan, provincial legislation, policies and appropriate guidelines and support studies for uses: <ul style="list-style-type: none"> (i) within or adjacent to any area identified on Schedule C: Development Constraint Areas and described in the Environment chapter of this Plan; (ii) within a site of potential or known contamination; (iii) where traffic generation and distribution is a provincial or municipal concern; and (iv) adjacent to sensitive land uses and/or heritage resources. (b) in keeping with the goals, objectives and policies of any secondary plan or guideline plan affecting the surrounding area; (c) capable of being provided with full municipal physical services and emergency services; (d) provided with adequate off-street parking; |

- (e) compatible with the surrounding area in terms of scale, massing, height, siting, orientation, setbacks, parking and landscaped areas; and
- (f) acceptable in terms of the proposal's market impacts on other commercial areas (see Procedures chapter).

*DESIGN
GUIDELINES*

6.5.3.8

The following guidelines shall be considered when evaluating the proposed design of a Commercial Corridor development:

- (a) the ability to achieve the associated policies as outlined in the Urban Design chapter of this Plan;
- (b) the provision of appropriate landscaping or other buffers to enhance:
 - (i) all parking lots, and outdoor loading and service areas; and
 - (ii) the separation between the use and adjacent sensitive uses, where appropriate;
- (c) as a general rule, the height of buildings are consistent with the height of buildings which characterize the Commercial Corridor. Where Council deems it desirable that higher profile development be permitted in an existing Commercial Corridor, the development should be built at a human scale by utilizing one or both of the following measures:
 - (i) treatment of the lower floors of building(s) to provide continuity; and/or
 - (ii) setting back the upper floors of building(s) from the street to avoid overpowering effects at-grade;
- (d) where possible, parking is located in the rear of the property to encourage continuous building facades adjacent to the street; and
- (e) measures are taken in site design which provide for ease of access for pedestrians between the public sidewalk and building main entrances in a manner which is distinguishable from access provided for vehicles.

<i>SITE PLAN CONTROL</i>	6.5.3.9	Council shall require all development within areas designated as Commercial Corridor to be subject to site plan control, with the exception of Public Open Space uses.
<i>CORRIDOR IMPROVEMENT</i>	6.5.3.10	Council will encourage and facilitate the creation and efforts of business improvement associations within Commercial Corridor in accordance with the provisions of the Municipal Act.
<i>NEIGHBOURHOOD INVOLVEMENT</i>	6.5.3.11	Council will encourage the improvement of areas designated as Commercial Corridor to be undertaken in consultation with the surrounding neighbourhood.

11.6.3 Zoning By-law Amendment Policies

<i>AMENDMENTS MUST CONFORM</i>	11.6.3.1	All amendments to the Zoning By-law(s) shall conform with this Plan. The Municipality will, on each occasion of approval of a change to the zoning by-law(s), specify that conformity with the Official Plan is maintained or that the change will be in conformity upon the coming into effect of an amendment to the Official Plan.
<i>REVIEW PROCEDURE</i>	11.6.3.2	All applications for Zoning By-law amendments shall be processed in accordance with the provisions of the <i>Planning Act</i> , and regulations pursuant thereto, and the procedural requirements of this Plan. In general, after an applicant's pre-application consultation meeting with municipal staff and submission of an application that is determined to be complete, all applications shall: Added by OPA 65 – 10/22/2007– By-law 192-2007 <ul style="list-style-type: none"> (a) Be circulated to appropriate agencies and those agencies be provided with sufficient time to respond; Added by OPA 65 – 10/22/2007– By-law 192-2007 (b) Be advertised and be presented to the public and the views of the public ascertained at a public meeting to be held in accordance with the Planning Act; and Added by OPA 65 – 10/22/2007– By-law 192-2007 (c) Be given due and thorough consideration by Council. Added by OPA 65 – 10/22/2007– By-law 192-2007
<i>EVALUATION CRITERIA</i>	11.6.3.3	When considering applications for Zoning By-law amendments, Council shall consider the policies of this Plan and will, without limiting the generality of the foregoing, consider such matters as the following: <ul style="list-style-type: none"> (a) The relevant evaluation criteria contained in the Land Use Chapter of this Plan, Volume II: Secondary Plans & Special Policy Areas and other relevant standards and guidelines;

- (b) Relevant support studies;
- (c) The comments and recommendations from municipal staff and circularized agencies;
- (d) Relevant provincial legislation, policies and appropriate guidelines; and
- (e) The ramifications of the decision on the use of adjacent or similar lands.

APPENDIX C – EXCERPTS FROM ZONING BY-LAW 8600

SECTION 10 - RESIDENTIAL DISTRICTS 1. (RD1.)

10.4 RESIDENTIAL DISTRICT 1.4 (RD1.4)

10.4.1 PERMITTED USES

Existing *Duplex Dwelling*
 Existing *Semi-Detached Dwelling*
 One *Single Unit Dwelling*
 Any use accessory to the preceding uses

10.4.5 PROVISIONS

	Duplex Dwelling	Semi-Detached Dwelling	Single Unit Dwelling
.1 Lot Width – minimum	9.0 m	15.0 m	18.0 m
.2 Lot Area – minimum	360.0 m ²	450.0 m ²	540.0 m ²
.3 Lot Coverage – maximum	45.0%	45.0%	45.0%
.4 Main Building Height – maximum	10.0 m	10.0 m	10.0 m
.5 Front Yard Depth – minimum	6.0 m	6.0 m	6.0 m
.6 Rear Yard Depth – minimum	7.50 m	7.50 m	7.50 m
.7 Side Yard Width – minimum	1.20 m	1.20 m	1.80 m

SECTION 14 - COMMERCIAL DISTRICTS 1. (CD1.)

14.3 COMMERCIAL DISTRICT 1.3 (CD1.3)

14.3.1 PERMITTED USES

Business Office

Child Care Centre

Commercial School

Food Outlet - Take-out

Medical Office

Personal Service Shop

Professional Studio

Repair Shop - Light

Restaurant

Retail Store

Dwelling Units in a Combined Use Building with any one or more of the above uses

Double Duplex Dwelling

Duplex Dwelling

Semi-Detached Dwelling

Single Unit Dwelling

Tourist Home

Any use accessory to the preceding uses. An *Outdoor Storage Yard* is prohibited.

14.3.5 PROVISIONS

- | | | |
|-----|---|--------------------------|
| .4 | Building Height – maximum | 7.50 m |
| .8 | Landscaped Open Space Yard – minimum | 15.0% of <i>lot area</i> |
| .10 | Gross Floor Area – maximum | |
| | <i>For each Business Office, Food Outlet - Take-out, Medical Office, Personal Service Shop, Professional Studio, Repair Shop - Light, Restaurant or Retail Store:</i> | 250.0 m ² |
| .50 | For a <i>Combined Use Building</i> or a <i>Tourist Home</i> and any use accessory thereto, the following additional provisions shall apply: | |
| | a) Lot Coverage – maximum | 45.0 % |
| | b) Main Building Height – maximum | 10.0 m |
| | c) Front Yard Depth – minimum | 6.0 m |
| | d) Rear Yard Depth – minimum | 7.50 m |
| | e) Side Yard Width – minimum | 1.20 m |

- .55 For a *Combined Use Building*, a *parking space* in a *rear yard* shall be located a minimum of 4.50 m from the rear wall of the *Combined Use Building*, save and except for a *parking space* situated entirely within a *main building* or an *accessory building*.
- .60 A *Double Duplex Dwelling*, *Duplex Dwelling*, *Semi-Detached Dwelling*, or *Single Unit Dwelling*, and any use accessory to the preceding uses, shall comply with the appropriate provisions of Section 11.2.5.
- .90 A parking space in a front yard is prohibited.

SECTION 3 – DEFINITIONS

3.10 DEFINITIONS [Applicable Definitions are shown below]

BUSINESS OFFICE means an *office* of any one or more of the following: commercial business; financial services including a bank, credit union, payday lender, savings and loan office and trust company; government; industrial business; non-profit or charitable organization; professional person. A financial office is a *business office*. A *medical office* or *veterinary office* is not a *business office*.

CHILD CARE CENTRE means a child care centre as defined in the Child Care and Early Years Act, 2014, S.O. 2014, c.11 Sched.1. A day nursery or day care is a *child care centre*.

COMMERCIAL SCHOOL means a *building* where instruction is given for hire and includes a private career college as defined by the Private Careers Colleges Act, S.O. 2005, Ch. 28.

DENSITY means a ratio expressed as the number of *dwelling units* per hectare and indicates the number of *dwelling units* that may be erected or maintained per hectare on a *lot*.

DWELLING means a *building* or *structure* that is occupied for the purpose of human habitation. A *correctional institution*, *hotel*, *motor home*, *recreational vehicle*, *tent*, *tent trailer*, or *travel trailer* is not a *dwelling*.

DOUBLE DUPLEX DWELLING means one *dwelling* divided into four *dwelling units* by vertically attaching two *duplex dwellings* with no direct internal connection between the *dwelling units*. A *multiple dwelling*, *semi-detached dwelling*, *stacked dwelling*, or *townhome dwelling* is not a *double duplex dwelling*.

DUPLEX DWELLING means one *dwelling* divided horizontally into two *dwelling units* with no direct internal connection between the *dwelling units*. A *single unit dwelling* with *two dwelling units* is not a *duplex dwelling*.

SEMI-DETACHED DWELLING means one *dwelling* divided vertically into two *dwelling units* by a common interior wall having a *minimum* area above *grade* of 10.0 sq. m., and may include, where permitted by Section 5.99.80, up to two additional *dwelling units*.

SINGLE UNIT DWELLING means one *dwelling* having one *dwelling unit* or, where permitted by Section 5.99.80, one *dwelling* having two *dwelling units*. A single family dwelling is a *single unit dwelling*. A *duplex dwelling*, *mobile home dwelling*, *semi-detached dwelling unit*, or *townhome dwelling unit*, is not a *single unit dwelling*.

DWELLING UNIT means a unit that consists of a self-contained set of rooms located in a *building* or *structure*, that is used or intended for use as residential premises, and that contains kitchen and bathroom facilities that are intended for the use of the unit only.

SEMI-DETACHED DWELLING UNIT means one *dwelling unit* in a *semi-detached dwelling*, and may include, if permitted by Section 5.99.80, one additional *dwelling unit*.

FOOD OUTLET - TAKE-OUT means a *building* used for the sale of prepared food for consumption off the premises exclusively to walk-in customers and may also include the preparation of food sold at retail. A take-out food outlet or a take-out restaurant is a *food outlet – take-out*. A *food catering service* or *micro-brewery* is not a *food outlet – take-out*.

MEDICAL OFFICE means a *building* used by a physical health or mental health professional and their staff for the purpose of consultation, counselling, diagnosis and treatment of a patient and may also include as an *accessory use* a *pharmacy*. An *ambulance service*, *medical appliance facility*, *personal service shop* or *veterinary office* is not a *medical office*.

OFFICE means a *building* where any one or more of the following services are provided: business is transacted; administrative, clerical or professional services are performed.

PERSONAL SERVICE SHOP means a *building* used for the personal care treatment or grooming, including body modification, of person or a pet, the maintenance or repair of a wardrobe item, including a dry cleaning operation having a maximum GFA of 275.0 m² and a dry cleaning depot, and the following services: duplication, film processing, optician, and picture framing. A *medical office* is not a *personal service shop*.

PROFESSIONAL STUDIO means a *building* used for any one or more of the following: instruction in dance, film, movie, music, or video production, fine arts, photography, or other artistic endeavour; design studio; interior decorator's studio; film, movie, or video studio; photography studio; portrait studio; recording studio. It may include a *business office* in combination with any of the preceding uses. A *cultural facility*, *health studio*, *personal service shop*, or *retail store* is not a *professional studio*.

REPAIR SHOP - LIGHT means a *building* used for the maintaining or repairing of a good for household and personal use such as an appliance, assistive device, bicycle including power-assisted bicycle, clock, furniture, jewellery, lawn and garden equipment, luggage, musical instrument, sporting good, or watch. It does not include the maintaining or repairing of a *motor vehicle*. A light repair shop is a *repair shop - light*. An *automobile collision shop*, *automobile detailing service*, *automobile repair garage*, *contractor's office*, *personal service shop* or *service station* is not a *repair shop - light*.

RESTAURANT means a *building* used for the preparing and serving of food and/or beverage to customers for immediate consumption within the *building* or within a physically defined open air sit down eating area located on the same *lot*. It may include as an *accessory use*, the preparing and selling of food or beverage for consumption off the premises, and entertainment exclusive of a dance floor. It does not include a *food outlet – drive-through*

RETAIL STORE means premises used for the lease, rental or retail sale of goods and may also include a *bake shop, convenience store, food convenience store, grocery store, pawnshop, pet shop, or pharmacy*. It does not include the processing, manufacture or assembly of a good or the sale of a bus, construction equipment, farm tractor, equipment or implement, motor vehicle, truck or vehicle of the tractor trailer or semi-trailer type, or other heavy equipment. An *automobile sales lot or motor vehicle dealership* is not a *retail store*.

TOURIST HOME means an *ancillary use* that:

1. is located in a *single unit dwelling* that is the principal residence of the tourist home operator;
2. provides sleeping accommodation to the travelling public; and
3. may include the provision of meals.

A bed and breakfast or a guest house is a *tourist home*. A *correctional institution, group home, hotel, private home day care, residential care facility* or a *lodging house* is not a *tourist home*.

USE

1. when used as a noun means the purpose for which a *building, lot, premises* or *structure* is designed, maintained or occupied.
2. when used as a verb means anything done by any person or permitted, either directly or indirectly by any person, for the purpose of making use of a *building, lot, premises* or *structure*.

ACCESSORY USE means a *use* which is customarily incidental, subordinate and exclusively devoted to the *main use* and is carried on with such *main use* on the same *lot*.

ANCILLARY USE means a *use*, other than an *accessory use*, which complements or otherwise provides a service to the *main use* of the *zoning district* in which it is located.

APPENDIX D: CONSULTATIONS TABLE

Comments from Municipal Departments & External Agencies

CANADA POST - Bruno DeSando, Oct. 8, 2019

Attached are Canada Post comments for application Z-014/19; ZNG/5898. [See attachment on **pages 6, 7 & 8** of this document.]

COGECO CONNEXION - Daniel Haggins, Oct. 7, 2019

Cogeco has no issues.

ENGINEERING - DEVELOPMENT, PROJECTS & ROW –Sandy Mio & Pat Winters, Sep 25, 2019
REVISED COMMENT - JANUARY 7, 2020:

The subject lands are located at 3985 & 3945 Dougall Avenue, designated residential by the City of Windsor Official Plan and zoned Residential District 1.4 (RD1.4) by Zoning By-Law 8600. . The applicant requests to change the zoning of the subject land from RD1.4 to a site-specific Commercial Zone similar to CD1.3 (Commercial District 1.3) to permit neighbourhood commercial uses and the associated parking area on the subject land.

The site may be serviced by the 525mmRCP storm sewer, a 675mm RCP storm sewer, and a 200mmPVC sanitary sewer along Dougall Avenue. There is also a 1500mm RCP storm sewer and 1050mm RCP sanitary sewer along Roseland Drive. If possible existing connections should be utilized. Any redundant connections are to be abandoned in accordance with the City of Windsor Engineering Best Practice B.P 1.3.3. Storm water management completed in accordance with the Windsor/Essex Region Stormwater Standards Manual and a site grading plan will be required. This development must also be approved by ERCA as this property is within the Conservation Authority's regulated area. A sanitary sampling manhole will be required to the satisfaction of the City Engineer.

Schedule X of the Official Plan classifies Dougall Avenue as a Class 2 Arterial Road with a required right-of-way width of 38m; however, under the approved Dougall Avenue Environmental Assessment, a land conveyance is not required. The Official Plan classifies Roseland Drive East as a Local Road with a required right-of-way width of 20 metres. The current right-of-way width is sufficient and therefore, a land conveyance is not required.

A Right-of-Way permit is required for any new driveways and shall be constructed in accordance with AS-204 and AS-547 for the channelized traffic island. The applicant will be required to remove any redundant curb cuts and restore the area to City of Windsor Standards. There are existing sidewalks fronting the subject property, the owner will be responsible for replacing/reconstructing any sections of sidewalk which are in conflict and/or damaged as the result of the proposed servicing.

In summary we have no objection to the proposed redevelopment, subject to the following requirements (Requirements can be enforced during site plan control):

Site Plan Control Agreement – The applicant enters into an agreement with the City of Windsor for all requirements under the General Provisions of the Site Plan Control Agreement for the Engineering Department.

Redundant Curb Cuts – The owner agrees to remove and replace the redundant curb cut on Howard Avenue with full height curb to the satisfaction of the City Engineer.

ERCA Requirements – The owner(s) further agrees to follow all drainage and flood proofing recommendations that the Essex Region Conservation Authority (ERCA) may have with respect to the subject land, based on final approval by the City Engineer. If applicable, the Owner will obtain all necessary permits from ERCA with respect to the drainage works on the subject lands.

If you have any further questions or concerns, please contact Sandy Mio, of this department at 519-255-6100, ext. 6216.

ENBRIDGE GAS (Operating as UNION GAS) – Mary Jane Patrick, Oct. 8, 2019
In our Lands department, it's not normally our practice to comment on rezoning applications.

ENVIRONMENTAL SERVICES – Anne Marie Albidone, Aug. 30, 2019
No concerns from Environmental Services.

ENVIRONMENTAL & SUSTAINABILITY COORDINATOR - Averil Parent, Sep. 3, 2019
No comment.

ENWIN UTILITIES (Hydro Engineering) – Jodi Reaume, Sep. 6, 2019
Hydro Engineering has no objection to re-zoning.

ENWIN UTILITIES (Water Engineering) – Jodi Reaume, Sep. 6, 2019
Water Engineering has no objections to the rezoning.

ESSEX REGION CONSERVATION AUTHORITY (ERCA) – Corinne Chiasson, Sep. 17, 2019:
See comment on **pages 9, 10 & 11** of this Appendix D.

HERITAGE PLANNER– Kristina Tang, Sep. 10, 2019
There is no apparent built heritage concern with this property and it is located on an area of low archaeological potential. Nevertheless, the Applicant should be notified of the following archaeological precaution.

1. Should archaeological resources be found during grading, construction or soil removal activities, all work in the area must stop immediately and the City's Planning & Building Department, the City's Manager of Cultural Affairs, and the Ontario Ministry of Tourism, Culture and Sport must be notified and confirm satisfaction of any archaeological requirements before work can recommence.
2. In the event that human remains are encountered during grading, construction or soil removal activities, all work in that area must be stopped immediately and the site secured. The local police or coroner must be contacted to determine whether or not the skeletal remains are

human, and whether the remains constitute a part of a crime scene. The Local police or coroner will then notify the Ontario Ministry of Tourism, Culture and Sport and the Registrar at the Ministry of Consumer Services if needed, and notification and satisfactory confirmation be given by the Ministry of Tourism, Culture and Sport.

Contacts:

Windsor Planning & Building Department:

519-255-6543 x6179, planningdept@citywindsor.ca

Windsor Manager of Cultural Affairs:

Cathy Masterson, 519-253-2300x2724, cmasterson@citywindsor.ca

Ontario Ministry of Tourism, Culture and Sport

Archaeology Programs Unit, 1-416-212-8886, Archaeology@ontario.ca

Windsor Police: 911

Ontario Ministry of Government & Consumer Services

HYDRO ONE– Dennis De Rango, Sep. 9, 2019

We are in receipt of your Site Plan Application, Z-014/19; ZNG/5898 dated August 30, 2019. We have reviewed the documents concerning the noted Plan and have no comments or concerns at this time. Our preliminary review considers issues affecting Hydro One's 'High Voltage Facilities and Corridor Lands' only.

For proposals affecting 'Low Voltage Distribution Facilities' please consult your local area Distribution Supplier.

To confirm if Hydro One is your local distributor please follow the following link:

<http://www.hydroone.com/StormCenter3/>

Please select “ Service Territory Overlay” and locate address in question by entering the address or by zooming in and out of the map.

If Hydro One is your local area Distribution Supplier, please contact Customer Service at 1-888-664-9376 or e-mail CustomerCommunications@HydroOne.com to be connected to your Local Operations Centre.

LANDSCAPE ARCHITECT – Stefan Fediuk, Sep. 20, 2019

Pursuant to the application for a zoning amendment (Z-014/19, ZNG/5898; 2319576 Ontario Ltd., 3985 & 3945 Dougall Avenue) to permit change of zoning from RD1.4 to CD1.3 on the subject, please note no objections. Please also note the following comments:

Zoning Provisions for Parking Setback:

A landscape buffer would be required as part of a future site plan, between the development and the existing residential property to the north (3935 Dougall Avenue). Similarly, a buffer would be required along the residential properties along Kennedy Drive East. In order to accommodate the above referenced landscape setback, it is recommended that the sidewalk abutting the northern face of the building, and the separation between the loading space and parking space 43, be eliminated.

More detailed landscape requirements will be provided at the time of site plan review.

Tree Preservation:

Require a tree survey identifying species, size, location, and condition of all trees on the subject lands as well as those located on the municipal rights-of-way of Roseland Drive East and Dougall Avenue. A significant municipal boulevard tree is proposed to be removed on Roseland Drive East. Relocation of the access drive from Roseland to be considered to preserve this tree.

Require a tree protection plan to the satisfaction of the Chief Building Official and the City Forester, identifying which trees are to be retained and proposed preservation techniques to be implemented.

Parkland Dedication:

There are no parkland implications beyond the usual requirement for cash-in-lieu of 2% parkland dedication.

PROPERTY ASSESSMENT – Jose Mejalli, August 30, 2019

We have no objection to the site specific zoning amendment to permit commercial use and the associated development.

TRANSIT WINDSOR – Jason Scott, Sep. 4, 2019

Transit Windsor has no objections to this development. We would prefer if the building was located along the road instead of the parking as that would help for walking distances to get to transit. Buildings that are located along the road with parking lots behind help to encourage active modes of transportation, such as transit. The closest transit service is located along Cabana at Dougall with the existing service offering 2 transit routes (Dougall 6 & South Windsor 7). The bus stops are an average of 400 metres away from this property so it just falls within the industry average walking distance to a transit stop of 400 metres.

TRANSPORTATION PLANNER – Juan Paramo, Oct. 3, 2019

Overall, Transportation Planning supports the subject Zoning By-law amendment. The following requirements are expected to be satisfied through Site Plan Control.

- The Official Plan classifies Dougall Avenue as a Class 2 Arterial Road with a required right-of-way width of 42 metres; however, under the approved Dougall Avenue Environmental Assessment, a land conveyance is not required.
- The Official Plan classifies Roseland Drive East as a Local Road with a required right-of-way width of 20 metres. The current right-of-way width is sufficient and therefore, a land conveyance is not required.
- All accesses shall conform to the TAC Geometric Design Guide for Canadian Roads and the City of Windsor Standard Engineering Drawings
- A Signage Plan is required.
- All exterior paths of travel must meet the requirements of the Accessibility for Ontarians with Disabilities Act (AODA).

- The minimum required bicycle parking spaces should be provided on the subject property.

TRANSPORTATION PLANNING ENGINEER – Jeff Hagan, Oct. 21, 2019

I have reviewed the transportation impact study for the above-noted application (“Proposed Commercial Development, 3945 and 3985 Dougall Avenue, Windsor, ON, Transportation Impact Study” by Mike Walters of Dillon Consulting Ltd., dated March 8, 2019) and have the following comments:

1. No issues were noted with the report. The report is satisfactory as submitted.
2. The report notes that no off-site improvements are required as a result of the development.

WINDSOR POLICE SERVICE - Barry Horrobin, Oct. 3, 2019

My comments for this application are as follows:

The Windsor Police Service has some concerns with this application. The proposed use of the property is not dissimilar to what has previously transpired and now exists in other sections of Dougall Avenue, whereby lands previously occupied and used for residential purposes have now been gradually transformed into commercial properties. Such development evolution has generally occurred in a well planned manner to allow for a smooth transition, including no problematic impacts on public safety or police incident response capability. While similar in some aspects, a key difference with the subject application is that its placement will result in a physically isolating outcome for a low density residential property situated immediately to the north, which already has an existing commercial development on its other boundary.

The public safety impact of this could very well mean more noise and vehicular traffic surrounding the home that causes a loss in quality of life for its residents, plus more difficulty accessing their property on an ongoing basis. Such access difficulties could presumably make it less safe to come and go. From our records, the 3800 and 3900 blocks of Dougall Avenue generate a tangible quantity of incidents requiring police response and intervention. During the past two full years (2017 and 2018) plus the first nine months of the current year (2019), Windsor Police responded to 458 incidents of a wide variety, representing an average of 167 incidents annually. This is not a big surprise given the buildup of commercial properties in the immediate area but reflects a trend that is less desirable for a low density residential environment.

A reasonable solution here would seem to be for either acquisition of the residence as part of the proposed commercial development or having more pronounced buffering between the proposed new commercial plaza and the existing residence next door. If approved we will provide more specific details and requirements during the site plan review stage of the application to ensure safe functioning of the land use is an outcome.



October 8, 2019

JUSTINA NWAESEI
PLANNING & BUILDING SERVICES DEPARTMENT
SUITE 210, 350 CITY HALL SQUARE EAST
WINDSOR ON N9A 6S1

Reference: **Z-014/19; ZNG/5898 (3985 & 3945 Dougall Avenue)**

Dear Justina,

Thank you for contacting Canada Post regarding plans for a new development in the City of Windsor. Please see Canada Post's feedback regarding the proposal, below.

Service type and location

1. Canada Post will provide mail delivery service through centralized Community Mail Boxes (CMBs).
2. If the development includes plans for (a) multi-unit building(s) with a common indoor entrance, the developer must supply, install and maintain the mail delivery equipment within these buildings to Canada Post's specifications.

Municipal requirements

1. Please update our office if the project description changes so that we may determine the impact (if any).
2. Should this application be approved, please provide notification of the new civic addresses as soon as possible.

Developer timeline and installation

1. Please provide Canada Post with the date development work is scheduled to begin. Finally, please provide the expected installation date(s) for the CMB(s).

Please see Appendix A for any additional requirements for this developer.

Regards,

Bruno DeSando
CANADA POST CORPORATION
Delivery Planning
955 Highbury Avenue
LONDON ON N5Y 1A3
tel: 519-494-1596
fax: 519-457-5412
e-mail: bruno.desando@canadapost.ca

Appendix A

Additional Developer Requirements:

- The developer will consult with Canada Post to determine suitable permanent locations for the Community Mail Boxes. The developer will then indicate these locations on the appropriate servicing plans.
- The developer agrees, prior to offering any units for sale, to display a map on the wall of the sales office in a place readily accessible to potential homeowners that indicates the location of all Community Mail Boxes within the development, as approved by Canada Post.
- The developer agrees to include in all offers of purchase and sale a statement which advises the purchaser that mail will be delivered via Community Mail Box. The developer also agrees to note the locations of all Community Mail Boxes within the development, and to notify affected homeowners of any established easements granted to Canada Post to permit access to the Community Mail Box.
- The developer will provide a suitable and safe temporary site for a Community Mail Box until curbs, sidewalks and final grading are completed at the permanent Community Mail Box locations. Canada Post will provide mail delivery to new residents as soon as the homes are occupied.
- The developer agrees to provide the following for each Community Mail Box site and to include these requirements on the appropriate servicing plans:
 - Any required walkway across the boulevard, per municipal standards
 - Any required curb depressions for wheelchair access, with an opening of at least two metres (consult Canada Post for detailed specifications)
 - A Community Mailbox concrete base pad per Canada Post specifications.

Essex Region Conservation

the place for life



September 06, 2019

Ms. Justina Nwaesei, Planner II – Development Review
City of Windsor, Development Services
350 City Hall Square West
Windsor, Ontario, N9A 6S1

planning@erca.org
P.519.776.5209
F.519.776.8688
360 Fairview Avenue West
Suite 311, Essex, ON N8M 1Y6

Dear Ms. Nwaesei:

RE: Zoning By-Law Amendment Z-014-19 [ZNG-5898]
3945 DOUGALL AVE. & 3985 DOUGALL AVE
ARN 373908009011300, 373908009011200; PIN: 012891686, 012891809

The following is provided as a result of our review of Zoning By-Law Amendment Z-014-19 [ZNG-5898]. We understand that the applicant is requesting a zoning amendment to change the subject properties from a Residential District 1.4 (RD 1.4) to a site specific Commercial Zone similar to Commercial District 1.3 (CD 1.3) in order to permit neighbourhood commercial uses and the associated parking areas.

DELEGATED RESPONSIBILITY TO REPRESENT PROVINCIAL INTEREST IN NATURAL HAZARDS (PPS, 2014) AND REGULATORY RESPONSIBILITIES OF THE CONSERVATION AUTHORITIES ACT

The following comments reflect our role as representing the provincial interest in natural hazards encompassed by Section 3.1 of the Provincial Policy Statement of the Planning Act as well as our regulatory role as defined by Section 28 of the Conservation Authorities Act.

The above noted lands are subject to our Development, Interference with Wetlands and Alteration to Shorelines and Watercourses Regulation under the *Conservation Authorities Act* (Ontario Regulation No. 158/06). The parcel falls within the regulated area of the Lennon Drain. The property owner will be required to obtain a Permit from the Essex Region Conservation Authority prior to any construction or site alteration or other activities affected by the regulations.

WATERSHED BASED RESOURCE MANAGEMENT AGENCY

The following comments are provided in an advisory capacity as a public commenting body on matters related to watershed management.

Page 1 of 3

Amherstburg / Essex / Kingsville / Lakeshore / LaSalle / Leamington / Pelee Island / Tecumseh / Windsor



Ms. Nwaesei
September 06, 2019

SECTION 1.6.6.7 Stormwater Management (PPS, 2014)

We are concerned with the potential impact of the quality and quantity of runoff in the downstream watercourse due to future development on this site. In addition, that stormwater quality and stormwater quantity are addressed up to and including the 1:100 year storm event and be in accordance with the guidance provided by the Stormwater Management Planning and Guidance Manual, prepared by the Ministry of the Environment (MOE, March 2003) and any other Municipal requirements (e.g., Windsor-Essex Region Stormwater Management Standards Manual).

We therefore request inclusion of the following conditions in the Development Agreement:

1. That the developer undertakes an engineering analysis to identify stormwater quality and quantity measures as necessary to control any increases in flows in downstream watercourses, up to and including the 1:100 year design storm, to the satisfaction of the Municipality and the Essex Region Conservation Authority.
2. That the developer installs stormwater management measures identified above, as part of the development of the site, to the satisfaction of the Municipality and the Essex Region Conservation Authority.
3. That the developer obtains the necessary permit or clearance from the Essex Region Conservation Authority prior to undertaking site alterations and/or construction activities.

PLANNING ADVISORY SERVICE TO MUNICIPALITIES - NATURAL HERITAGE POLICIES OF THE PPS, 2014

The following comments are provided from our perspective as a service provider to the Municipality on matters related to natural heritage and natural heritage systems. The comments in this section do not necessarily represent the provincial position and are advisory in nature for the consideration of the Municipality as the planning authority.

The subject property is not within or adjacent to any natural heritage feature that may meet the criteria for significance under the Provincial Policy Statement (PPS 2014). Based on our review, we have no objection to the application with respect to natural heritage policies.

FINAL RECOMMENDATION

We have no objections to this Zoning By-law Amendment.



Page 2 of 3

Amherstburg / Essex / Kingsville / Lakeshore / LaSalle / Leamington / Pelee Island / Tecumseh / Windsor

Ms. Nwaesei
September 06, 2019

If you have any questions or require any additional information, please contact the undersigned.

Sincerely,



Corinne Chiasson
Resource Planner
/cor

Page 3 of 3



Amherstburg / Essex / Kingsville / Lakeshore / LaSalle / Leamington / Pelee Island / Tecumseh / Windsor

No Comment was received from the following:

- BELL CANADA (WSP)
- CANADA MORTGAGE & HOUSING CORPORATION (CMHC)
- GREATER ESSEX COUNTY DISTRICT SCHOOL BOARD (GECDSB)
- SITE PLAN APPROVAL OFFICER
- MINISTRY OF MUNICIPAL AFFAIRS & HOUSING (MMAH)
- MINISTRY OF ENVIRONMENT CONSERVATION & PARKS (MECP)
- MINISTRY OF NATURAL RESOURCES AND FORESTRY (MNRF)
- MINISTRY OF TRANSPORTATION
- WINDSOR-ESSEX CATHOLIC DISTRICT SCHOOL BOARD (WECDSB)
- WALPOLE ISLAND FIRST NATIONS
- WINDSOR ESSEX COUNTY HEALTH UNIT
- WINDSOR FIRE & RESCUE SERVICES

1.0

Introduction

2319576 Ontario Ltd. has purchased the lands comprised of 3945 and 3985 Dougall Avenue, located at on the northwest corner of Dougall Avenue and Roseland Drive East, and wishes to redevelop the land for a Neighbourhood Commercial use, including general commercial and office uses. The Applicant has submitted a corresponding application for a Zoning By-law Amendment (ZBA) to facilitate the proposed land use. A subsequent application for Site Plan Control Approval to develop the subject lands for the planned commercial building and off street parking will be applied for upon the approval of the zoning by-law amendment.

The subject lands currently contain two single detached dwelling units, which are rented out, with full access driveways along Dougall Avenue and Roseland Drive East. Existing fencing and trees are along the rear property line of the subject lands. During the proposed redevelopment, the existing fencing will be preserved where desired by neighbours and compatible new privacy fencing will be provided where necessary. Existing trees will be retained, where feasible, and appropriate landscaping will be added to the site to further buffer the development from the existing residences to the west.

A Zoning By-Law Amendment application is required to permit the proposed neighbourhood commercial uses. The applicant is applying for a Zoning By-law Amendment from Residential District 1.4 (RD1.4) to a site specific zoning district, similar to Commercial District 1.3 (CD1.3) to permit a small-scale commercial plaza with associated parking. Additionally, Site Plan Control Approval will be required for the site at the time of development.

The present conceptual Site Plan shows that the proposed development is intended to have:

- A new +/- 483 sq.m. (5,200sq.ft.) commercial building;
- Associated parking and a loading area; and
- A right-in-right-out (RIRO) access along Dougall Avenue and a single full turn access on Roseland Drive East.

The City of Windsor requested that the proponent hold a Public Information Centre (PIC) to introduce their plans for the development to the public and provide an opportunity to review conceptual plans, provide initial comment, and obtain stakeholder input on the planning and design process.

This report summarizes information related to the Public Information Centre held on Tuesday November 11, 2018 from 5pm to 7pm at the Roseland Golf and Curling Club, located at 455 Kennedy Drive West in Windsor, Ontario for residents within 120m of the property limits.

A copy of the notice can be found in **Appendix A**.

2.0 Distribution of the Notice of Public Information Centre

Since the City of Windsor asked the applicant to host a PIC, Dillon Consulting on behalf of 2319576 Ontario Ltd. notified members of the public and nearby landowners within 120m of the property limits of the public meeting. A copy of the notice was hand delivered to 35 property owners abutting the subject lands on Tuesday June 4, 2019. In addition, the notice was emailed to the Planning Department of the City of Windsor and mailed to the local Councillors.

A copy of the Notice of PIC is provided in **Appendix A**.

3.0 The Public Information Centre

3.1 Format

The PIC was hosted as an informal walk-through session with display boards of the conceptual development plan. Although not posted on display boards, reference documents containing pertinent excerpts from the Official Plan and Zoning By-law were also shared with members of the public who wished to review respective planning policies and zoning provisions.

Two (2) Dillon Consulting staff members as well as the applicants were in attendance to explain the project, record comments and answer questions. Justine Nwaesei, a City of Windsor planner, also attended the Public Information Centre.

3.2 Display Panels

As mentioned above, the display panels that were used illustrated the conceptual site plan for the proposed development. The panels and site plan provided information regarding:

- the location of the subject lands;
- the type of development;
- the parking layout;
- ingress and egress access points for the development;
- the scale of the proposed building; and
- the nature of the surrounding neighbourhood and commercial area;

In addition, the following documents were provided to the public on tables throughout the venues:

- Public Information Centre notices;
- Sign-in sheets; and,
- Comments sheets.

3.3 Attendance

All attendees were asked to add their name to the sign-in sheet when they entered the venues and they were encouraged to complete comment sheets. Twenty (20) people attended the meeting with the majority being neighbours of the site.

4.0 Comments Received

Attendees of the meetings provided valuable feedback to project staff. All attendees were encouraged to provide their comments to project staff in-person at the event or in writing on the comment sheets that were made available throughout the room. Comments were received at the PIC, as well as via email and additional comments were received by telephone prior to the end of the comment period on June 18, 2018. In total, 15 submissions were received.

There was both support and opposition regarding this proposal received from the residents. Many people were in support of the redevelopment but had site specific concerns about the configuration and the functionality of the site. Those in favour also were happy to see that neighbourhood commercial uses were being proposed and that no drive-thru restaurants would fit on the site. Many of the neighbours were glad to hear that the current tenants of the two residences on the site would be vacating the site and upgrades to the site would be happening.

The table below captures the concerns raised by the public (verbally at the meeting, telephone calls and in writing) and provides responses to the planning and design related issues that were raised.

Planning/Design Considerations	Summary of Public Comments	Response
Property Value	Fear of property values loss/decline	We are unable to speak to land values and this should be discussed directly with and Ontario Land Appraiser. However, the proposed development would be designed to be in keeping with the scale of surrounding residential development. It is anticipated that the development will support uses such as offices, and personal service uses.
Noise Pollution	Concern over impact of noise from site	The proposed development will not generate any undue noise pollution. The development will be primarily office and personal service uses that will operate within normal business hours, thus not causing any additional noise after hours. In addition, landscaping and fencing will be provided as a buffer between the rear of the property and the existing residential dwellings to the west to mitigate any issues that may arise. These issues will be further reviewed during the Site Plan Control Approval phase of the development.

Planning/Design Considerations	Summary of Public Comments	Response
	<p>Concern of noise from Dougall if trees are removed</p>	<p>Noise generated from traffic along Dougall represents an existing condition that is independent of the proposed development. However, existing trees will be retained where possible, additional screening and fencing can be added to alleviate any concerns.</p> <p>Building structure to add significant noise attenuation from Dougall Traffic.</p>
<p>Traffic/Vehicle Movement</p>	<p>Worsening of traffic at Kennedy and Roseland</p> <p>Short signal time at Roseland and Dougall</p> <p>Location of the proposed Roseland Drive East access and concerns regarding the safety of pedestrians and cyclists, particularly children</p> <p>Delivery trucks- location of loading area and the times of deliveries</p>	<p>A Traffic Impact Study (TIS) has been completed which confirms that there will be no significant impacts from the proposed development on the neighbourhood. Traffic at Kennedy Drive and Roseland Drive East is not expected to worsen as a result of the proposed development. The proposed commercial uses are considered low trip generators. The proposed location and design of the access points has accounted for local traffic conditions and will help to minimize any impacts on the surrounding road network.</p> <p>Traffic signal times are controlled by the City, and any requests related to signal timing should be directed towards the City's Traffic Department.</p> <p>The proposed Roseland Drive access is not expected to create congestion or traffic impacts with pedestrian/cyclist. This has been verified through the completed TIS. Appropriate traffic calming measures and signage can be implemented to ensure drivers are cognizant of children in the neighbourhood and cautious while entering and exiting the site.</p> <p>Given the scale and nature of the proposed development, the largest vehicles entering the site for delivery purposes are expected to be cube vans. It is expected that delivery times will be during off-peak traffic hours to</p>

Planning/Design Considerations	Summary of Public Comments	Response
	Loading zone location	<p>limit any concerns with the potential blocking of traffic , but during regular business hours so that noise and headlight issues are not a factor.</p> <p>Given the relatively nominal frequency of deliveries expected for the proposed commercial use, the location of the loading zone is not considered to be a significant issue. However, the site plan is not set yet and the applicant will review this during the Site Plan Control Process which may present an opportunity to relocate the loading zone so that any potential slowdown in traffic flow coinciding with deliveries is minimized.</p>
Light Pollution	<p>Light pollution from proposed development</p> <p>Light from Dougall Ave</p>	<p>Full cut-off lighting will be required on the site which will direct the light away from the existing residences. Lighting will have to conform to City Standards and will be approved during the Site Plan Control Process.</p> <p>Existing lighting from sources along Dougall Ave outside the subject site represent an existing condition outside the control of the proponent. However, where possible, intrusive lighting from outside sources may be minimized, potentially through coordinated with City staff.</p>
Poor Lighting at Night	Fear of increased traffic risk to pedestrians due to poor lighting	The proposed neighbourhood commercial use is expected to operate during conventional business hours. Appropriate lighting will be provided within the site, however, existing lighting conditions/street lighting are generally regulated and controlled by the City.
Sidewalk Connections	Fear of increased traffic risk to pedestrians due to inadequate pedestrian walkways	Internal walkways and connections to existing public sidewalks will be provided for in the development. Additionally, appropriate street signage can be implemented to caution drivers of children in the neighbourhood. These concerns will be addressed during the Site Plan Control

Planning/Design Considerations	Summary of Public Comments	Response
		Approval phase of the development.
Bar/Restaurant Use	Concerns stemming from specific use such as noise, garbage and vermin	At this time, the applicant is currently not proposing a bar/restaurant use on the site. Through the Site Plan Control Process, details such as garbage enclosures, fencing and site safety will be reviewed.
Trees	Removal of existing trees	Existing trees will be retained where possible. New landscaping will be provided in accordance with City Site Plan Guidelines. Landscaping will be reviewed and finalized during the Site Plan Control Approval stage of the development.
Fencing	Protection of existing fencing and adequacy of new fencing	New privacy fencing may be provided along the perimeter of the property by the proponent. Existing fencing that neighbours wish to retain will not be disturbed. Details regarding the fencing will be reviewed during the Site Plan Control phase of the development.
Garbage	Concerns regarding storage, odour and potential to attract pests/vermin	As the proposed commercial enterprise is expected to be office and personal service uses, there are no significant issues expected in this regard. Should an external area be required, appropriate garbage enclosures will be provided to protect the neighbours and site from any potential issues.
Building Location	Wish to have the building relocated against the street	Building size and location will be reviewed during the Site Plan Control review process.
Building Height	Concerns regarding building height/scale	Building height will be in keeping with surrounding properties. The maximum permitted building height in this area is 2 storeys, which is the same as the proposed neighbourhood commercial development.
Creation of Additional Commercial Lands	Fear that the neighbourhood character will change as a result of the proposed commercial development	The proponent is not looking to acquire or change the use of any other properties in the area at this time. The requested Neighbourhood Commercial zoning only permits uses that are complementary in nature to surrounding residential properties. The Residential land use designation in the Official Plan is being retained.

Planning/Design Considerations	Summary of Public Comments	Response
Stormwater Management	Concerns regarding stormwater impact or flooding risk on neighbouring properties	A review of the existing conditions and proposed impact the development may have on the area has been completed as part of the Stormwater Management Report, submitted as part of the application. As a result, no stormwater or flooding impacts on adjacent properties resulting from the proposed development is anticipated. A further review of the proposed site grading, servicing and stormwater issues will be reviewed during the Site Plan Control Approval process.
Notification	Concern regarding appropriateness of notification process and ensuring neighbours are made aware of opportunities for public input in the future	Planning Act requirements for neighbourhood notification have been followed. In addition to the Residents Meeting, neighbours will be able to speak to the proposed rezoning at the scheduled Planning Committee meeting. Notice of the Committee meeting will be issued a minimum of two (2) weeks prior to the date of the meeting. Additionally, residents who have requested further information via email will be kept up to date on the process status.

More detailed questions relating to the intricate details of site configuration, landscaping and access can be addressed during the Site Plan Control process, intended to follow the successful amendment to the City of Windsor Zoning By-law 8600.

5.0 Next Steps

Residents will be notified when the Zoning By-law Amendment is scheduled to be heard before the City of Windsor Planning, Heritage & Economic Development Committee Agenda. In turn, residents who wish to speak further to the application, will be given an opportunity to do so in front of the Committee. It is expected that detailed design matters will be addressed during the Site Plan Control Approval process, should the City of Windsor Zoning By-law 8600 be successfully amended.

Appendix A

Notice of Resident's Meeting



Our File No.: 19-9318

June 3, 2019

**Proposed Redevelopment of
3945 and 3985 Dougall Ave
Windsor, Ontario**

Dear Occupant:

On behalf of our client, 2319576 Ontario Ltd., we invite you to attend an informal pre-consultation meeting at the Roseland Golf and Curling Club banquet centre on Tuesday, June 11, 2019 from 5:00pm to 7:00pm.

You have been invited because of your proximity to the development site and any concerns you may have brought forward. We offer you an opportunity to review the proposal and discuss any of your concerns. The redevelopment is proposing an amendment to Zoning By-Law 8600 to rezone the lands to a site specific commercial zone similar to the Commercial District CD1.3.

The purpose of this meeting is to review the draft site plans as well as appropriate information from the City of Windsor Zoning By-law 8600. We value your input to assist our client in developing a quality project, providing value to the local community and minimizing its impact on the surrounding neighbours.

For your review, we enclose a copy of the draft Conceptual Plan.

We look forward to meeting with you; however, if you are unable to attend, please contact the undersigned at (519) 948-5000 or mmuir@dillon.ca at your convenience.

Sincerely,

DILLON CONSULTING LIMITED

A handwritten signature in blue ink, appearing to read "mmuir".

Melanie Muir, MCIP RPP
Planner

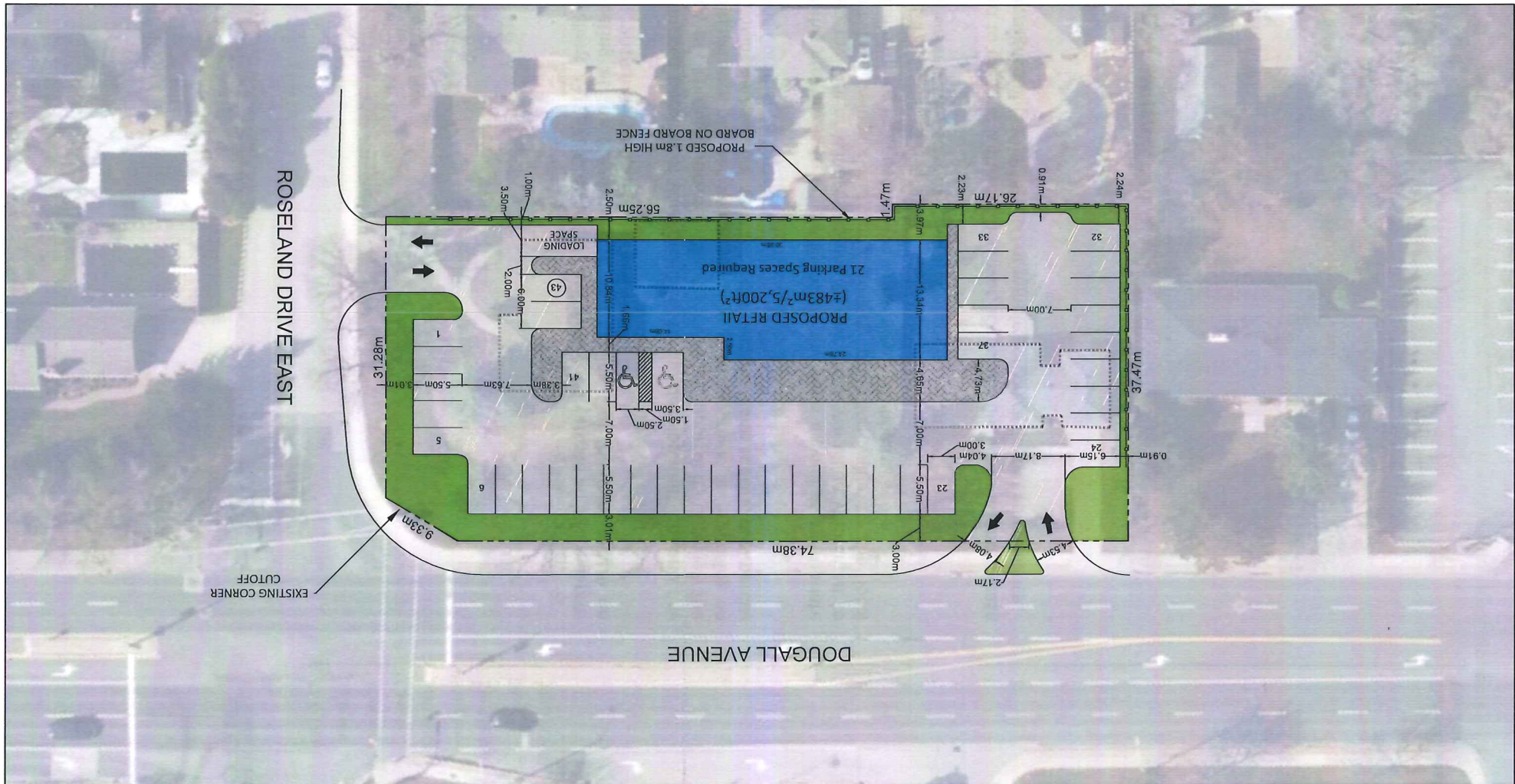
MAM:dt
Encl.

3200 Deziel Drive
Suite 608
Windsor, Ontario
Canada
N8W 5K8
Telephone
519.948.5000
Fax
519.948.5054

**Dillon Consulting
Limited**

FIGURE 4.0
CONCEPTUAL DEVELOPMENT PLAN

2319576 ONTARIO LTD.
3945 AND 3985 DOUGALL AVENUE



SUBJECT SITE
(±0.30ha/±0.74ac)

PROPOSED BUILDING

EXISTING BUILDING
TO BE DEMOLISHED

PROPOSED SIDEWALK

PROPOSED LANDSCAPING

SOURCE: COUNTY OF ESSEX AERIAL PHOTOGRAPHY (2017)

MAP/RAWING INFORMATION
THIS DRAWING IS FOR INFORMATION PURPOSES ONLY. ALL DIMENSIONS AND BOUNDARY INFORMATION SHOULD BE VERIFIED BY AN O.L.S. PRIOR TO CONSTRUCTION.

CREATED BY: MAM
CHECKED BY: KDT
DESIGNED BY: KDT

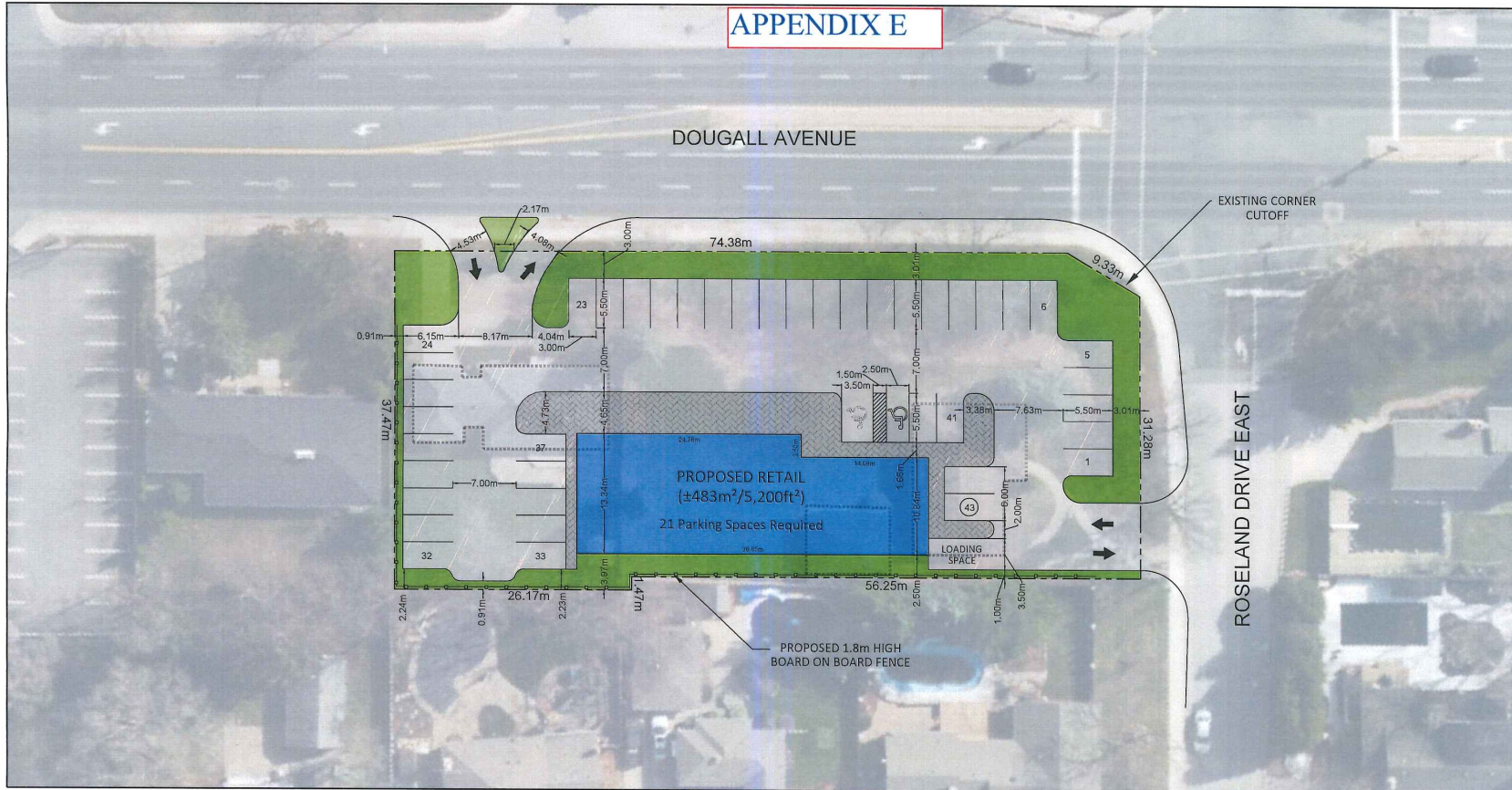
SCALE: 1:400



PROJECT: 19-0318
STATUS: FINAL
DATE: 03/22/2019

File Location:
c:\projects\working directory\projects 2019\22wsp\dm0724\19-0318 - conceptual site plan.dwg
March, 12, 2019 11:04 AM

APPENDIX E



2319576 ONTARIO LTD.
3945 AND 3985 DOUGALL AVENUE

CONCEPTUAL DEVELOPMENT PLAN
FIGURE 4.0

SUBJECT SITE
(±0.30ha/±0.74ac)

PROPOSED BUILDING

EXISTING BUILDING TO BE DEMOLISHED

PROPOSED SIDEWALK

PROPOSED LANDSCAPING

SOURCE: COUNTY OF ESSEX AERIAL PHOTOGRAPHY (2017)

File Location:
c:\projects\working_directory\projects\2019\32\wsp\dms07284\19-0316 - conceptual site plan.dwg
March, 12, 2019 11:04 AM

MAP/DRAWING INFORMATION
THIS DRAWING IS FOR INFORMATION PURPOSES ONLY. ALL DIMENSIONS AND BOUNDARY INFORMATION SHOULD BE VERIFIED BY AN O.L.S. PRIOR TO CONSTRUCTION.

CREATED: BMAM
CHECKED BY: MAM
DESIGNED BY: KDT

SCALE: 1:400



PROJECT: 19-0316
STATUS: FINAL
DATE: 03/12/2019



**Subject: Rezoning - Chantelle Bayley - 2422 Rossini Blvd Z 035-21
[ZNG-6573] - Ward 5**

Reference:

Date to Council: January 10, 2022

Author: Simona Simion

ssimion@citywindsor.ca

519-255-6543 x-6397

Planning & Building Services

Steven Payne

spayne@citywindsor.ca

519-255-6543 x-6396

Planning & Building Services

Report Date: December 2, 2022

Clerk's File #: ZB/14252

To: Mayor and Members of City Council

Recommendation:

THAT Zoning By-law 8600 **BE AMENDED** for Lot 81 and Pt Block I, Plan 1102 municipally known as 2422 Rossini Blvd, by adding a site-specific exception to Section 20(1) as follows:

431. EAST SIDE OF ROSSINI BOULEVARD, SOUTH OF YPRES STREET

For the lands comprising Lot 81 and Pt Block I, Plan 1102, one *multiple dwelling* with a maximum of three *dwelling units* shall be an additional permitted main use and shall be subject to the following additional provisions:

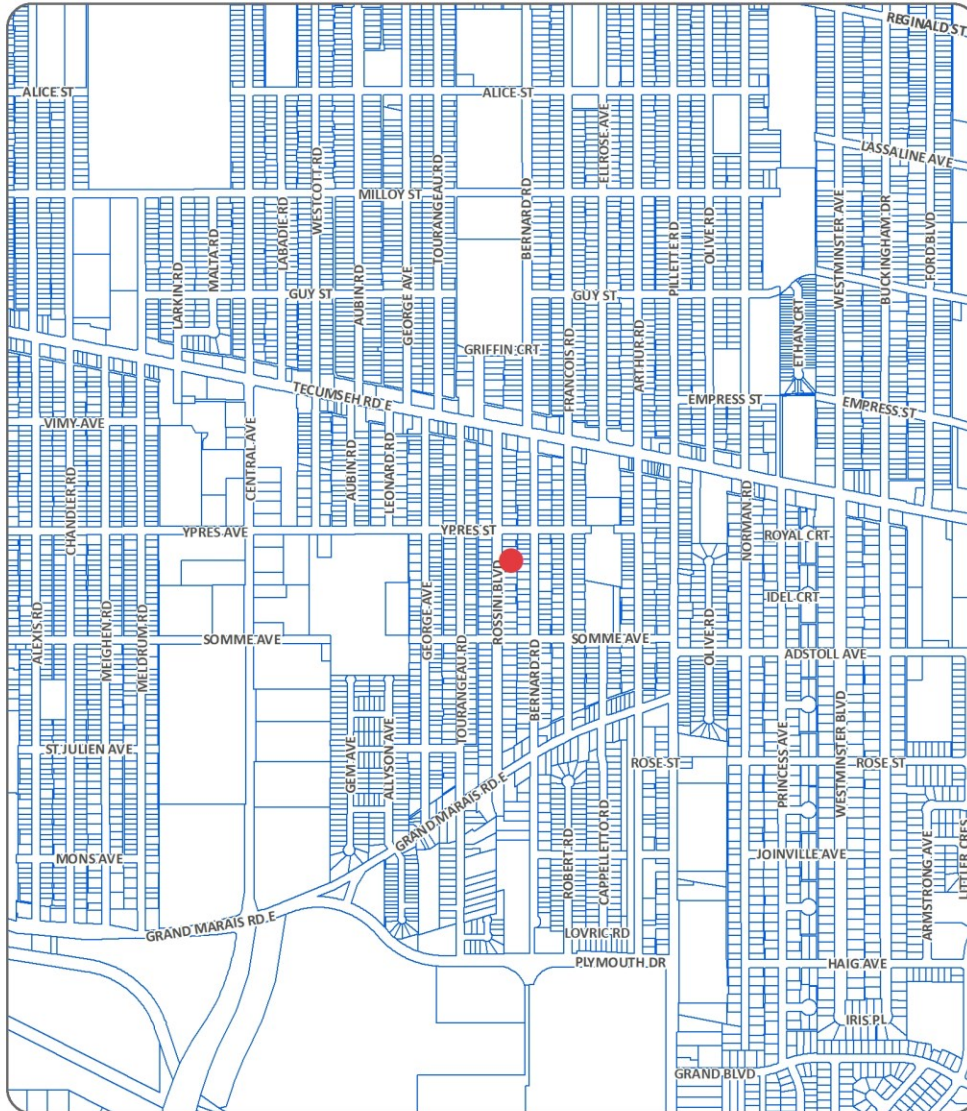
- | | | |
|----|--------------------------------|----------------------|
| a) | Lot Width – minimum | 15.0 m |
| b) | Lot Area – minimum | 450.0 m ² |
| c) | Lot Coverage – maximum | 45.0% |
| d) | Main Building Height – maximum | 10.0 m |
| e) | Front Yard Depth – minimum | 6.0 m |
| g) | Side Yard Width – minimum | 1.20 m |

Executive Summary:

N/A

Background:

1. KEY MAP



KEY MAP - Z-035/21, ZNG-6573



● SUBJECT LANDS

2. APPLICATION INFORMATION

Location: East side of Rossini Blvd, between Ypres St and Somme Ave, municipally known as 2422 Rossini Blvd and described as Lot 81 and Pt Block I, Plan 1102.

Applicant: Chantelle Bayley

Proposal: The subject lands are situated East side of Rossini Blvd, between Ypres St. and Somme Ave. As per applicant, the subject site is occupied by a duplex dwelling. The applicant is proposing to convert the existing two (2) storey duplex into a *Multiple Dwelling* containing a maximum of three (3) dwelling units by adding a unit within the basement area. The required parking will be provided on site as follows: one (1) car garage and two (2) parking spaces on the existing driveway. To be noted that the property owner stated that the subject building is a duplex. Our records indicate a duplex and a single unit dwelling at this location as previous uses.

The subject amendment to Zoning By-Law 8600 will maintain the current 'Residential District 1.1' (RD1.1) and add site specific provisions to allow a multiple dwelling with a maximum of three (3) units, and that for the additional permitted use site specific conditions apply.

Submissions By Applicant: Pre-submission Application, Site Plan, Proposed Floor Plans

3. SITE INFORMATION

OFFICIAL PLAN	ZONING	CURRENT USE	PREVIOUS USE
Residential	RD1.1	Duplex	Single Dwelling Unit
FRONTAGE	DEPTH	AREA	SHAPE
15.24 M	35.36 M	538.84 SQ M	Rectangle
Note: All measurements are approximate.			

4. REZONING MAP

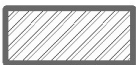


PART OF ZONING DISTRICT MAP 11

N.T.S.

REZONING

Applicant: Chantelle Bayley



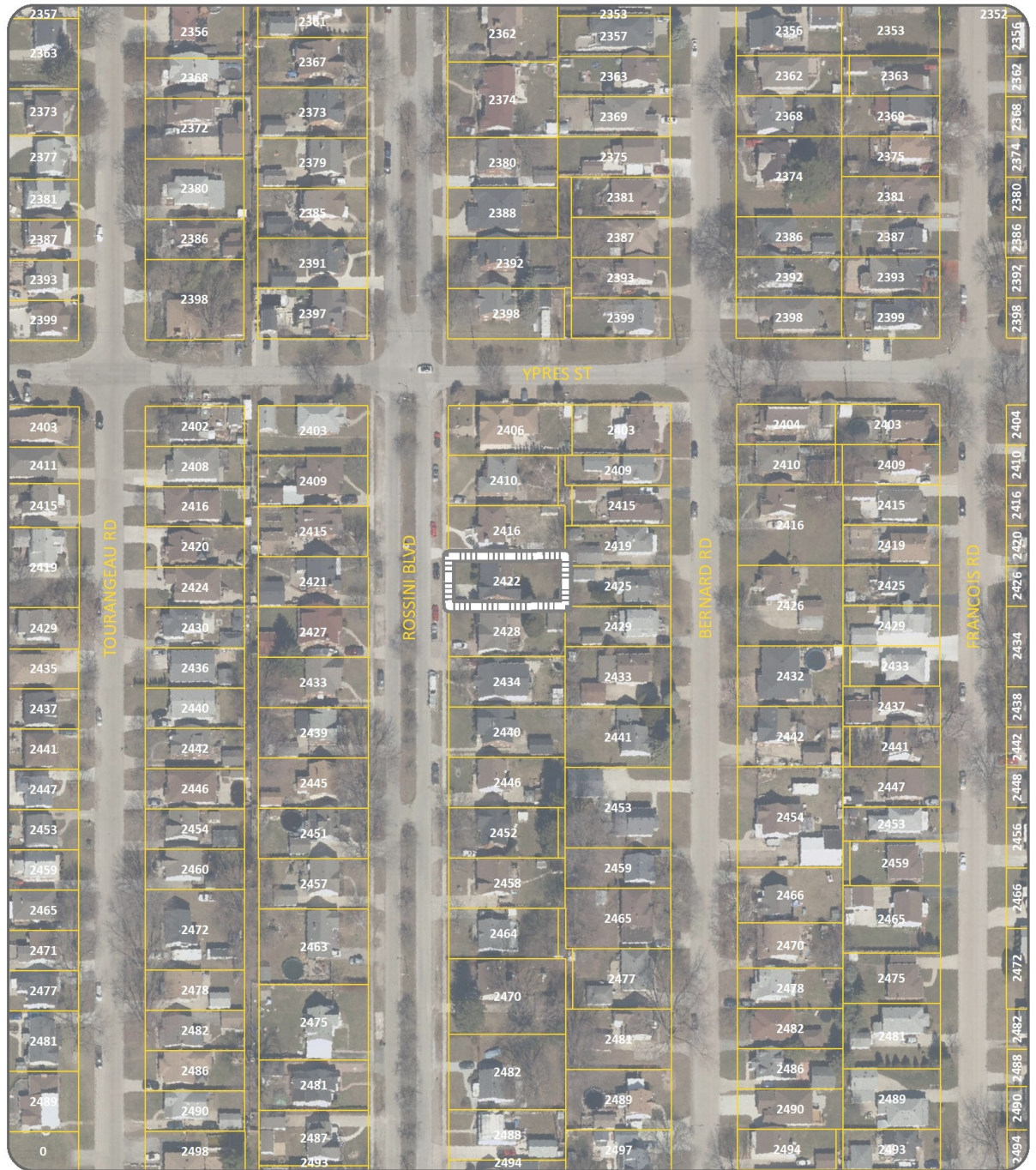
SUBJECT LANDS

PLANNING & BUILDING DEPARTMENT



DATE : OCTOBER, 2021
FILE NO. : Z-035/21, ZNG/6573

5. NEIGHBOURHOOD CHARACTERISTICS NEIGHBOURHOOD MAP



NEIGHBOURHOOD MAP - Z-035/21, ZNG/6573



SUBJECT LANDS

SURROUNDING LAND USES – refer to Appendix A: Site Photos

North side of subject lands contains: Residential Area

East side of the subject lands contains: Residential Area, green open space

West side of the subject lands contains: Residential Area, green open space

South side of the subject lands consists of: Residential Area

Side photos (Google Street View, September 2017) were attached to this report as Appendix A: Site Photos to identify the surrounding land uses and the character of the subject neighbourhood.

MUNICIPAL INFRASTRUCTURE

Sanitary sewer/Storm sewer: Storm sewer is made of reinforced concrete pipe located south of this property along Rossini Blvd. Sanitary sewer is made of PVC and located south of this property along Rossini Blvd.

Water Fire Hydrants: Fire hydrant approximately 180m to the South of the property

Transit Windsor Bus: The closest existing transit route is with the Transway 1C. The closest existing bus stop is located on Tecumseh at Rossini SE Corner. This bus stop is approximately 310 metres from this property falling within our 400 metre walking distance guideline to a bus stop. This will be further enhanced with our Council approved Transit Master Plan as a new express style lite route will be introduced along Tecumseh Road in this area.

Discussion:

1. PLANNING ACT

The comments, submissions or advice affecting planning matter provided by the council of a municipality, as well as the decision of the council of a municipality shall be consistent with the Provincial Policy Statement 2020 (PPS) and shall conform to the Official Plan (OP).

2. PROVINCIAL POLICY STATEMENT, 2020 (PPS)

The recommended amendment to Zoning By-law 8600 is consistent with the PPS. The recommended amendment to allow the conversion of the existing single dwelling unit/duplex to a multiple dwelling unit with a maximum of three units is consistent with PPS policies described in this section.

Applicable PPS Sections can be found in detail in the Appendix B: Excerpts from PPS 2020

PPS provides policy direction for appropriate development. This policy direction takes into consideration efficient use of land and resources, accommodating an appropriate mix of residential uses, supporting active transportation/transit while

preparing for the impacts of climate change. The PPS recognizes that land use is to be managed to meet the full range of current and future needs, while protecting public safety and natural environment.

The proposed multiple dwelling use contributes to building of a strong healthy community as per policy 1.1.1. (a, b, c, d, e, f, and g) of PPS. The proposed amendment is consistent with the PPS as follows:

- The subject building is connected to municipal services.
- The proposed multiple dwelling represents an effective and appropriate re-use of the existing building.
- The subject site complements the surrounding neighbourhood of a mix of residential and nearby commercial uses (approximately one block from Tecumseh Rd E).
- The proposed multiple dwelling's accessibility will be established in compliance with Ontario Building Code (OBC).
- There are no impacts on the natural environment, public health and safety.

The subject lands are within the urban area of the settlement for the City of Windsor. The proposed amendment would permit a higher density of residential units, making a more efficient use of land within the existing built up area.

PPS defines Intensification as development of a property, site or area at a higher density than currently exists by converting the existing buildings. The proposed dwelling unit within basement area is contained within an existing building minimizing land consumption.

The PPS recommends accommodating affordable, market-based range, and a mix of residential types including multiple-unit housing, affordable housing such as the proposed multiple dwelling unit. The subject site is located near a transit route, which provides an opportunity to promote transit ridership.

The applicable PPS sections promote the vitality of the existing settlements recognizing the importance of long-term prosperity of the community while making use of existing infrastructure.

PLANNER'S OPINION

In my opinion, the proposed development is an efficient use of an existing building and promotes a healthy, liveable and safe community. The recommended amendment to Zoning By-Law 8600 represents a sound planning decision that is consistent with the above sections of the PPS.

3. OFFICIAL PLAN (OP)

Applicable Official Plan Sections:

Applicable OP Sections can be found in detail in the Appendix C: Excerpts from the Official Plan.

The Official Plan, Schedule D: Land Use designates the subject land as “Residential”. Available municipal records indicate that the subject building has been used as a single unit dwelling since 1954 according to municipal records and later as a duplex at an unknown date.

The permitted uses in the Residential land use include low, medium and high profile dwelling units. The proposed development is a low profile, small scale form (multiplexes up to 8 units) complying with the Official Plan policies. The majority of houses fronting Rossini near the subject property contains dwellings with 1 to 2 units. The proposed use integrates well with the surrounding residential area. The height of the existing structure will be maintained. The proposed change, an additional third unit within the basement, will be within the existing footprint.

Section 6.3.1.3 Intensification Infill & Redevelopment promote selective residential redevelopment, infill and intensification initiatives similar to the subject proposal.

Section 6.3.1.4 Maintenance and Rehabilitation recommends that the existing housing stock is maintained and rehabilitated.

Section 3.3.3 Neighbourhood policies (policy 3.3.3) denotes that the residential areas are the most basic component on Windsor’s urban structure, facilitating a range of “low-to-medium density residential” built forms.

The Residential policies (Sections 6.3.2.4 and 6.3.2.5) stipulate location and evaluation criteria for Residential development. The proposed development meets the locational criteria that includes access to a collector road, full services, adequate open spaces and community services, and public transportation service.

The land use policies associated with the Residential Land Use designation support a complementary range of housing forms and tenures in all neighbourhoods, promote compact neighbourhoods that encourage a balanced transportation system, promote selective residential redevelopment, infill and intensification initiatives. The proposed development is a compatible residential housing type that will contribute to the diversity of housing forms in the neighbourhood. The built form in terms of mass and height will not change.

PLANNER’S OPINION

The recommended Zoning By-law Amendment maintains conformity with the Official Plan.

4. ZONING

The Zoning Bylaw 8600 designates the zoning for the subject property as ‘Residential District 1.1’ (RD 1.1).

Applicable Zoning By-law Sections can be found in detail in the Appendix D: Excerpts from the Zoning Bylaw 8600.

As per Section 10.1.1, Permitted Uses include existing duplex dwelling, existing semi-detached, and single dwelling unit. The subject amendment to Zoning By-Law 8600 will maintain the current 'Residential District 1.1' (RD1.1) zone and add site specific provisions to address the addition of one (1) dwelling unit within the basement area of an existing duplex. For the additional permitted use as a multiple dwelling with up to three (3) units, the site characteristics shall remain consistent with RD1.1 zoning provisions for a single unit dwelling and recognize the existing reduced side yard width.

As per Section 24.20.5.1 Parking Requirements, the added dwelling unit requires one (1) parking space and this requirement is satisfied. Three (3) parking spaces are provided on the property, one (1) car garage and two (2) parking spaces on the driveway as shown in Appendix F: Site Layout.

A draft bylaw amendment to implement the zoning changes is attached to the report. Please refer to Appendix G: Draft By-Law Amendment.

The recommended Zoning By-law amendment provides for an appropriate more intense use of an existing building.

5. SITE PLAN

N/A

6. ISSUES TO BE RESOLVED

N/A

7. ALTERNATIVES FOR CONSIDERATION

N/A

Risk Analysis:

There are no known risks to the Corporation of the City of Windsor.

Climate Change Risks

There are no climate change risks.

Climate Change Mitigation:

Proposed development is within walking distance to transit bus stops promoting active transportation.

Climate Change Adaptation:

Risk may be minimal and no further action is required.

Financial Matters:

N/A

Consultations:

1. City's Departments and Agencies

Consultations and comments from the municipal departments and external agencies are attached. There are no objections to the proposed amendment.

Please refer to Appendix E: Consultations and Comments

2. Public Notice

The official notice will be advertised in the Windsor Star newspaper as mandated by the Planning Act.

A courtesy notice will be mailed to all properties within 120 m (400 feet) of the subject site, prior to the Development Heritage & Economic Standing Committee (DHESC) meeting.

Conclusion:

The recommended site-specific policy amendment to Zoning By-law promotes an efficient use of existing building, services and infrastructure. The recommended amendment is consistent with the Provincial Policy Statement 2020. The recommended Zoning By-law Amendment maintains conformity with the Official Plan. The subject Zoning By-law Amendment constitutes good planning.

Planning Act Matters:

I concur with the above comments and opinion of the Registered Professional Planner.

Michael Cooke, MCIP RPP

Manager, Planning Policy

Thom Hunt, MCIP RPP

City Planner

I am not a registered Planner and have reviewed as a Corporate Team Leader

Shelby Askin Hager, City Solicitor

Jason Reynar, Chief Administrative Officer

Approvals:

Name	Title
Michael Cooke, MCIP RPP	Manager of Planning Policy / Deputy City Planner
Thom Hunt, MCIP RPP	City Planner / Executive Director, Planning & Development Services
Wira Vendrasco	Deputy City Solicitor, Legal Services & Real Estate
Shelby Askin Hager	Commissioner, Legal & Legislative Services
Jason Reynar	Chief Administrative Officer

Notifications:

Name	Address	Email
Abutting property owners, tenants/occupants within 120m (400ft) radius of the subject land		
Registered Owner/Applicant: Chantelle Bayley	2422 Rossini Blvd Windsor ON	zhasa@hotmail.com

Appendices:

- 1 APPENDIX A - SITE PHOTOS
- 2 APPENDIX B - EXCERPTS FROM THE PPS 2020
- 3 APPENDIX C - EXCERPTS FROM THE OP 2012
- 4 APPENDIX D - EXCERPTS FROM ZONING BY-LAW 8600
- 5 APPENDIX E - CONSULTATIONS AND COMMENTS
- 6 APPENDIX F - SITE LAYOUT
- 7 APPENDIX G - DRAFT BY-LAW AMENDMENT

APPENDIX A - SITE IMAGES



IMAGE 1

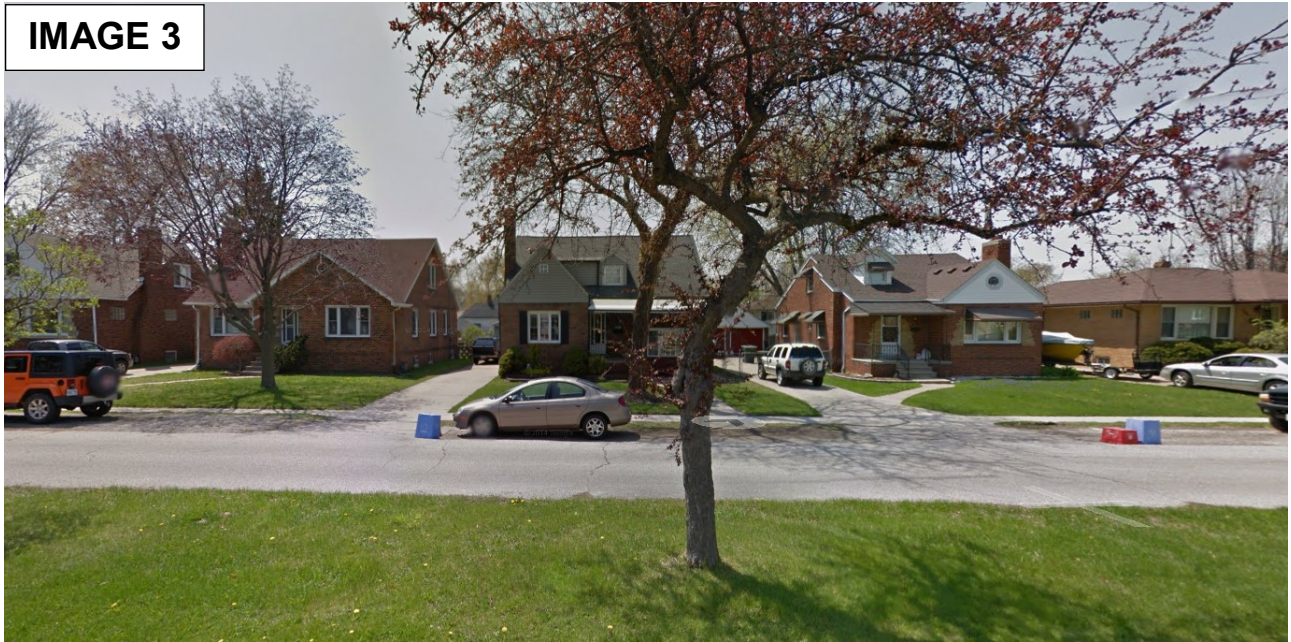
**Subject Parcel – 2422 Rossini Boulevard - Looking east
Subject Property is directly in front**



IMAGE 2

**Looking south on 2422 Rossini Boulevard
Subject property is left of the image**

IMAGE 3



Looking west from subject parcel

IMAGE 4



**Looking north on Rossini Boulevard
Subject parcel is on the right side of the image**

Appendix B

Excerpts from the Provincial Policy Statement (PPS) 2020

Settlement areas are urban areas and rural settlement areas, and include cities, towns, villages and hamlets. Ontario's settlement areas vary significantly in terms of size, density, population, economic activity, diversity and intensity of land uses, service levels, and types of infrastructure available.

The vitality and regeneration of settlement areas is critical to the long-term economic prosperity of our communities. Development pressures and land use change will vary across Ontario. It is in the interest of all communities to use land and resources wisely, to promote efficient development patterns, protect resources, promote green spaces, ensure effective use of infrastructure and public service facilities and minimize unnecessary public expenditures.

1.1 Managing and Directing Land Use to Achieve Efficient and Resilient Development and Land Use Patterns

1.1.1 Healthy, liveable and safe communities are sustained by:

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
- b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;
- c) avoiding development and land use patterns which may cause environmental or public health and safety concerns;
- d) avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;
- e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;
- f) improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;
- g) ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs;
- h) promoting development and land use patterns that conserve biodiversity; and
- i) preparing for the regional and local impacts of a changing climate.

Appendix B

Excerpts from the Provincial Policy Statement (PPS) 2020

1.1.3.1 Settlement areas shall be the focus of growth and development.

1.1.3.2 Land use patterns within settlement areas shall be based on densities and a mix of land uses which:

- a) efficiently use land and resources;
- b) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;
- c) minimize negative impacts to air quality and climate change, and promote energy efficiency;
- d) prepare for the impacts of a changing climate;
- e) support active transportation;
- f) are transit-supportive, where transit is planned, exists or may be developed; and
- g) are freight-supportive.

Land use patterns within settlement areas shall also be based on a range of uses and opportunities for intensification and redevelopment in accordance with the criteria in policy 1.1.3.3, where this can be accommodated.

1.1.3.3 Planning authorities shall identify appropriate locations and promote opportunities for transit-supportive development, accommodating a significant supply and range of housing options through intensification and redevelopment where this can be accommodated taking into account **existing building stock** or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs.

Appendix C
Excerpts from the
City of Windsor Official Plan (OP) 2012

Applicable Official Plan Sections:

2. Glossary

Development Profile refers to the height of a building or structure.

Low Profile development is a building or structure generally no greater than fourteen (14) metres in height. Low Profile Housing development is further classified as follows;

- (i) small scale forms: single detached, semi-detached, duplex, and row and multiplexes with up to 8 units; and

3 Development Strategy

3.2.1.2 Permitted Uses

Encouraging a range of housing types will ensure that people have an opportunity to live in their neighbourhoods as they pass through the various stages of their lives. Residents will have a voice in how this new housing fits within their neighbourhood. As the city grows, more housing opportunities will mean less sprawl onto agricultural and natural lands.

RESIDENTIAL 6.1.3 Housing suited to the needs of Windsor's residents.

6.3 Residential

The lands designated as "Residential" on Schedule D: Land Use provide the main locations for housing in Windsor outside of the City Centre Planning District. In order to develop safe, caring and diverse neighbourhoods, opportunities for a broad range of housing types and complementary services and amenities are provided.

PERMITTED USES

6.3.2.1 Uses permitted in the Residential land use designation identified on Schedule D: Land Use include Low, Medium and High Profile dwelling units.

NEIGHBOURHOODS

6.3.1.2 To promote compact neighbourhoods which encourage a balanced transportation system.

Appendix C
Excerpts from the
City of Windsor Official Plan (OP) 2012

INTENSIFICATION, INFILL & REDEVELOPMENT

6.3.1.3 To promote selective residential redevelopment, infill and intensification initiatives.

MAINTENANCE & REHABILITATION

6.3.1.4 To ensure that the existing housing stock is maintained and rehabilitated.

6.3.2.4 Locational Criteria Residential development shall be located where:

- a) there is access to a collector or arterial road;
- b) full municipal physical services can be provided;
- c) adequate community services and open spaces are available or are planned; and
- d) public transportation service can be provided.

REDEVELOPMENT AREAS

8.7.2.2 Council will ensure that the design of extensive areas of redevelopment achieves the following:

- e) is complementary to adjacent development in terms of overall massing, orientation, setback and exterior design, particularly character, scale and appearance.

Appendix D Excerpts from the Zoning By-Law 8600

The City of Windsor Zoning Bylaw 8600 designates the zoning for the subject property as ‘Residential District 1.1’ (RD 1.1).

Zoning By-law 8600

Section 3 – Definitions

Page 3.15

MULTIPLE DWELLING means one *dwelling* containing a *minimum* of three *dwelling units*. A *double duplex dwelling*, *semi-detached dwelling*, *stacked dwelling*, or *townhome dwelling* is not a *multiple dwelling*.

CURRENT USE: EXISTING DUPLEX

10.1 RESIDENTIAL DISTRICT 1.1 (RD1.1)

10.1.1 PERMITTED USES

Existing Duplex Dwelling

Existing Semi-Detached Dwelling

One Single Unit Dwelling

Any use accessory to the preceding uses

10.1.5 PROVISIONS

	Duplex Dwelling	Semi-Detached Dwelling	Single Unit Dwelling
.1 Lot Width – minimum	9.0 m	15.0 m	15.0 m
.2 Lot Area – minimum	360.0 m ²	450.0 m ²	450.0 m ²
.3 Lot Coverage – maximum	45.0%	45.0%	45.0%
.4 Main Building Height – maximum	10.0 m	10.0 m	10.0 m
.5 Front Yard Depth – minimum	6.0 m	6.0 m	6.0 m
.6 Rear Yard Depth – minimum	7.50 m	7.50 m	7.50 m
.7 Side Yard Width – minimum	1.20 m	1.20 m	1.50 m

PROPOSED USE: MULTIPLE DWELLING WITH A MAXIMUM OF THREE UNITS WITH SITE SPECIFIC PROVISIONS

THAT Zoning By-law 8600 BE AMENDED for Plan 1102 Lot 81 and Pt Blk I municipally known as 2422 Rossini Blvd, by adding a site-specific exception to Section 20(1) as follows:

431. EAST SIDE OF ROSSINI BOULEVARD, SOUTH OF YPRES STREET

A *multiple dwelling* with a maximum of three *dwelling units* shall be an additional permitted use and shall be subject to the following additional provisions.

- a) Lot Width – minimum 15.0 m
- b) Lot Area – minimum 450.0 m²
- c) Lot Coverage – maximum 45.0%
- d) Main Building Height – maximum 10.0 m
- e) Front Yard Depth – minimum 6.0 m
- f) Rear Yard Depth – minimum 7.50 m
- g) Side Yard Width – minimum 1.20 m

OTHER ZONING CONSIDERATIONS

TABLE 24.20.5.1 - REQUIRED PARKING SPACES	
USE	PARKING RATE - MINIMUM
Multiple Dwelling containing a maximum of 4 Dwelling units	1 for each dwelling unit

Three parking spaces (one car garage, 2 paved parking spaces on the driveway on the subject property) are existing complying with the Zoning By law requirements.

LIAISON COMMENTS

Jose Mejalli – Assessment Management Officer

No objection to the zoning amendment to legalize the basement unit.

Jason Scott – Transit Windsor

Transit Windsor has no objections to this development. The closest existing transit route is with the Transway 1C. The closest existing bus stop is located on Tecumseh at Rossini SE Corner. This bus stop is approximately 310 metres from this property falling within our 400 metre walking distance guideline to a bus stop. This will be further enhanced with our Council approved Transit Master Plan as a new express style lite route will be introduced along Tecumseh Road in this area.

Hydro One

Hydro Engineering: No objection to Re-zoning with no building additions or changes.

Water Engineering: Water Engineering has no objections to the rezoning.

The existing water service may not be large enough for this conversion. We have no record of the size of the service so it is either 19mm or smaller.

Rania Toufeili – Transportation Planning

- The Official Plan classifies Rossini Blvd as a Local Road with a required right-of-way width of 20 metres. The existing right-of-way width is sufficient and therefore no conveyance is required.
- Parking must comply with zoning by-law 8600. Appropriate parking supply must be provided per the designation requirement of this property.
- All accesses shall conform to the TAC Geometric Design Guide for Canadian Roads and the City of Windsor Standard Engineering Drawings
- All exterior paths of travel must meet the requirements of the Accessibility for Ontarians with Disabilities Act (AODA).

Barb Rusan – Building Division

Comments from the City of Windsor, Building Division relating to the subject line matter are as follows:

The Building Code Act, Section 8.(1) requires that a building permit be issued by the Chief Building Official for any construction or demolition of a building. It is strongly recommended that the owner and/or applicant contact the Building Division to determine building permit needs for the proposed project. The City of Windsor Building Division can be reached by phone at 519-255-6267 or through email at buildingdept@citywindsor.ca

In addition to the above, a Record of Site Condition registered on file with the Ministry (MECP) will be required for redevelopment of this property.

Engineering – ROW

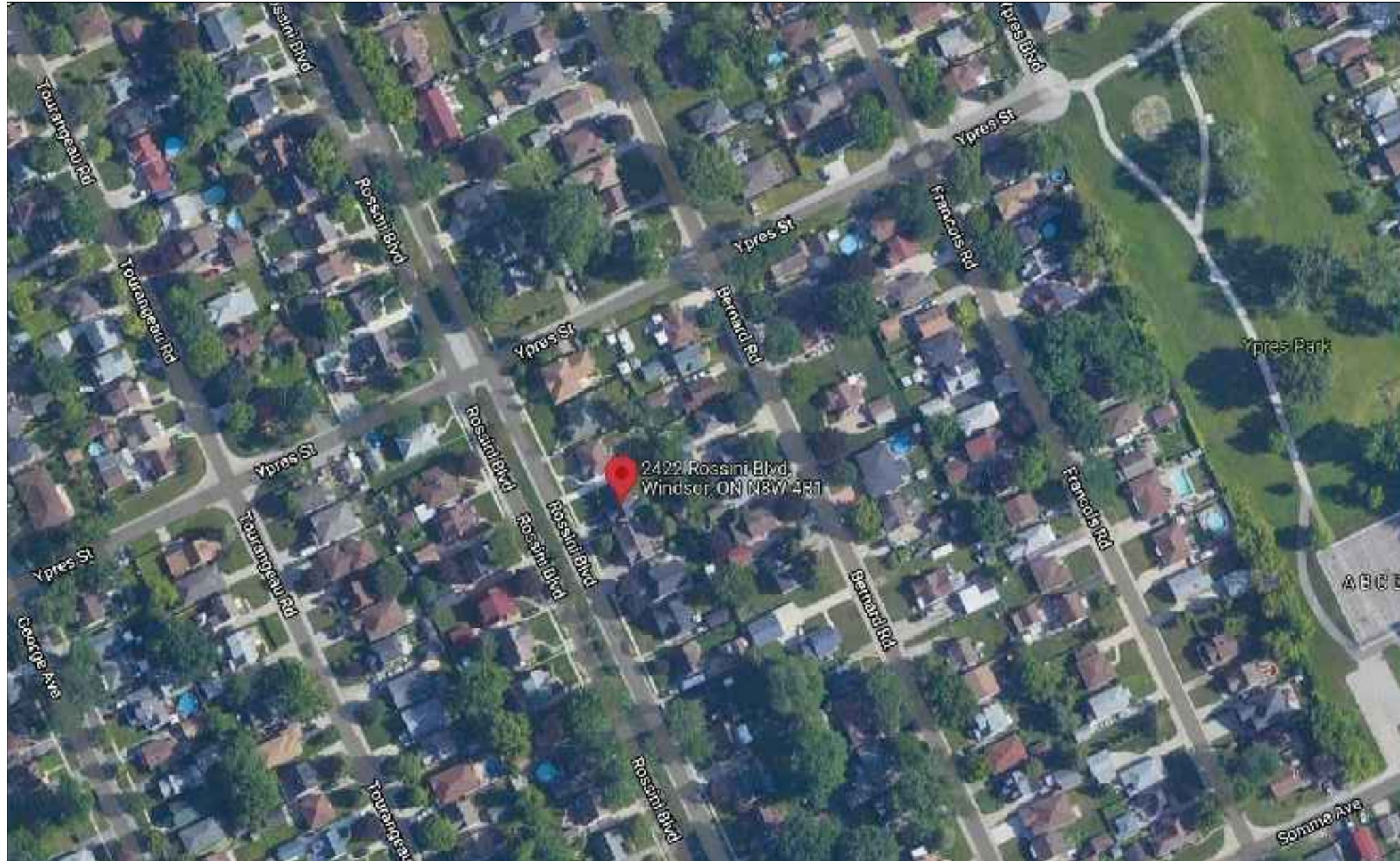
The subject lands are located at 2422 Rossini Boulevard, designated Residential on Schedule D by the City of Windsor Official Plan and zoned Residential District 1.1 (RD1.1) by Zoning By-law 8600. The applicant is requesting an amendment to Zoning By-law 8600 and will maintain the zoning from Residential District 1.1 (RD1.1) with site-specific exceptions to Section 20(1) for a Triplex Dwelling on the subject parcel.

A permit will be required for the driveway. The existing driveway approach must be a hard surface to comply with By-law 25-2010 and it must extend to the road. The additional gravel in the Right-of-Way must be restored to grass as per B.P.3.2.2. and cannot be used for parking.

In summary, we have no objection to the proposed rezoning. If you have any further questions or concerns, please contact Shannon Deehan, at sdeehan@citywindsor.ca.

Basement Alteration & Legalize an apartment to convert a duplex to a triplex

2422 ROSSINI BOULEVARD
WINDSOR, ON N1R 5S3



KEY PLAN

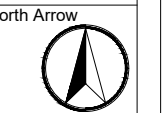
SCOPE OF WORK

- 1- Interior alterations for basement
- 2- Legalize the basement as an accessory apartment
- 3- Convert a two units building to a three units building

General Notes

- 1- Contractor to inspect site prior to the commencement of construction and report immediately to the Designer any unacceptable conditions or discrepancies from the contract documents.
- 2- Contractors and Sub-trades to place material orders in a timely fashion.
- 3- Failure to do so will be at Contractor's expense. drawings are not to be scaled, work to dimensions only.
- 4- The design is the property of: ARCHICREATION DESIGN STUDIO Inc. and cannot be used without written approval from the Designer.

Designer
Amr Serrag Eldin
T: (647)924-7611
E-mail: amr@archicreation.ca



Legends

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code

Amr Serrag Eldin
NAME SIGNATURE 45460
BCIN #

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of Division "C" of the Ontario Building Code

ARCHICREATION DESIGN STUDIO Inc.
FIRM NAME 101566
BCIN #

No.	Description	Date
03	Issued for Permit	15-11-21
02	Revision	09-11-21
01	Issued For COA	02-09-21



Project:
TRIPLEX HOUSE
2422 ROSSINI BLVD
WINDSOR ON N8W 4R1

Sheet Name
COVER SHEET

Project #	Prepared by Sherif Saker
Date JULY, 2021	Sheet
Scale NTS	AR-00

ALL NEW CONSTRUCTION TO COMPLY WITH MUNICIPAL BY-LAW AND ONTARIO BUILDING CODE (LATEST EDITION) , AS REVISED.
THE FOLLOWING STANDARDS REFERENCED IN SECTION 2.6 OF THE OBC. SHALL BE COMPLIED WITH:

- A) WOOD-CAN/CSA-086.1-M
- B) PLAIN AND REINFORCED MASONRY - CAN-3S-304M OR CSA-S304.1
- C) PLAIN, REINFORCED AND PRE-STRESSED CONCRETE - CAN/CSA-23.3-M
- D) STRUCTURAL STEEL - CAN/CSA-S-16.1M
- E) PARKING STRUCTURES-CSA-S413
- F) WELDING-CSA W 47.1OR W55.3

OWNER OR HIS GENERAL CONTRACTOR:

PLUMBING AND ELECTRICAL IN PROCEEDING WITH WORK SHOWN ON PLANS, PLUMBING , MECHANICAL AND ELECTRICAL SUBCONTRACTORS TO OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM APPROPRIATE AUTHORITIES BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL VERIFY ALL JOB DIMENSIONS, DRAWINGS , DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.DO NOT SCALE DRAWINGS.
ALL NEW ELECTRICAL SHALL BE INSTALLED AS PER ONTARIO ELECTRICAL CODE
ALL NEW PLUMBING SHALL BE INSTALLED AS PER ONTARIO PLUMBING CODE
FLAME-SPREAD RATING AND SMOKE- DEVELOPED CLASSIFICATION OF WALLS, CEILINGS & FLOORS SHALL CONFORM TO ONTARIO BUILDING CODE SECTION .3.1.12

ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY - LAWS AND CODES HAVING JURISDICTION OVER THIS PROJECT.

ALL DIMENSIONS AND INFORMATION ON THIS DRAWINGS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO START ANY WORK.

IT IS THE RESPONSIBILITY OF THE OWNER/G.C. TO ENSURE THAT THE ELEVATIONS OF PROPOSED DWELLING ARE COMPATIBLE WITH THE ELEVATION OF MUNICIPAL SERVICES.

GENERAL CONTRACTOR TO CONFIRM AND VERIFY THE SPECIFICATIONS OF FREE PROTECTION BARRIER BY LOCAL AUTHORITIES.

BATHROOM /WASHROOM MECHANICAL VENTILATION TO EXTERIOR AIR AS PER OBC .9.32.2
SHOWER / LAUNDRY MACHINE FLOOR PAN SHOWER LINER RETURN UP PAN CURB AND ALL SURROUNDING WALLS . ADHERE LINER TO DRAIN. SLOPE CEMENT BASE TO DRAIN.
SHOWER DOOR:
" 0'-2X " 0'-6OR AS PLAND , TEMPERED GLASS DOOR FRAMELESS STYLE.
PROVIDE MIN" 6. CLEAR ABOVE DOOR HARDWARE FINISH TO BE POLISHED CHROME
UNLESS NOTED OTHERWISE INSTALL STONE SURROUND AROUND SHOWER OPENING TO MATCH VANITY TOP).

STOVE EXHAUST FAN/HOOD TO EXTERIOR, AS PER OBC9.32.3.

DRYER VENT TO EXTERIOR , AS PER OBC9.32.3.

DRYER VENT TO EXHAUST DIRECTLY TO EXTERIOR AND TO BE CAPPED.

FURNACE , HOT WATER HEATER , FIREPLACE INTAKE DUCT FOR COMBUSTION AIR AS PER OBC.9.32.

U.L.C. APPROVED SMOKE ALARM AS PER OBC . 9.10.18AND 9.10.19 INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.

CARBON MONOXIDE DETECTOR W/ AN ALARM AUDIBLE THROUGHOUT THE HOUSE OR INTERCONNECTED W/ THE SMOKE ALARMS SO THAT WHEN THE CARBON MONOXIDE DETECTOR IS ACTIVATED , IT WILL ACTIVATE THE SMOKE ALARMS, AS PER OBC9.33.4.

EXISTING FURNACE MAY SERVE TWO DWELLING UNITS PROVIDED A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR.

MECHANICAL - GENERAL NOTES

- 1-MECHANICAL CONTR. TO BE RESPONSIBLE FOR ENSURING ALL ENCLOSED ROOMS & BACK AREAS HAVE ADEQUATE AIR SUPPLY & RETURN VENTILATION.
- 2-SPRINKLER CONTR. TO BE RESPONSIBLE FOR RELOCATING ALL EXISTING SPRINKLER HEADS INTERFERING W/ NEW LIGHT, MECHANICAL DUCT & DRYWALL BULKHEAD LOCATIONS.
- 3-SPRINKLER CONTR. TO PROVIDE SPRINKLERS IN NEW T-BAR (DROPPED CEILING CONDITION) OR GWB AS REQUIRED TO MEET ALL CODE REQUIREMENTS.
- 4-ALL WORK SHALL CONFIRM TO C.S.A., NATIONAL BUILDING CODE AND LOCAL MUNICIPAL AND PROVINCIAL LAWS AND REGULATIONS.

ELECTRICAL - GENERAL NOTES

- 1-ALL ELECTRICAL MATERIAL AND HARDWARE AS SPECIFIED ON DRAWINGS ARE TO BE SUPPLIED AND INSTALLED BY QUALIFIED ELECTRICAL CONTRACTOR.
- 2-REMOVE ALL REDUNDANT EXISTING WIRING, DISCONNECT AT SOURCE- (i.e.ELECTRICAL PANEL OR JUNCTION BOX, IF NECESSARY).
- 3-ALL WORK SHALL CONFORM TO APPLICABLE CODES IN THE JURISDICTION WHERE THE WORK IS LOCATED.
- 4-ELECTRICAL CONTR. TO BE RESPONSIBLE FOR CHANNELING, CORING & PATCHING EXISTING FLOOR FOR ALL FLOOR OUTLETS AS INDICATED ON PLAN.
- 5-CONTRACTOR TO REUSE EXISTING FLOOR OUTLETS IF THEY FALL ADJACENT TO NEW OUTLETS SHOWN ON PLAN. (REWIRE TO NEW POWER REQUIREMENTS).
- 6-OUTLETS NOT BEING USED TO BE DISCONNECTED AND CAPPED OFF.

STRUCTURAL NOTES:

STEEL OBC.9.3.3.

ALL STRUCTURAL STEEL SHALL CONFORM WITH OBC.9.3.3. &9.17.3.
STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G50-21 GRADE 300W.
HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CAN/CSA-G40-21GRADE 350 CLASS "H"

WOOD FRAMING OBC.9.23.

WORK TO CONFORM WITH CAN3-086-M84 & OBC.9.23
ALL LUMBER SHALL COMPLY WITH OBC.9.3.2. & TO BE GRADE MARKED TO CONFORM TO CSA STANDARD 0141-1970.
PROVIDE 1- 2X6 KING POSTS AND 1-2X6 JACK POST FOR LINTELS SPAN LESS THAN 5 FEET.
PROVIDE 2- 2X6 KING POSTS AND 2-2X6 JACK POST FOR LINTELS LONGER THAN 5 FEET.
PROVIDE 1"X3" CROSS BRIDGING ON 6'-11" O.C. FASTEN AT EACH END TO SILL OR HEADER.

HOLES DRILLED IN FRAMING MEMBERS:
TO BE MAX. 1/4 THE DEPTH OF THE MEMBER SIZE & NOT LESS THAN 50mm FROM THE EDGES. ALLOWABLE REDUCTION OF WOOD MEMBERS NET DIMENSION BY NOTCHING OR DRILLING TO BE: LOAD BEARING WALL TO 1/3 DEPTH OF STUD, NON-LOAD BEARING WALL MIN. 38mm OF STUD TO REMAIN, UNLESS PROPERLY REINFORCED.

TOP PLATE MIN. 38mm TO REMAIN. REUSED MEMBERS NOT ALLOWED, UNLESS PART OF TRUSS DESIGN.

OTHER NOTES:

GYPSUM BOARD
WORK TO CONFORM TO CAN/CSA A-82.31M 91EXCEPT WHERE SPECIFIED OTHERWISE.

THERMAL INSULATION
ALL THERMAL INSULATION MATERIALS TO CONFORM TO OBC. 9.25.2.2.ALL WORK TO CONFORM TO OBC.9.25.2.

ROOFING
ALL ROOFING WORK & MATERIALS TO CONFORM TO OBC.9.26.

MILLWORK
CONFORM TO MILLWORK STANDARDS OF THE ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC.1991)

NATURAL VENTILATION

EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN L/300 OF THE INSULATED CEILING AREA

INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA.

ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED WITH MIN. 25% AT TOP OF THE SPACE AND 25% AT BOTTOM OF THE SPACE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS

UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 0.1M2 OF VENTILATION FOR EACH 50M2

MINIMUM NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE:
BATHROOMS 0.09 M2
OTHER ROOMS 0.28 M2
UNFINISHED BASEMENT 0.2% OF FLOOR AREA

INSULATION & WEATHERPROOFING

CEILING WITH ATTIC R60
CEILING WITHOUT ATTIC R31
WALLS ABOVE GRADE R19+5
FOUNDATION WALL R20Ci
EXPOSED FLOOR R31
SLABS ALL R10
(BELOW GRADE Or HEATED)

INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 0.15MM POLY IS SUFFICIENT FOR FIBREGLOSS TYPE INSULATIONS

DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT
CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING

WEATHER STRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR

EXTERIOR WALLS, CEILINGS AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOUR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR

HEIGHT OVER STAIRS OBC.9.8.2.2.

- (1) THE CLEAR HEIGHT OVER STAIRS SHALL BE,
 - (A) MEASURED VERTICALLY, OVER THE CLEAR WIDTH OF THE STAIR, FROM A STRAIGHT-LINE TANGENT TO THE TREAD AND LANDING NOSINGS TO THE LOWEST POINT ABOVE, AND
 - (B) NOT LESS THAN,
 - (I) 1 950 MM FOR STAIRS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT, AND
 - (II) 2 050 MM FOR STAIRS NOT SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT.

CEILING HEIGHTS OF ROOMS OR SPACES OBC.9.5.3.1

- (1) THE CEILING HEIGHTS OF ROOMS OR SPACES IN RESIDENTIAL OCCUPANCIES AND LIVE/WORK UNITS SHALL CONFORM TO TABLE 9.5.3.1.
- (2) FOR BASEMENT SPACES UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 1 950 MM

General Notes

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- 3-Failure to do so will be at Contractor's expense. drawings are not to be scaled, work to dimensions only.
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Designer: Amr Serrag Eldin
T: (647)924-7611
E-mail : amr@archicreation.ca
North Arrow

Legends

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code

Amr Serrag Eldin
NAME SIGNATURE 45460
BCIN #

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of Division "C" of the Ontario Building Code

ARCHICREATION DESIGN STUDIO Inc. 101566
FIRM NAME BCIN #

No.	Description	Date
03	Issued for Permit	15-11-21
02	Revision	09-11-21
01	Issued For COA	02-09-21

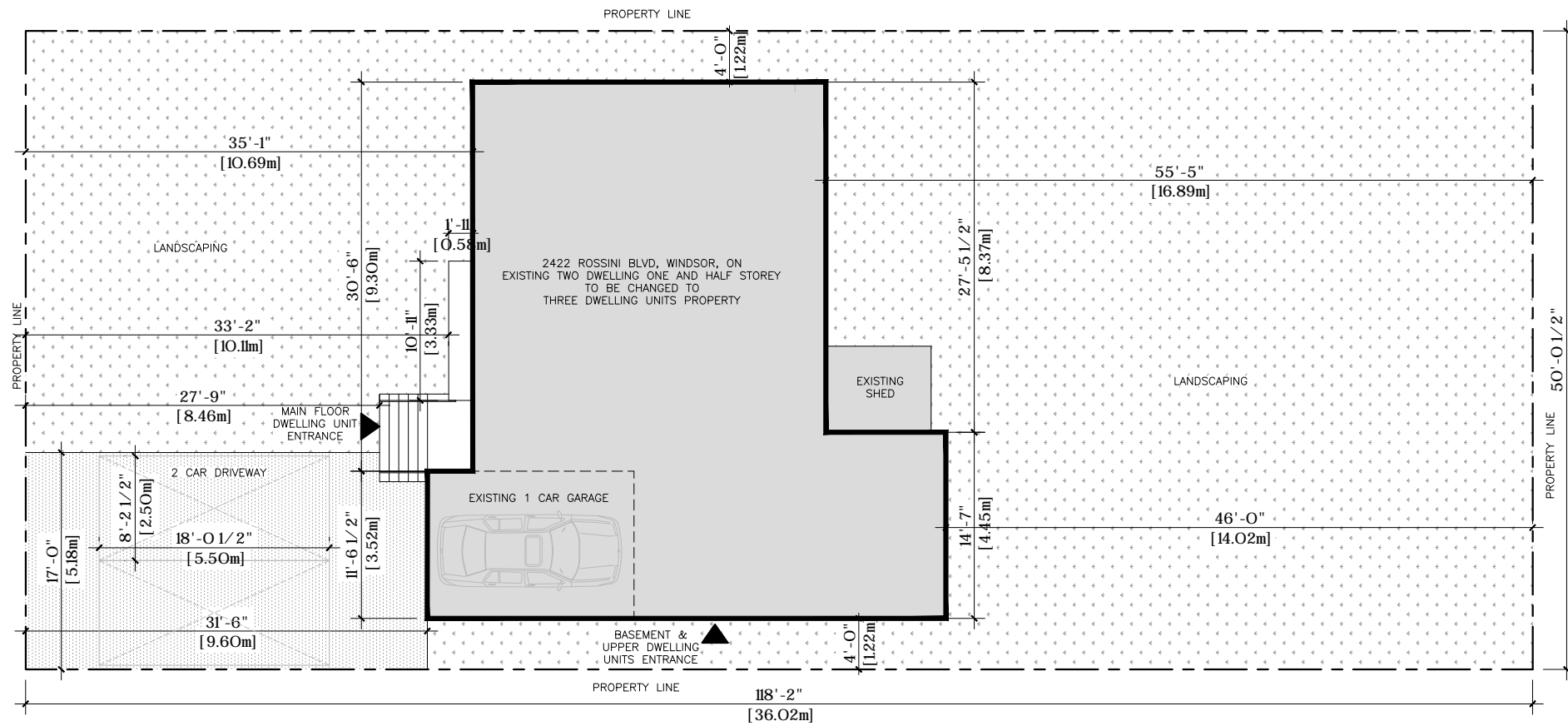


Project:
TRIPLEX HOUSE
2422 ROSSINI BLVD
WINDSOR ON N8W 4R1

Sheet Name
General Notes

Project #	Prepared by Sherif Saker
Date JULY, 2021	Sheet
Scale NTS	AR-01

ROSSINI BLVD



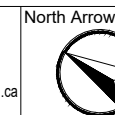
NOTE: NO CHANGE WILL HAPPEN FOR THE EXISTING HOUSE FOOT PRINT OR HEIGHT

1 SITE LAYOUT

General Notes

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Project:
TRIPLEX HOUSE
2422 ROSSINI BLVD
WINDSOR ON N8W 4R1

Sheet Name
SITE PLAN

Project #	Prepared by Sherif Saker
Date JULY, 2021	Sheet
Scale 1 : 150	AR-02

CONSTRUCTION SPECS:

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO PLANS & SPECS AND CONFORM TO THE ONTARIO BUILDING CODE AS WELL AS ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION.

1 ROOF CONSTRUCTION

NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL, 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES. ALL ROOFING WORK TO CONFORM TO OBC.9.26.

2 RSI 8.81 (R50) ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL.

3 VINYL SIDING OR SIMILAR INSTALLED AS PER MANUFACTURER'S SPECS. (PROVIDE SAMPLES OF FINISH AND COLOR TO OWNER FOR FINAL APPROVAL)

4 INTERIOR STUD PARTITIONS

FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2/2"x4") TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5 INTERIOR BEARING WALLS & SUPPORTS 1/2" THICK G.W.B. EACH SIDE OF 2"x6" WOOD STUDS @ 16" O.C. FIN. W/ PAINT. ALL WALLS (LOAD BEARING & NON-LOAD BEARING) SUPPORTS TO CONFORM WITH OBC SECTION 9.23.9.8

6 DRYWALL INSTALLATION ALL DRYWALL TO BE INSTALLED WITH BEVELED EDGE JOINTS FACING EACH OTHER ONLY ONE HORIZONTAL JOINT WILL BE ALLOWED. IF AN ADDITIONAL HORIZONTAL JOINT IS REQUIRED DUE TO WALL HEIGHTS, THE JOINTS MUST BE PLACED AT THE BOTTOM OF THE WALL IN THE BASEBOARD AREA. USE 4'-6" WIDE BOARDS FOR 9'-0" HIGH CEILINGS

7 SUBFLOOR, JOIST STRAPPING AND BRIDGING -16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (* SEE OBC 9.30.6. *) 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (-* SEE OBC 9.23.9.4 *) ALL JOISTS TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

8 BUILT UP COLUMNS: BUILT-UP WOOD COLUMN SHOULD BE BOLTED TOGETHER W/ NOT LESS THAN 9.52mm DIA. BOLTS, MAX. 450mm O.C. OR NAILED TOGETHER (BOTH SIDES) WITH NOT LESS THAN 76 mm NAILS, MAX. 300mm O.C. ALL TO CONFORM WITH OBC.9.17.4.2.

9 FLASHING: A--CONCEALED 0.36mm COPPER OR ALUMINUM OR APPROVED AS PER OBC.9.20.13. FASTENED W/ NON-CORROSIVE DEVICES AND TO EXTEND FROM FRONT EDGE OF BRICK, BACK TO AND UP THE FACE OF THE SHEATHING 150mm MIN. FLASHING JOINTS TO BE WATER TIGHT.

B--PROVIDE COPPER OR APPROVED FLASHING IN ALL THE FOLLOWING LOCATIONS (SUCH AS BUT NOT LIMITED) TO : BENEAT JOINTED MASONRY SILLS, OVER HEADS OF WINDOWS AND DOORS, SET FURTHER THAN 1/4 THE EAVES OVERHANG BELOW THE SOFFIT AROUND CHIMNEYS, OR ANY ELEMENTS CROSSING ROOF SURFACES THAT ARE NOT SUPPLIED WITH MANUFACTURERS FLASHING, AT INTERSECTIONS OF ROOF SURFACES WITH EXTERIOR WALLS AT ALL ROOF VALLEYS AS PER O.B.C. 9.26.4. & 9.28.4

C--METAL FLASHING PROVIDE STEP PREFINISHED METAL THRUWALL FLASHING @ ROOF INTERSECTIONS AS REQUIRED PER O.B.C. 9.28.4

10 SOFFIT PRE-FINISHES VENTED ALUMINUM SOFFIT

11 LINTELS FOR NEW LINTELS, ADD VERTICAL STUDS ON THE EDGES OF THE OPENING. STEEL LINTELS SUPPORTING BRICK VENEER OR STONE TO CONFORM TO OBC.9.20.5. WOOD LINTELS TO CONFORM TO OBC.9.23.12.3

12 AIR AND VAPOR BARRIER: THERMALLY INSULATED WALL, CEILING AND FLOOR ASSEMBLIES SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO LEAKAGE OF AIR FROM THE INTERIOR OF THE BUILDING INTO WALL. FLOOR OR ROOF SPACES. AIR BARRIER MATERIALS BARRIER MATERIALS SHALL CONFORM TO OBC. 9.25.3.4. & INSULATED AS PER OBC.9.25.5. PROVIDE A CONTINUOUS 6 MIL. POLY. AIR/VAPOR BARRIER ON THE WARM SIDE OF THE INSULATION. ALL JOINTS & INTERSECTION SEALED WITH ACOUSTIC TYPE SEALANT.

TYVEK "AIR BARRIER": TYVEK AIR BARRIER LAPPED AND SEALED (CAULKED), IMPERMEABLE TO AIR FLOW & CONTINUOUS OVER ENTIRE BUILDING ENVELOPE (CONTINUOUS AT ALL CORNERS, PARTITION WALLS, FLOORS, CEILING/WALL JUNCTIONS). ALL AS PER OBC.9.23.3.4. & OBC.9.25.4. & 9.25.5. SLOPE GRADE AWAY FROM BUILDING FACE & PROVIDE SEMI-SOLID BLOCK COURSE AT OR BELOW GRADE LEVEL

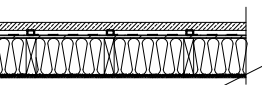
13 COLLAR TIES NEW COLLAR TIES TO CONFORM TO OBC.9.23.13.7. & 9.23.13.8.

14 GUARDS (OBC.9.8.8.) RAIL AT EXT. LANDING 6' ABOVE GRADE =3'-6" RAIL AT EXT. LANDING =2'-11" WOOD PICKETS MAX 4" BETWEEN GUARD RAIL TO BE NON-CLIMBABLE, CONSTRUCTED TO SB-7 OF SUPPLEMENTARY GUIDELINES OF O.B.C. MAX. BETWEEN PICKETS =0'-4" NO MEMBER OR ATTACHMENT BETWEEN 4" & 2'-11" HIGH SHALL FACILITATE CLIMBING FINISHED RAILING ON PICKETS SPACED. ALL WORK TO CONFORM TO OBC.9.8.8.

WALL TYPES:

W1 VINYL SIDING OR STUCCO

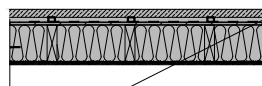
- 1 1/2" THICK VINYL SIDING ON OR STUCCO
- 1 1/2" THICK PURLINS @ 12" O.C.
- COMPLETE WITH 1/2" CODE APPROVED RAIN SCREEN
- WEATHER RESISTANT BARRIER (BUILDING PAPER)
- 1/2" EXTERIOR SHEATHING,
- 2X6 WOOD STUDS FRAMING AT 16" O.C.
- R20 BATT INSULATION
- 1/2" EXISTING DRYWALL ON 6 MIL POLY VAPOUR BARRIER



SEE CONSTRUCTION SPECS # **3**
SEE CONSTRUCTION SPECS # **6**
SEE CONSTRUCTION SPECS # **12**

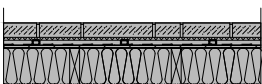
W2 EXISTING WALLS (SIDING OR STUCCO)

- EX. VINYL SIDING ON OR STUCCO
- EX. BUILDING PAPER
- EX. 3/8" EXTERIOR SHEATHING,
- EX. 2X6 WOOD STUDS FRAMING AT 16" O.C.
- EX. R20 BATT INSULATION
- EXISTING 1/2" DRYWALL ON 6 MIL POLY VAPOUR BARRIER



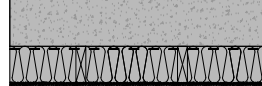
W3 EXISTING WALLS (BRICK VENEER)

- EX. BRICK VENEER/STONE ON
- EX. 3/8" EXTERIOR SHEATHING,
- EX. 2x6" WOOD STUDS FRAMING C/W
- EX. R:20 BATT INSULATION
- EX. 6 MIL POLY VAPOR BARRIER
- EX. 1/2" DRYWALL



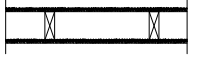
W4 EXISTING FOUNDATION WALLS

- EX. DAMPPROOFING
- EX. FND WALL
- EX. BATT INSULATION MIN 24" BELOW FINISH GRADE
- EX. 6 MIL POLY VAPOR BARRIER
- EX. 1/2" DRYWALL



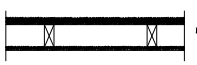
P1 EXISTING & NEW INTERIOR WALL

- 1/2" (13mm) GYPSUM WALL BOARD ON BOTH SIDES OF
- 2X4 or 2x6 WOOD STUD FRAMING @ 16 O.C
- PARTITION FROM FIN. FLOOR TO U/S OF CEILING
- NOTE : USE ATTENUATION BATT FOR WASHROOMS



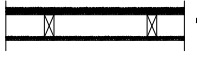
P2 EXISTING & NEW INTERIOR WALL (FIRE RATED 45 MIN - W1b OR ANY ALTERNATIVE)

- 1/2" (13mm) GYPSUM WALL BOARD ON BOTH SIDES OF
- 2X4 WOOD STUD FRAMING @ 16 O.C
- 89 MM ABSORPTIVE MATERIAL
- 1/2" (13mm) TYPE X GYPSUM WALL BOARD
- PARTITION FROM FIN. FLOOR TO U/S OF DECK




P3 EXISTING & NEW INTERIOR WALL (FIRE RATED 30 MIN - W1c OR ANY ALTERNATIVE)

- 1/2" (13mm) GYPSUM WALL BOARD ON BOTH SIDES OF
- 2X4 WOOD STUD FRAMING @ 16 O.C
- 89 MM ABSORPTIVE MATERIAL
- PARTITION FROM FIN. FLOOR TO U/S OF DECK



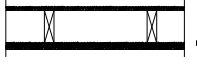
C1 FLOORS & CEILINGS (FIRE RATED 45 MIN - F4c / F4d OR ANY ALTERNATIVE)

- SUBFLOOR OF 15.5 MM PLYWOOD, OSB OR WAFERBOARD OR 17 MM TONGUE AND GROOVE LUMBER
- ON WOOD JOIST SPACED NOT MORE THAN 610 MM OC
- ABSORPTIVE MATERIAL IN CAVITY
- 1 LAYER 15.9 MM TYPE X GYPSUM BOARD ON CEILING SIDE



C2 FLOORS & CEILINGS (FIRE RATED 30 MIN - F5a OR F5b OR ANY ALTERNATIVE)

- SUBFLOOR OF 15.5 MM PLYWOOD, OSB OR WAFERBOARD OR 17 MM TONGUE AND GROOVE LUMBER
- ON WOOD JOIST SPACED NOT MORE THAN 610 MM OC
- NO ABSORPTIVE MATERIAL IN CAVITY
- STEEL FURRING CHANNELS SPACED 406 MM OR 610 MM
- 1 LAYER 15.9 MM TYPE X GYPSUM BOARD ON CEILING SIDE



General Notes	
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Designer Amr Serrag Eldin T: (647)924-7611 E-mail : amr@archicreation.ca	North Arrow
Legends	

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REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF DIVISION "C" OF THE ONTARIO BUILDING CODE

Amr Serrag Eldin	SIGNATURE	45460
NAME		BCIN #

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF DIVISION "C" OF THE ONTARIO BUILDING CODE

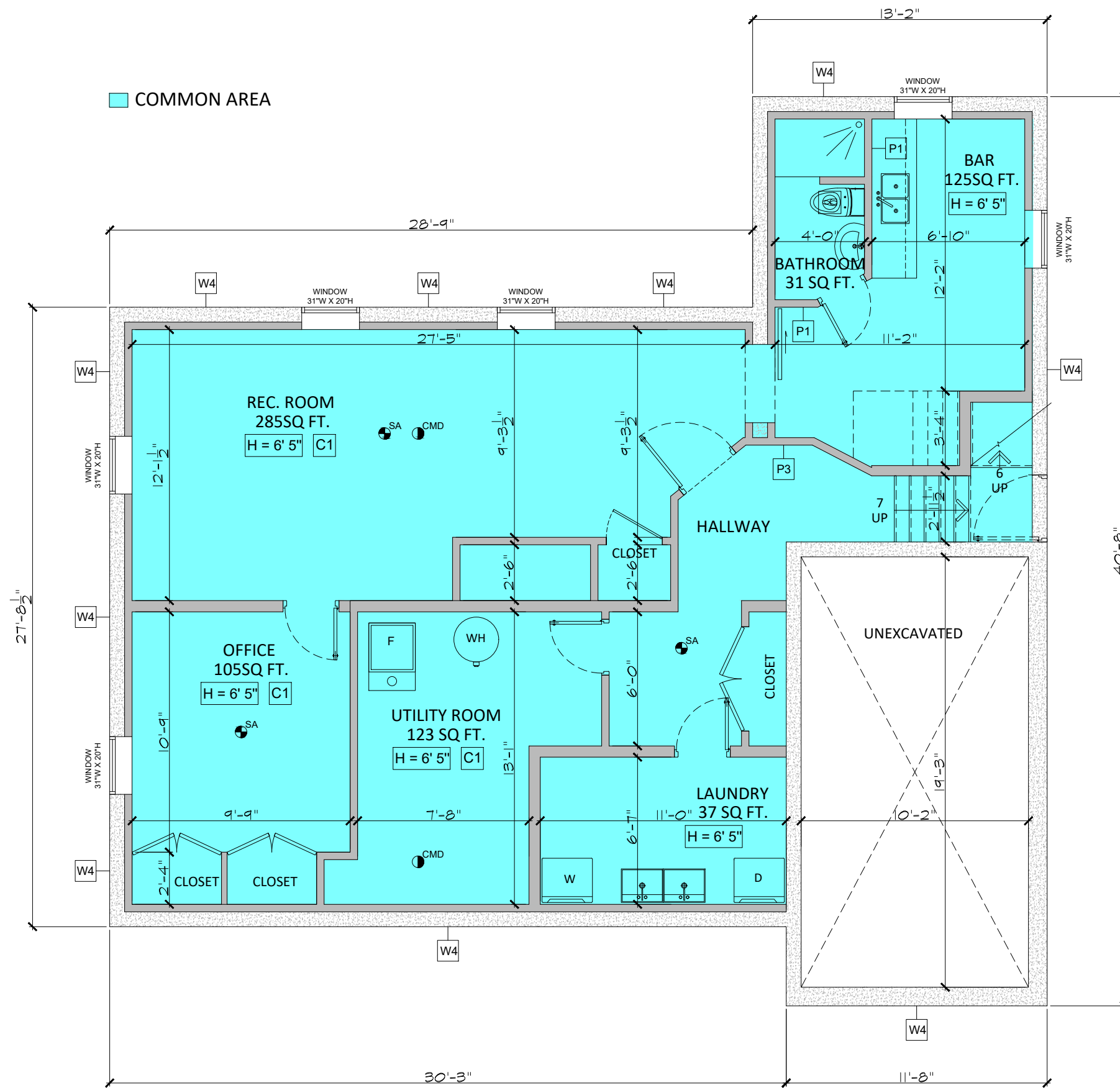
ARCHICREATION DESIGN STUDIO Inc.	101566
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01	Issued For COA	02-09-21

Project: **TRIPLEX HOUSE**
2422 ROSSINI BLVD
WINDSOR ON N8W 4R1

Sheet Name
Construction Specifications

Project #	Prepared by Sherif Saker
Date JULY, 2021	Sheet
Scale NTS	AR-03



1 EXISTING BASEMENT FLOOR PLAN

General Notes

- 1-Contractor to inspect site prior to the commencement of construction and report immediately to the Designer any unacceptable conditions or discrepancies from the contract documents.
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E-mail: amr@archicreation.ca

North Arrow

Legends

	EXISTING WALLS TO REMAIN

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Amr Serrag Eldin
NAME: Amr Serrag Eldin SIGNATURE: [Signature] 45460 BCIN #

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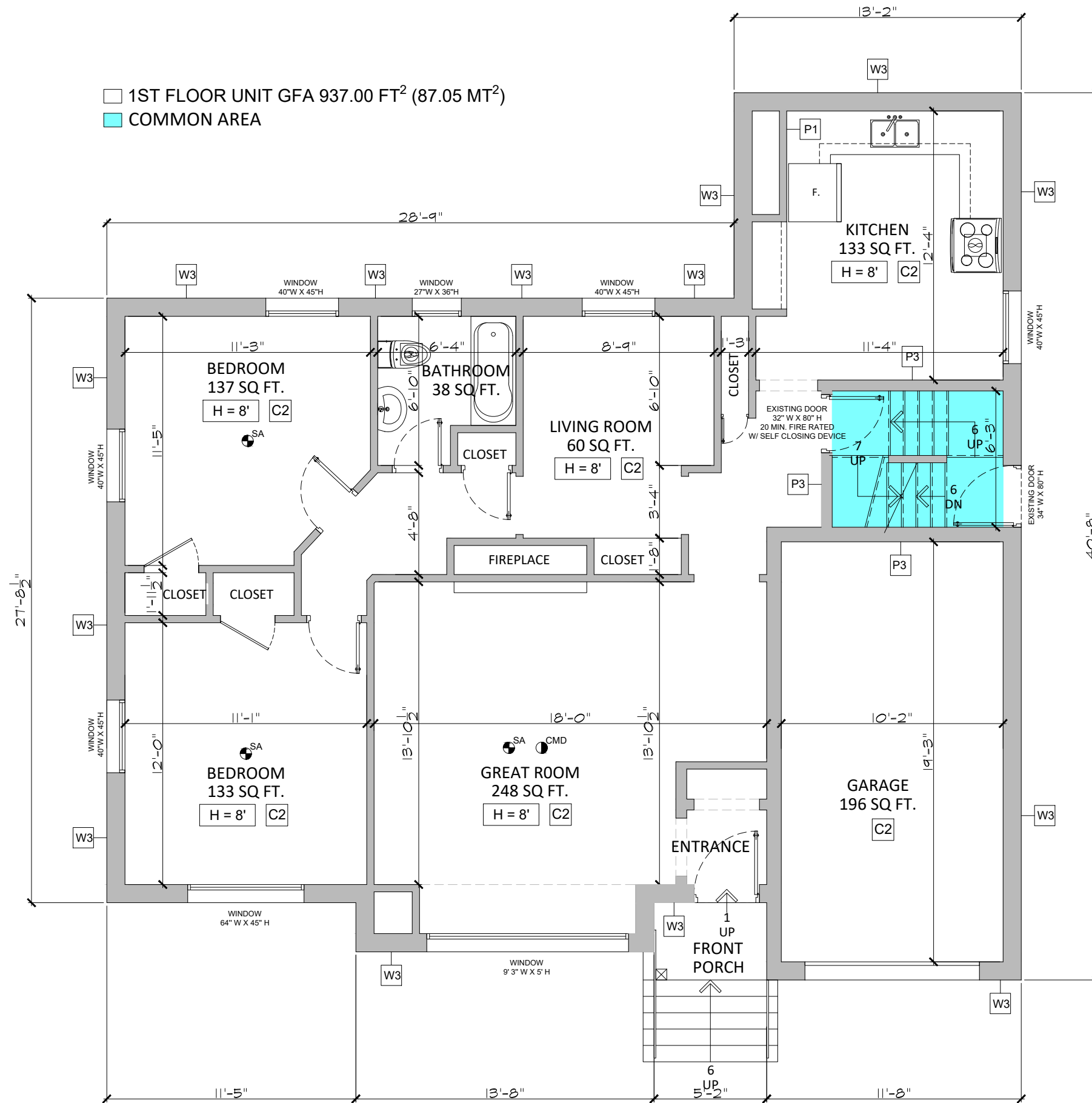


Project:
TRIPLEX HOUSE
2422 ROSSINI BLVD
WINDSOR ON N8W 4R1

Sheet Name: EXISTING BASEMENT FLOOR PLAN

Project #	Prepared by
Date: JULY, 2021	Sherif Saker
Scale: 3/16"=1'0"	Sheet: AR-04

1ST FLOOR UNIT GFA 937.00 FT² (87.05 MT²)
 COMMON AREA



1 EXISTING FIRST FLOOR PLAN

General Notes

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 T: (647)924-7611
 E-mail: amr@archicreation.ca
 North Arrow

Legends

	EXISTING WALLS TO REMAIN

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 NAME SIGNATURE 45460 BCIN #

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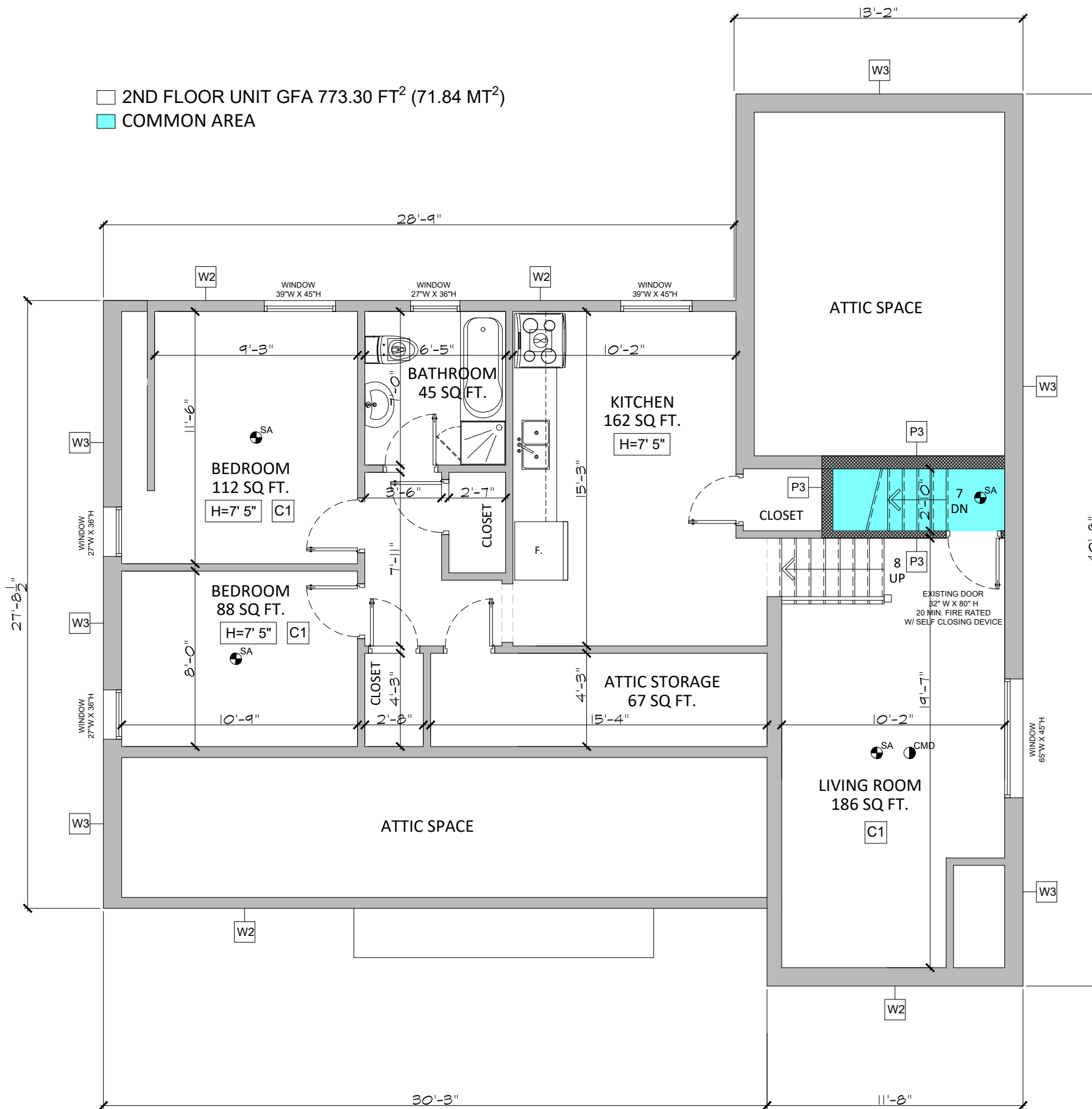


Project:
TRIPLEX HOUSE
 2422 ROSSINI BLVD
 WINDSOR ON N8W 4R1

Sheet Name: EXISTING FIRST FLOOR PLAN

Project #	Prepared by Sheriff Saker
Date: JULY, 2021	Sheet
Scale: 3/16"=1'0"	AR-05

2ND FLOOR UNIT GFA 773.30 FT² (71.84 MT²)
 COMMON AREA

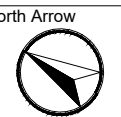


1 EXISTING SECOND FLOOR PLAN

General Notes

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Designer
 Amr Serrag Eldin
 T: (647)924-7611
 E-mail : amr@archicreation.ca



Legends

EXISTING WALLS TO REMAIN

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Amr Serrag Eldin
 NAME SIGNATURE 45460 BCIN #

REGISTRATION INFORMATION
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ARCHICREATION DESIGN STUDIO Inc.
 FIRM NAME 101566 BCIN #

No.	Description	Date
03	Issued for Permit	15-11-21
02	Revision	09-11-21
01	Issued For COA	02-09-21



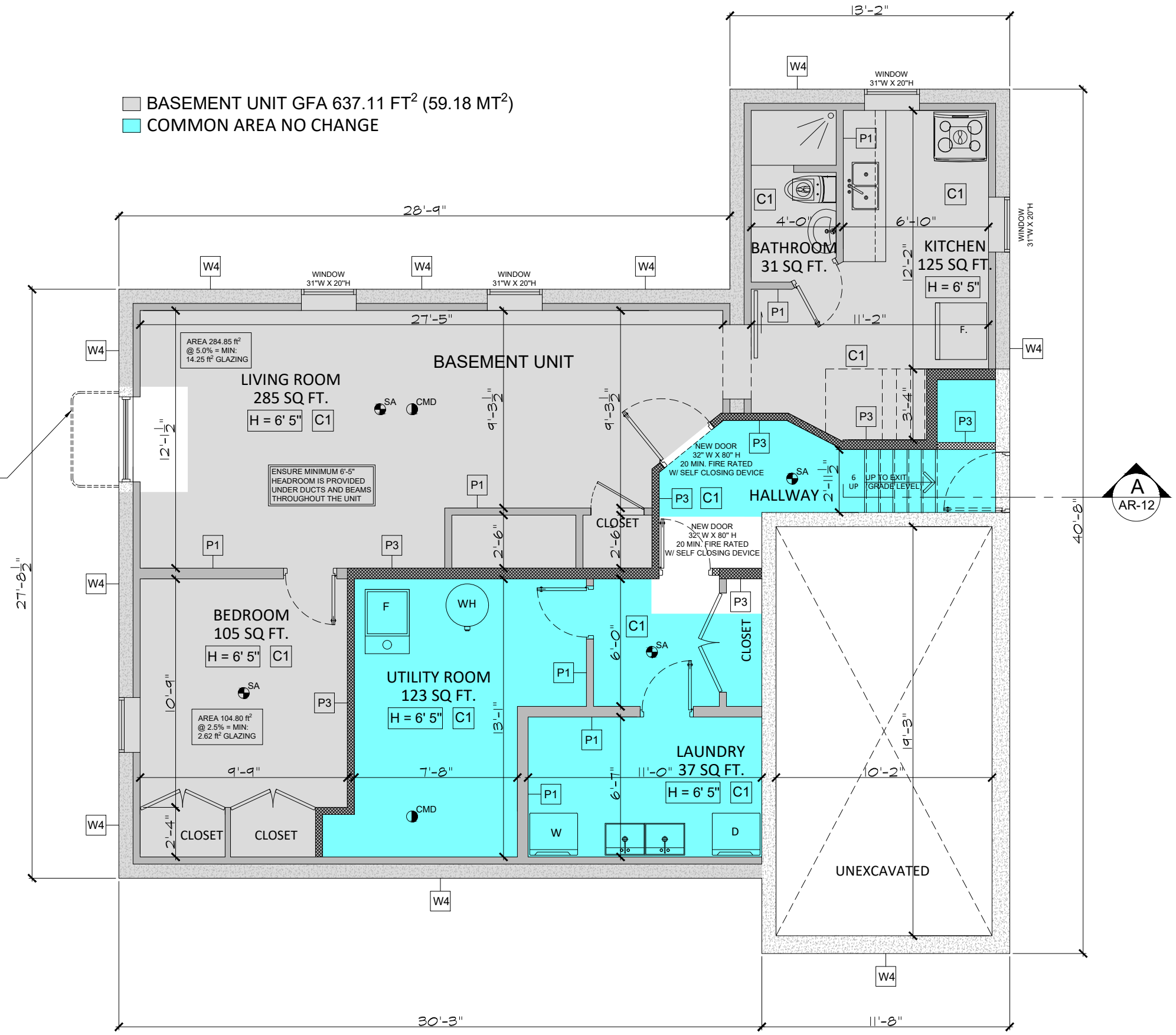
Project:
TRIPLEX HOUSE
 2422 ROSSINI BLVD
 WINDSOR ON N8W 4R1

Sheet Name
 EXISTING SECOND FLOOR PLAN

Project #	Prepared by Sherif Saker
Date JULY, 2021	Sheet
Scale 3/16"=1'0"	AR-06

BASEMENT UNIT GFA 637.11 FT² (59.18 MT²)
 COMMON AREA NO CHANGE

SAW CUT OPENING FOR
 NEW SLIDING EGRESS WINDOW 42"W x 32"H
 REPLACING EXISTING WINDOW 31"W x 20"H
 CONFORMING TO OBC 9.9.9
 LINTEL 2(2"x6")
 L-100 x 100 x 6 mm
 NEW WINDOW WELL ONLY IF REQUIRED
 INSIDE SILL HEIGHT NOT MORE THAN 36"



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Designer: Amr Serrag Eldin
 T: (647)924-7611
 E-mail: amr@archicreation.ca
 North Arrow

Legends

	EXISTING WALLS TO REMAIN
	EX. AREA WITHOUT CHANGES
	SHARED AREAS
	NEW WALLS
	FIRE SEPARATION WALLS
	SMOKE ALARM
	CO DETECTOR
	VENTILATION

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 2422 ROSSINI BLVD
 WINDSOR ON N8W 4R1

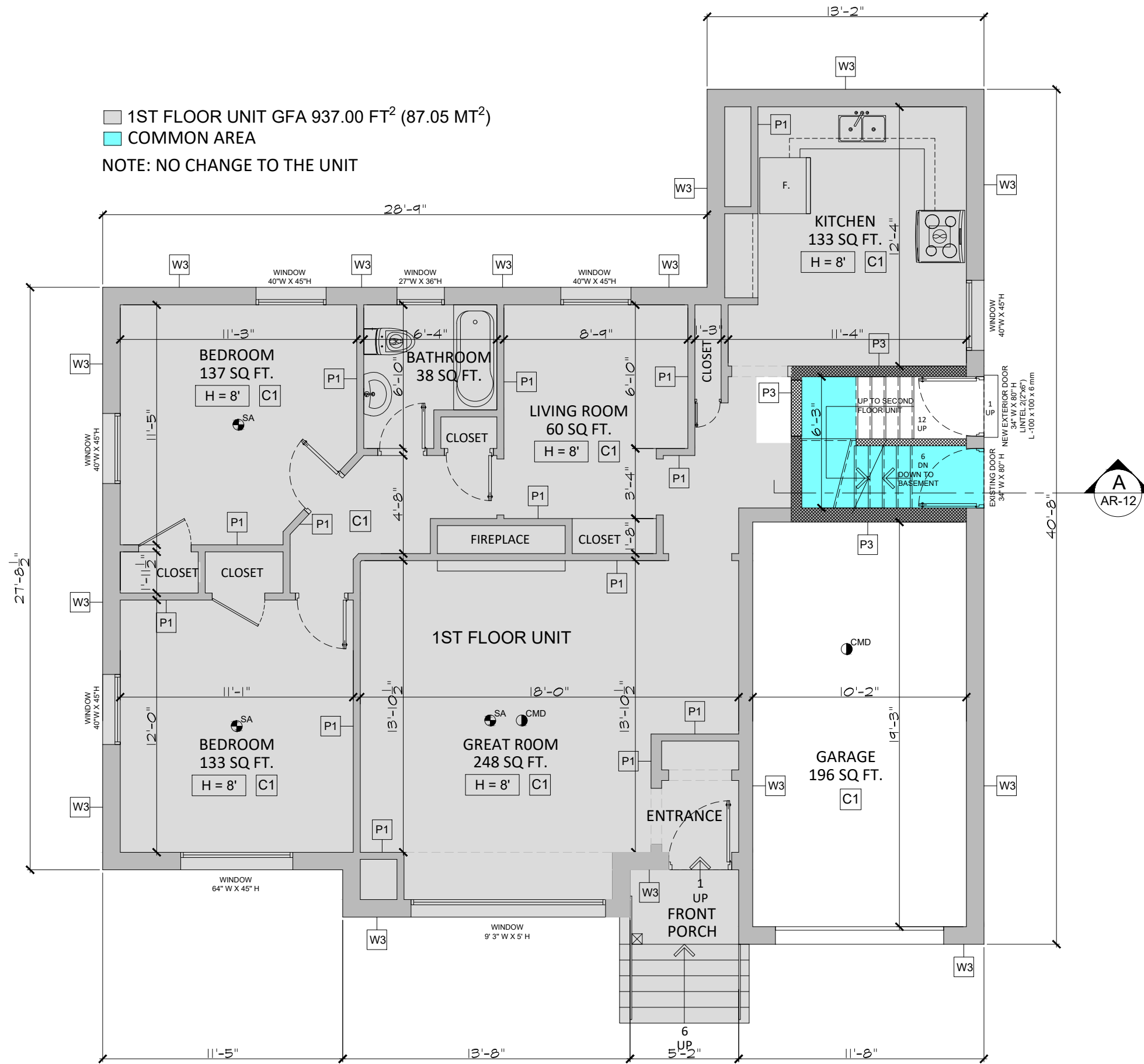
Sheet Name:
PROPOSED BASEMENT FLOOR PLAN

Project #	Prepared by
Date	Sherif Saker
Scale	Sheet
3/16"=1'0"	AR-07

1 PROPOSED BASEMENT FLOOR PLAN

1ST FLOOR UNIT GFA 937.00 FT² (87.05 MT²)
 COMMON AREA

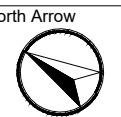
NOTE: NO CHANGE TO THE UNIT



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Legends

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	SHARED AREAS
	NEW WALLS
	FIRE SEPARATION WALLS
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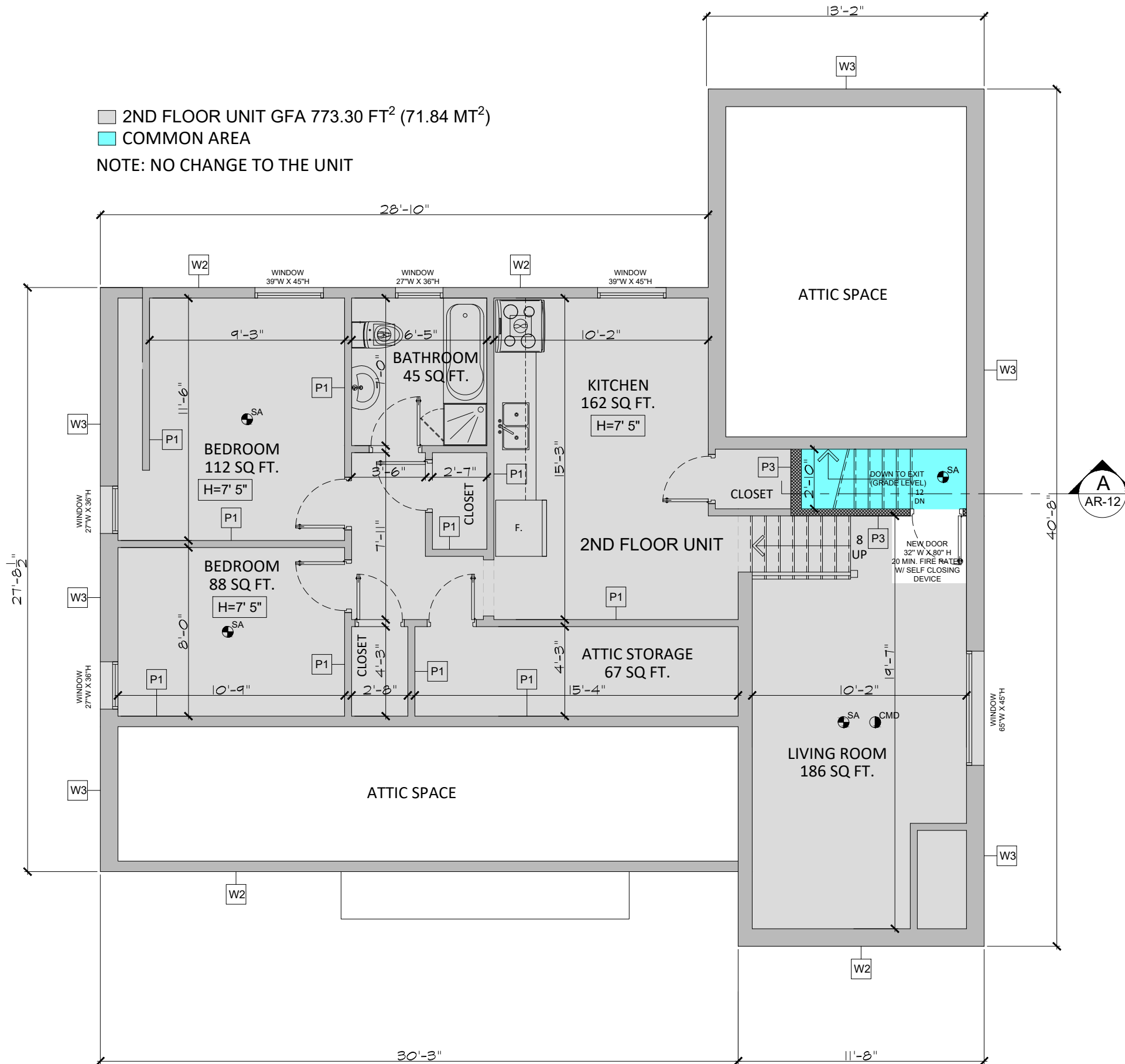
Project:
TRIPLEX HOUSE
 2422 ROSSINI BLVD
 WINDSOR ON N8W 4R1

Sheet Name:
 PROPOSED FIRST FLOOR PLAN

Project #	Prepared by
Date	Sherif Saker
Scale	Sheet
3/16"=1'0"	AR-08

1 PROPOSED FIRST FLOOR PLAN

2ND FLOOR UNIT GFA 773.30 FT² (71.84 MT²)
 COMMON AREA
 NOTE: NO CHANGE TO THE UNIT



1 PROPOSED SECOND FLOOR PLAN

General Notes

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Designer
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 T: (647)924-7611
 E-mail: amr@archicreation.ca

North Arrow

Legends

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	EX. AREA WITHOUT CHANGES
	SHARED AREAS
	NEW WALLS
	FIRE SEPARATION WALLS
	SMOKE ALARM
	CO DETECTOR
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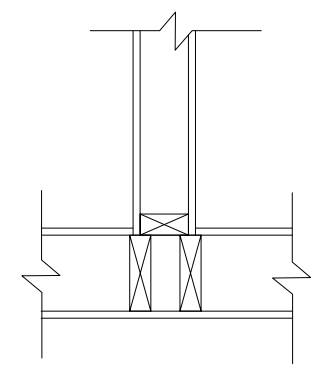
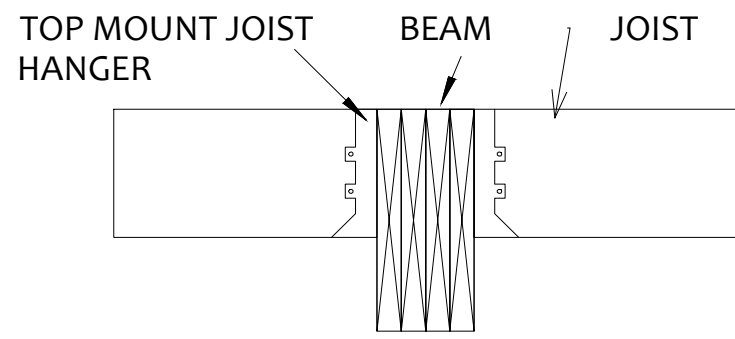
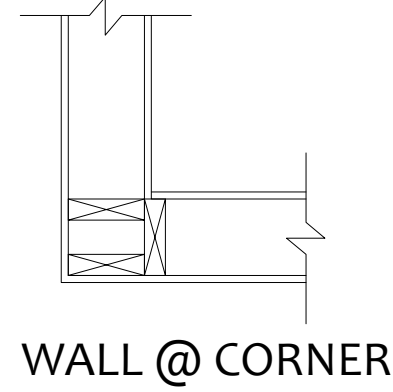
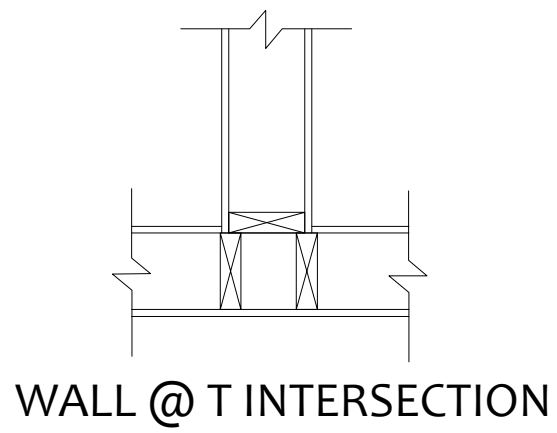
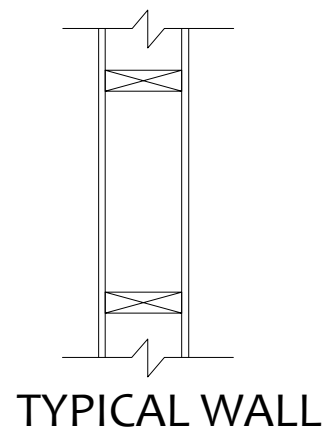
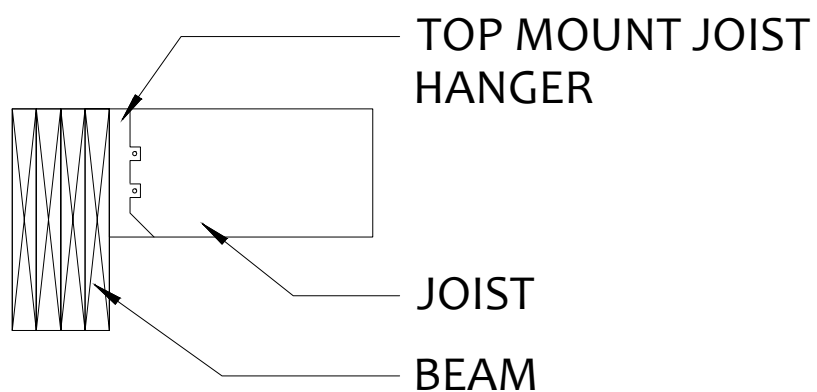
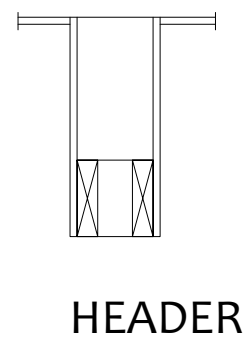
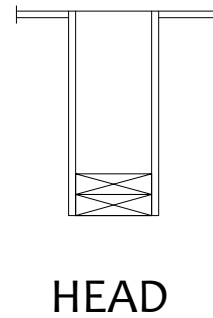
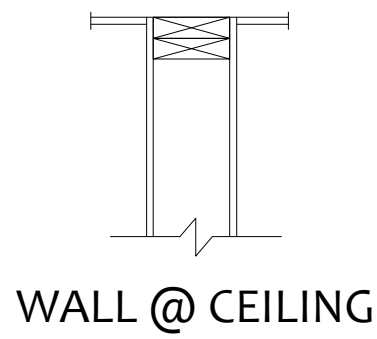
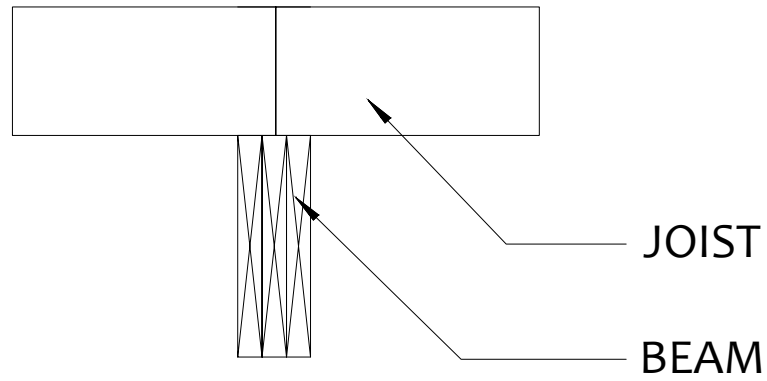
No.	Description	Date
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Project:
 TRIPLEX HOUSE
 2422 ROSSINI BLVD
 WINDSOR ON N8W 4R1

Sheet Name
 PROPOSED SECOND FLOOR PLAN

Project #	Prepared by
Date	Sherif Saker
Scale	Sheet
3/16"=1'0"	AR-09



WALL @ T INTERSECTION
(2X4 & 2X6)

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Designer: North Arrow
Amr Serrag Eldin
T: (647)924-7611
E-mail: amr@archicreation.ca

Legends

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Amr Serrag Eldin
NAME: SIGNATURE: 45460
BCIN #

REGISTRATION INFORMATION
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ARCHICREATION DESIGN STUDIO Inc.
FIRM NAME: 101566
BCIN #

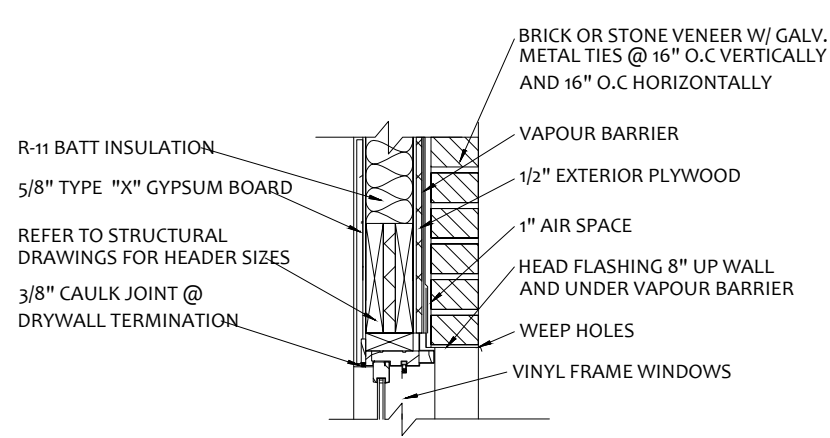
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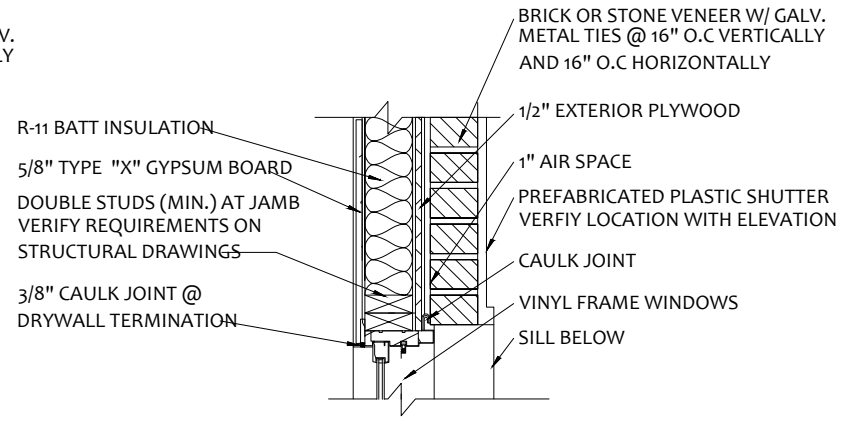
Project:
TRIPLEX HOUSE
2422 ROSSINI BLVD
WINDSOR ON N8W 4R1

Sheet Name
DETAILS

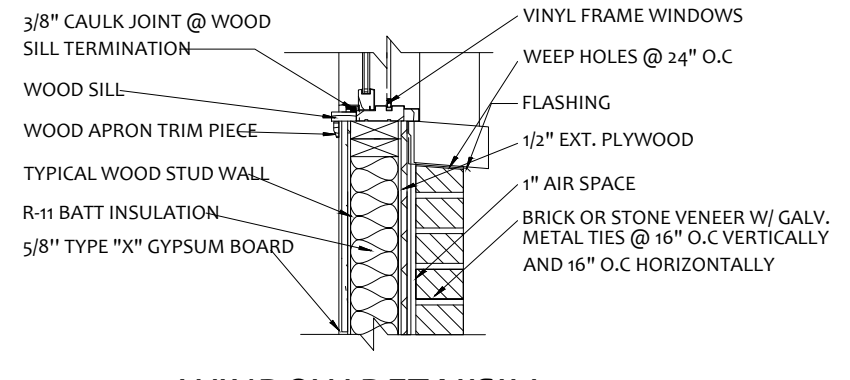
Project #	Prepared by Sherif Saker
Date JULY, 2021	Sheet
Scale 1"=1'0"	AR- 10



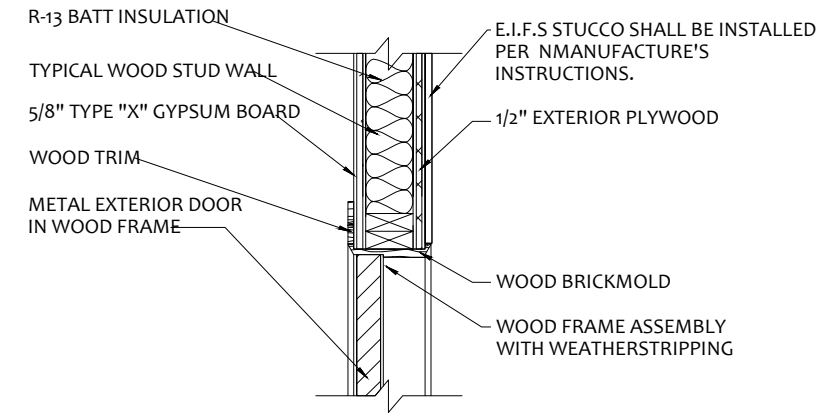
WINDOW DETAIL HEAD



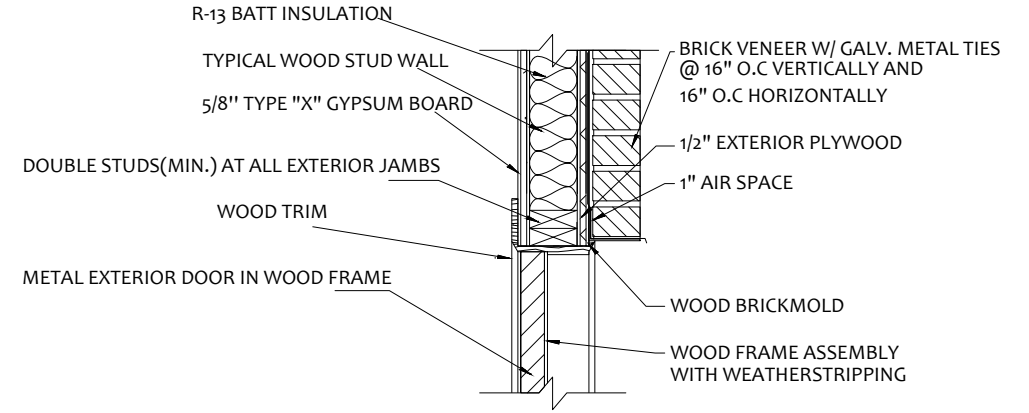
WINDOW DETAIL JAMB



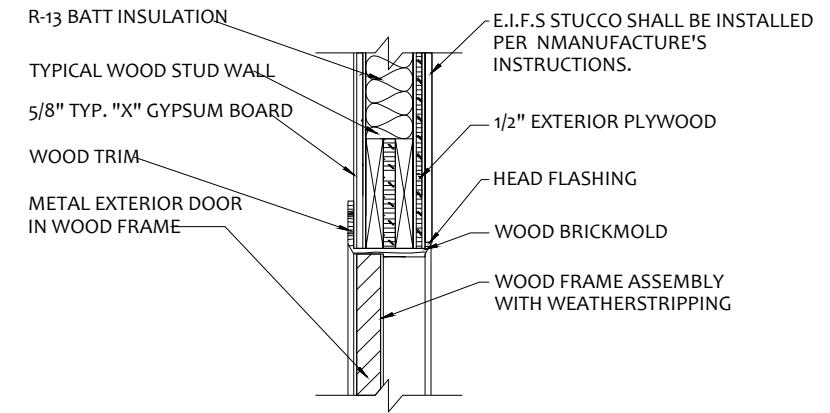
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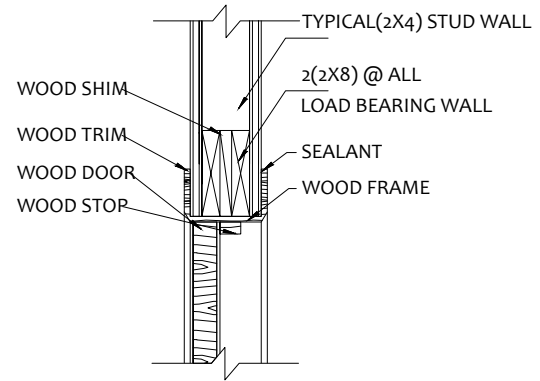
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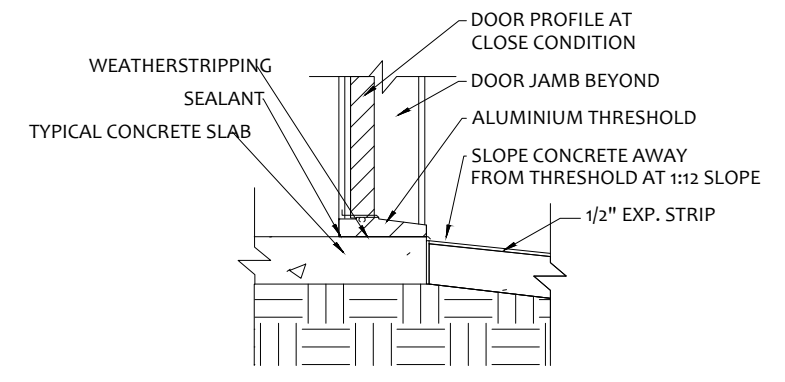
DOOR DETAIL JAMB



DOOR DETAIL HEAD



INTERIOR DOOR HEAD



THRESHOLD @ ENTRY

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 NAME SIGNATURE 45460 BCIN #

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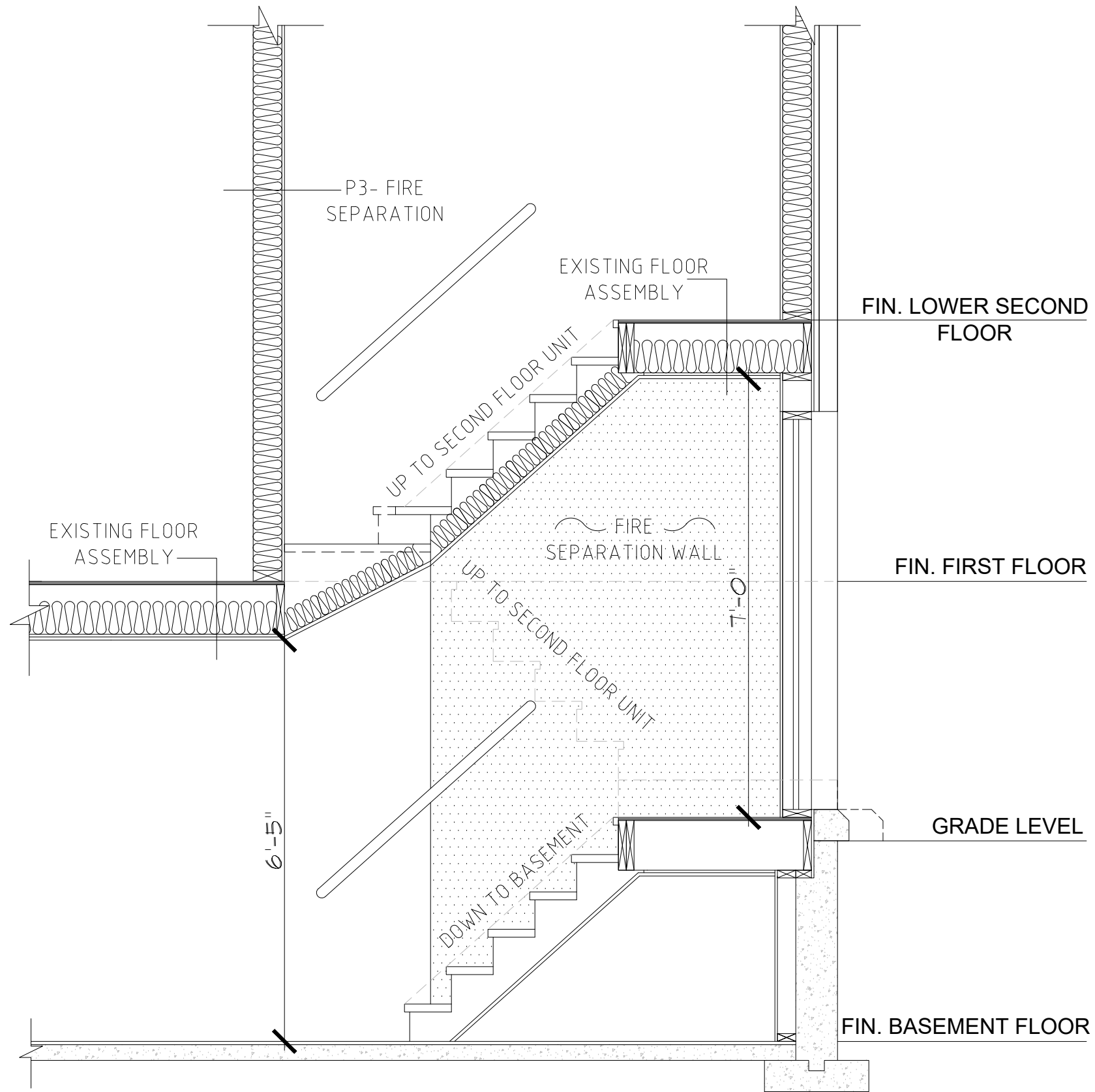
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No.	Description	Date



Project:
TRIPLEX HOUSE
 2422 ROSSINI BLVD
 WINDSOR ON N8W 4R1

Sheet Name
DETAILS

Project #	Prepared by Sherif Saker
Date JULY, 2021	Sheet
Scale 3/4"=1'0"	AR-11



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Amr Serrag Eldin NAME	 SIGNATURE	45460 BCIN #
--------------------------	--	-----------------

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Project:
TRIPLEX HOUSE
2422 ROSSINI BLVD
WINDSOR ON N8W 4R1

Sheet Name
DETAIL / SECTION

Project #	Prepared by Sherif Saker
Date JULY, 2021	Sheet
Scale 3/4"=1'0"	AR-12

DATE: DEC 6 2021
TO: City Solicitor
FROM: City Planner / Executive Director
RE: ZONING AMENDMENT BY-LAW FOR COUNCIL CONSIDERATION
Planning File Number: Z-035/21 ZNG/6573
Agenda.Net: S 166/2021
Clerks File: **ZB/**

APPLICANT: Chantelle Bayley

Address: 2422 Rossini Blvd, Windsor, ON N8W 4R1

Phone: 519-564-0104 Email: zhasa@hotmail.com

OWNER: Same as Applicant

Address:

Phone: Email:

ROLL NO: 070 390 07900 0000

LOCATION: 2422 Rossini Blvd

COUNCIL APPROVAL DATE: **TBD** **CR/2022 DHSC**

ENCLOSURES:

- Schedule 1 - Draft Zoning Amendment
- Schedule 2 - Purpose and effect of the By-law and, if applicable, a Key Map

After approval, forward all schedules to City Clerk for submission to Council and public notification.

REQUIREMENTS PRIOR TO BY-LAW ENACTMENT AND NOTIFICATION:

1. Official Plan Amendment By-law Enactment: NO YES
2. Executed Servicing Agreement: NO YES
3. Other:

SIGNED _____

TH: ss

A BY-LAW TO FURTHER AMEND BY-LAW NUMBER 8600
CITED AS THE "CITY OF WINDSOR ZONING BY-LAW"

Passed the _____ day of _____, 2022.

WHEREAS it is deemed expedient to further amend By-law Number 8600 of the Council of The Corporation of the City of Windsor, cited as the "City of Windsor Zoning By-law" passed the 31st day of March, 1986, as heretofore amended:

THEREFORE the Council of The Corporation of the City of Windsor enacts as follows:

1. That subsection 1 of Section 20 is amended by adding the following paragraph:

431. EAST SIDE OF ROSSINI BOULEVARD, BETWEEN YPRES STREET AND SOMME AVE

For the lands comprising Lot 81 and Pt Blk I, Plan 1102, one *Multiple Dwelling* with a maximum of three *dwelling units* shall be an additional permitted main use and shall be subject to the following provisions:

- a) Lot Width – minimum 15.0 m
- b) Lot Area – minimum 450.0 m²
- c) Lot Coverage – maximum 45.0%
- d) Main Building Height – maximum 10.0 m
- e) Front Yard Depth – minimum 6.0 m
- f) Rear Yard Depth – minimum 7.50 m
- g) Side Yard Width – minimum 1.20 m

[ZDM11; ZNG/6573]

2. The said by-law is further amended by amending the Zoning District Map identified in Column 2 so that the lands affected described in Column 3 are delineated by a broken line and further identified by the specific zoning exception symbol shown in Column 5:

1. Item Number	2. Zoning District Map	3. Lands Affected	4. Official Plan Amendment Number	5. Zoning Symbol
1	11	Lot 81 and Pt Blk I Plan 1102 (2422 Rossini Blvd; Roll No. 070 390 07900 0000; PIN 0136-20188; East Side of Rossini Blvd, Between Ypres St and Somme Ave)	--	S.20(1) 431

DREW DILKENS, MAYOR

CLERK

First Reading - , 2022
Second Reading - , 2022
Third Reading - , 2022

SCHEDULE 2

1. By-law _____ has the following purpose and effect

To amend the zoning of Plan 1102 Lot 81 and Pt Blk I, municipally known as 2422 Rossini Blvd; Roll No Roll No. 070 390 07900 0000; 0136-20188), situated East Side of Rossini Blvd, between Ypres St and Somme Ave), by adding a site specific exception to Section 20(1) to allow one *multiple dwelling* with a maximum of three *dwelling units* as an additional permitted main use on the subject property and subject to site specific provisions.

2. Key map showing the location of the lands to which By-law _____ applies.

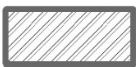


PART OF ZONING DISTRICT MAP 11

N.T.S.

SCHEDULE 2

Applicant: Chantelle Bayley



SUBJECT LANDS

PLANNING & BUILDING DEPARTMENT



DATE : OCTOBER, 2021
FILE NO. : Z-035/21, ZNG/6573



Council Report: S 168/2021

Subject: Rezoning - Brisson Property Management - 2920 Langlois - Z-033/21 ZNG/6544 - Ward 10

Reference:

Date to Council: January 10, 2022
Author: Adam Szymczak, MCIP, RPP
Senior Planner
519-255-6543 x 6250
aszymczak@citywindsor.ca

Planning & Building Services
Report Date: December 2, 2021
Clerk's File #: ZB/14230

To: Mayor and Members of City Council

Recommendation:

THAT Zoning By-law 8600 **BE AMENDED** by changing the zoning of Lot 5 & Part Lot 6, Registered Plan 1246 (known municipally as 2920 Langlois Avenue; Roll No 070-070-02200) situated on the east side of Langlois, south of Grand Marais Road East, from Residential District 1.1 (RD1.1) to Residential District 2.1 (RD2.1).

Executive Summary:

N/A

Background:**Application Information:**

Location: 2920 Langlois Avenue
 (Lot 5 & Part Lot 6, Registered Plan 1246; Roll No 070-070-02200; East side of Langlois, south of Grand Marais Road East)

Ward: 10

Planning District: Remington Park

Zoning District Map: 8

Applicant/Owner: Brisson Property Management Inc (Michael Brisson)

Agent: Michael Stamp

Proposal:

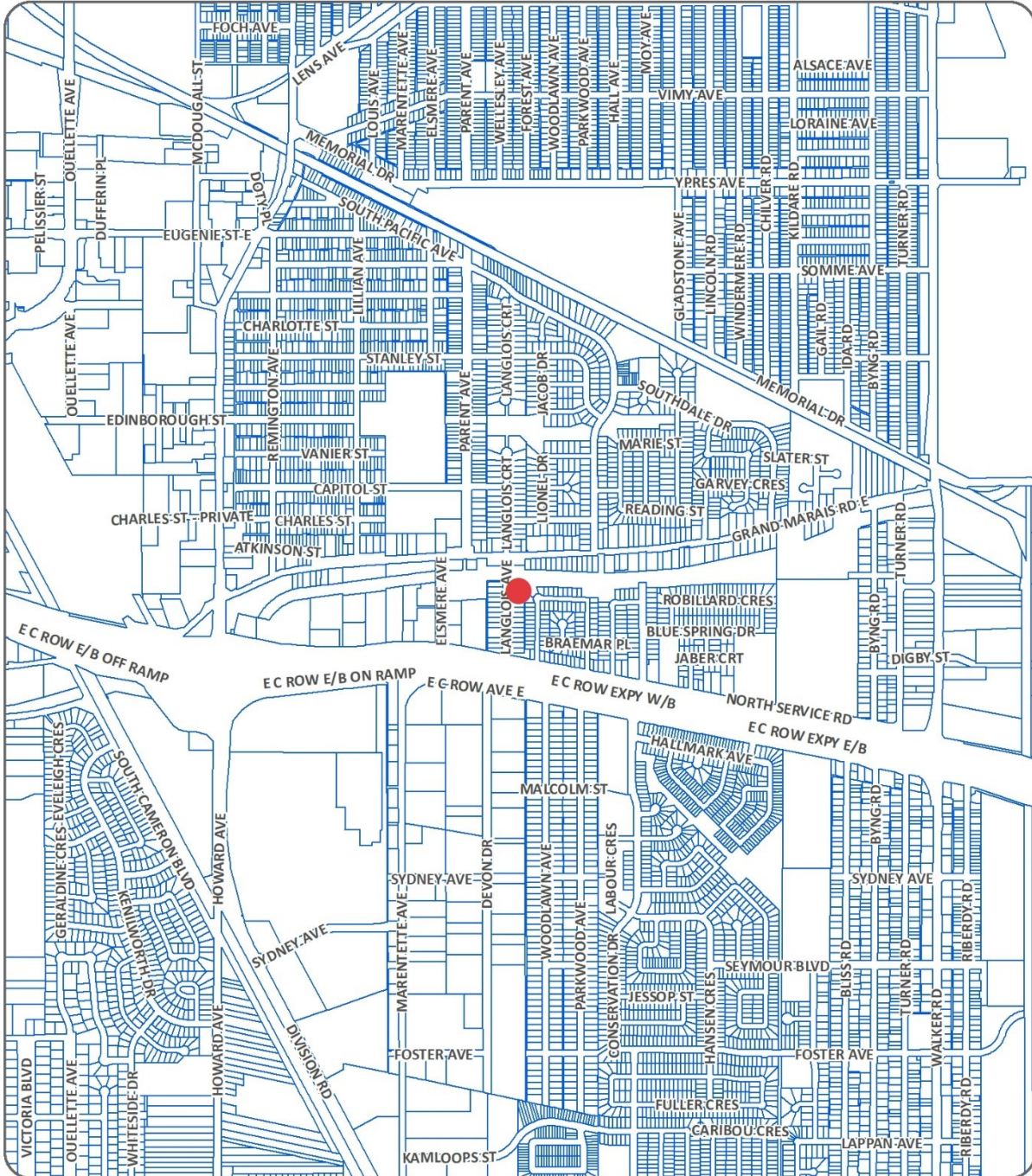
The applicant is proposing to demolish the existing single unit dwelling with an accessory building and construct one semi-detached dwelling. The applicant is requesting an amendment to Zoning By-law 8600 to change the zoning of the subject parcel from Residential District 1.1 (RD1.1) to Residential District 2.1 (RD2.1).

Submitted Information: Application Form; Conceptual Site Plan (See Appendix A)

Site Information:

OFFICIAL PLAN	ZONING	CURRENT USE	PREVIOUS USE
Residential	Residential District 1.1 (RD1.1)	Single Unit Dwelling	N/A
LOT WIDTH	LOT DEPTH	LOT AREA	LOT SHAPE
19.2 m	45.1 m	866.1 sq. m	Rectangular
62.9 ft	148 ft	9,322.6 sq. ft.	
<i>All measurements are provided by applicant and are approximate.</i>			

Figure 1: Key Map



KEY MAP - Z-033/21, ZNG-6544



● SUBJECT LANDS

Figure 2: Subject Parcel - Rezoning



PART OF ZONING DISTRICT MAP 8

N.T.S.

REZONING

Applicant: Brisson Property Management



SUBJECT LANDS

PLANNING & BUILDING DEPARTMENT

DATE : OCTOBER, 2021
FILE NO. : Z-033/21, ZNG/6544

Figure 3: Neighborhood Map



NEIGHBOURHOOD MAP - Z-033/21, ZNG/6544



SUBJECT LANDS

Neighbourhood Characteristics:

The subject parcel is located in an established residential neighbourhood occupied by low density residential development. The predominant dwelling type is a single unit dwelling.

To the north is the Grand Marais Drain, a municipal drain, Grand Marais Road East, and more low-density dwellings. To the east are low density dwellings. To the south, are low density dwellings, North Service Road, EC Row Expressway, a major east-west highway, EC Row Avenue East, and the Devon industrial area. Devonshire Mall, a large regional shopping centre, is to the southwest. To the west is low density dwellings, a place of worship, and multiple dwellings and east of Elsmere Avenue towards Howard Avenue is a mix of industrial and office uses. To the northwest is the Grand Marais Drain, a small plaza with a convenience store, laundromat, food outlet and restaurant and a place of worship.

The nearest school, Our Lady of Perpetual Help (Separate Elementary), is approximately 500 m walking distance to the northwest. There are numerous parks in the surrounding area including a tot lot to the east of the subject parcel, Remington Park to the northwest which also includes a public library, playing fields, swimming pool, tennis and basketball courts, dog park, and a large modern playground.

Langlois Avenue is classified as a Local Road, has a two-lane rural cross section with no curbs or sidewalks and ditches/swales adjacent to the road. Grand Marais Road East is a Class I Collector Road. North Service Road is a Local Road.

A multi-use trail is located on the south side of Grand Marais Drain which provides access to Howard Avenue to the west and Walker Road to the east. Parent Avenue is designated as a Bike Route north of Grand Marais Road. North Service Road has marked bike lanes on both sides.

Transit Windsor operates the Parent 14 bus route which travels along this portion of Langlois Avenue with bus stops at the intersection of Langlois and Grand Marais and Langlois and North Service Road. The Transit Master Plan recommends a Local Route along this portion of Langlois between Grand Marais Road and North Service Road.

No municipal infrastructure or service deficiencies have been identified.

Discussion:

Provincial Policy Statement, 2020

The Provincial Policy Statement (PPS) provides direction on matters of provincial interest related to land use planning and development and sets the policy foundation for regulating the development and use of land in Ontario.

Policy 1.1.1 of the PPS states:

“Healthy, liveable and safe communities are sustained by:

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;*

- b) *accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;*
- e) *promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;”*

The proposed semi-detached dwelling development represents an efficient development and land use pattern that will have no adverse impact on the financial well-being of the City of Windsor, land consumption, and servicing costs, accommodates an appropriate range of residential uses, and optimizes investments in transit. The requested zoning amendment is consistent with Policy 1.1.1 of the PPS.

Policy 1.1.3.1 of the PPS states:

“Settlement areas shall be the focus of growth and development.”

Policy 1.1.3.2 of the PPS states:

“Land use patterns within settlement areas shall be based on densities and a mix of land uses which:

- a) *efficiently use land and resources;*
- b) *are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;*
- e) *support active transportation;*
- f) *are transit-supportive, where transit is planned, exists or may be developed;”*

The subject parcel is located within the settlement area. The proposed zoning amendment promotes land uses that make efficient use of land and existing infrastructure. Active transportation options and transit services are located near the parcel. The zoning amendment is consistent with PPS Policies 1.1.3.1 and 1.1.3.2.

The proposed amendment to Zoning By-law 8600 is consistent with the PPS.

Official Plan

Relevant excerpts from the Official Plan are attached as Appendix C. The subject property is designated Residential on Schedule D: Land Use of the City of Windsor Official Plan.

Objective 6.3.1.1 supports a complementary range of housing forms and tenures in all neighbourhoods. Objective 6.3.1.2 seeks to promote compact neighbourhoods and balanced transportation systems. Objective 6.3.1.3 seeks to promote selective residential redevelopment, infill and intensification initiatives. The proposed semi-detached dwelling represents a complementary and compact form of housing, redevelopment, and intensification that is near sources of transportation. The zoning amendment satisfies the objectives set out in Section 6.3.1 of the Official Plan.

The proposed semi-detached dwelling is classified as a small-scale Low Profile housing development under Section 6.3.2.3 (a), a permitted use in the Residential land use designation (Section 6.3.2.1). The proposed development is compatible with the surrounding land uses (Section 6.3.2.5 (c)) and no deficiencies in municipal physical services and emergency services have been identified (Section 6.3.2.5 (e)). The zoning amendment conforms to the policies in Sections 6.3.2.1 and 6.3.2.5 of the Official Plan.

The zoning amendment conforms to the Zoning Amendment Policies, Section 11.6.3.1 and 11.6.3.3, of the Official Plan.

The proposed change to Zoning By-law 8600 conforms to the general policy direction of the Official Plan.

Zoning By-Law

Relevant excerpts from Zoning By-law 8600 are attached as Appendix D.

The applicant is requesting a change from Residential District 1.1 (RD1.1) to a Residential District 2.1 (RD2.1), a zoning district that permits one single unit dwelling, one semi-detached dwelling, or one duplex dwelling subject to specific lot and building provisions for each permitted dwelling type.

The RD2.1 zoning district is an appropriate zoning category and is compatible with the existing uses in the neighbourhood. RD2.1 permits one semi-detached dwelling on a lot with a minimum width of 15.0 m and a minimum area of 450.0 m², with a minimum front yard depth of 6.0, a minimum rear yard depth of 7.50 m and a minimum side yard width of 1.20 m. The minimum building height is 10.0 m with a maximum lot coverage of 45%.

The lot has a width of 19.2 metres and an area of 866 m². These exceed the requirements in RD2.1. The proposed semi-detached dwelling complies with all zoning requirements. No zoning deficiencies have been identified or requested.

Site Plan Control

The development is not subject to site plan control.

Risk Analysis:

N/A

Climate Change Risks

Climate Change Mitigation:

In general, residential intensification minimizes the impact on the Community greenhouse gas emissions as these developments create complete communities and neighbourhoods while using currently available infrastructure such as sewers, sidewalks, and public transit.

Climate Change Adaptation:

The proposed construction of a new dwelling provides an opportunity to increase resiliency for the development and surrounding area.

Financial Matters:

N/A

Consultations:

Comments received from municipal departments and external agencies are attached as Appendix E. There are no objections to the proposed amendment. Any specific requirements will be handled during the building permit process.

Public Notice: Statutory notice was advertised in the Windsor Star, a local daily newspaper. A courtesy notice was mailed to property owners and residents within 120m of the subject parcel.

Planner's Opinion:

The *Planning Act* requires that a decision of Council in respect of the exercise of any authority that affects a planning matter, "*shall be consistent with*" Provincial Policy Statement 2020. The requested zoning amendment has been evaluated for consistency with the Provincial Policy Statement 2020 and conformity with the policies of the City of Windsor Official Plan.

Based on the information presented in this report, it is my opinion that an amendment to Zoning By-law 8600 to rezone the subject parcel from Residential District 1.1 (RD1.1) to Residential District 2.1 (RD2.1) is consistent with the PPS 2020, is in conformity with the City of Windsor Official Plan, and constitutes good planning.

Conclusion:

Staff recommend that Zoning By-law 8600 be amended to permit a rezoning of the subject parcel from Residential District 1.1 (RD1.1) to Residential District 2.1 (RD2.1) to allow the construction of one semi-detached dwelling.

Planning Act Matters:

I concur with the above comments and opinion of the Registered Professional Planner.

Neil Robertson, MCIP, RPP
Manager of Urban Design

Thom Hunt, MCIP, RPP
City Planner

I am not a Registered Professional Planner and have reviewed as a Corporate Team Leader

SAH JR

Approvals:

Name	Title
Neil Robertson	Manager of Urban Design / Deputy City Planner
Thom Hunt	City Planner / Executive Director, Planning & Development Services
Wira Vendrasco	Deputy City Solicitor, Legal Services & Real Estate
Shelby Askin Hager	Commissioner, Legal & Legislative Services
Jason Reynar	Chief Administrative Officer

Notifications:

Name	Address	Email
Brisson Property Management Inc. (Michael Brisson)	2953 Langlois Ave Windsor ON N8X 4M6	mike@brissonsales.com
Michael Stamp	1029 Hacienda Way Windsor ON N9G 2T7	mgstamp65@gmail.com
Councillor Morrison		
Property owners and tenants within 120 m of the subject parcel		

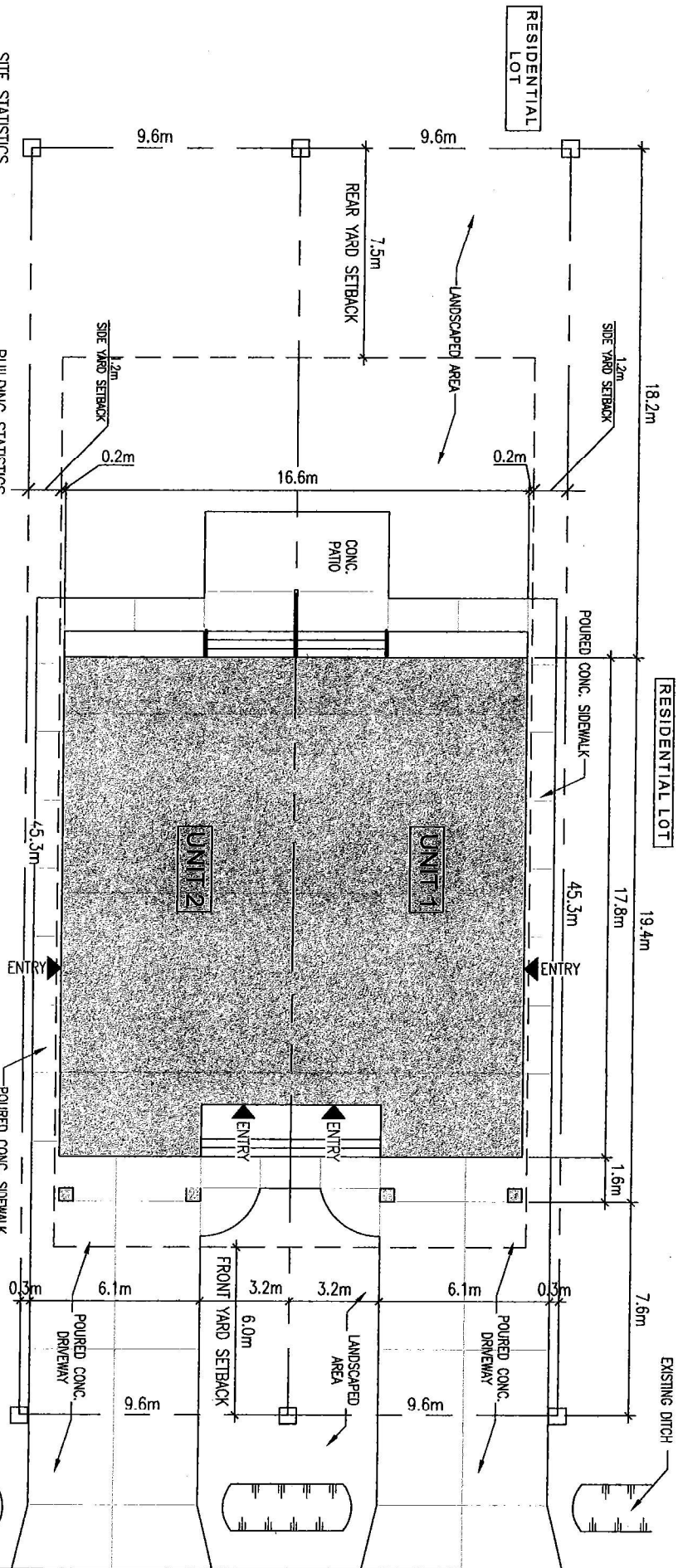
Appendices:

- 1 Appendix A - Conceptual Site Plan
- 2 Appendix B - Site Images
- 3 Appendix C - Extracts from Official Plan
- 4 Appendix D - Extracts from Zoning By-law 8600
- 5 Appendix E - Consultation
- 6 Draft Amending By-law

SITE PLAN

SITE STATISTICS	
ZONING: RD 1:1	
SITE AREA	
TOTAL SITE AREA:	= 872.80 m ²
BUILDING FOOTPRINT	
TOTAL BUILDING AREA:	= 283.35 m ²
LOT COVERAGE:	= 32.47%
MAX LOT COVERAGE:	= 45%

BUILDING STATISTICS	
UNIT 1	
FIRST FLOOR	= 110.13 m ²
SECOND FLOOR	= 141.67 m ²
GARAGE	= 31.54 m ²
BASEMENT	= 101.53 m ²
TOTAL UNIT AREA:	= 384.87 m ²
UNIT 2	
FIRST FLOOR	= 110.13 m ²
SECOND FLOOR	= 141.67 m ²
GARAGE	= 31.54 m ²
BASEMENT	= 101.53 m ²
TOTAL UNIT AREA:	= 384.87 m ²
TOTAL BUILDING AREA:	= 769.74 m ²



4/13/21

**APPENDIX B - SITE IMAGES
(Google Street View)**



IMAGE 1

**Subject Parcel – 2920 Langlois Avenue - Looking east
(L to R: 2916, 2920, 2928 Langlois)**



IMAGE 2

**Looking south on Langlois Avenue towards North Service Road
Subject parcel is on the left side of the image**

IMAGE 3



**Looking west from subject parcel
(L to R: 2929, 2925, 2921, 2917 Langlois)**

IMAGE 4



**Looking north on Langlois Avenue towards Grand Marais Drain and
Grand Marais Road East
Subject parcel is on the right side of the image**

APPENDIX C - Extracts from City of Windsor Official Plan

VOLUME I – LAND USE

6.3 Residential

The lands designated as “Residential” on Schedule D: Land Use provide the main locations for housing in Windsor outside of the City Centre Planning District. In order to develop safe, caring and diverse neighbourhoods, opportunities for a broad range of housing types and complementary services and amenities are provided.

The following objectives and policies establish the framework for development decisions in Residential areas.

6.3.1 Objectives

<i>RANGE OF FORMS & TENURES</i>	6.3.1.1	To support a complementary range of housing forms and tenures in all neighbourhoods.
<i>NEIGHBOURHOODS</i>	6.3.1.2	To promote compact neighbourhoods which encourage a balanced transportation system.
<i>INTENSIFICATION, INFILL & REDEVELOPMENT</i>	6.3.1.3	To promote selective residential redevelopment, infill and intensification initiatives.

6.3.2 Policies

In order to facilitate the orderly development and integration of housing in Windsor, the following policies shall apply.

<i>PERMITTED USES</i>	6.3.2.1	Uses permitted in the Residential land use designation identified on Schedule D: Land Use include Low, Medium and High Profile dwelling units.
<i>TYPES OF LOW PROFILE HOUSING</i>	6.3.2.3	For the purposes of this Plan, Low Profile housing development is further classified as follows: <ul style="list-style-type: none"> (a) small scale forms: single detached, semi-detached, duplex and row and multiplexes with up to 8 units; and (b) large scale forms: buildings with more than 8 units.

EVALUATION 6.3.2.5
CRITERIA FOR A
NEIGHBOURHOOD
DEVELOPMENT
PATTERN

At the time of submission, the proponent shall demonstrate to the satisfaction of the Municipality that a proposed residential development within an area having a Neighbourhood development pattern is:

- (a) feasible having regard to the other provisions of this Plan, provincial legislation, policies and appropriate guidelines and support studies for uses:
 - (i) within or adjacent to any area identified on Schedule C: Development Constraint Areas and described in the Environment chapter of this Plan;
 - (ii) adjacent to sources of nuisance, such as noise, odour, vibration and dust;
 - (iii) within a site of potential or known contamination;
 - (iv) where traffic generation and distribution is a provincial or municipal concern; and
 - (v) adjacent to heritage resources.
- (b) in keeping with the goals, objectives and policies of any secondary plan or guideline plan affecting the surrounding area;
- (c) compatible with the surrounding area in terms of scale, massing, height, siting, orientation, setbacks, parking and amenity areas;
- (d) provided with adequate off street parking;
- (e) capable of being provided with full municipal physical services and emergency services; and
- (f) facilitating a gradual transition from Low Profile residential development to Medium and/or High profile development and vice versa, where appropriate.

VOLUME I – TOOLS**11.6.3 Zoning By-law Amendment Policies***AMENDMENTS
MUST CONFORM*

11.6.3.1 All amendments to the Zoning By-law(s) shall conform with this Plan. The Municipality will, on each occasion of approval of a change to the zoning by-law(s), specify that conformity with the Official Plan is maintained or that the change will be in conformity upon the coming into effect of an amendment to the Official Plan.

*EVALUATION
CRITERIA*

11.6.3.3 When considering applications for Zoning By-law amendments, Council shall consider the policies of this Plan and will, without limiting the generality of the foregoing, consider such matters as the following:

- (a) The relevant evaluation criteria contained in the Land Use Chapter of this Plan, Volume II: Secondary Plans & Special Policy Areas and other relevant standards and guidelines;
- (b) Relevant support studies;
- (c) The comments and recommendations from municipal staff and circularized agencies;
- (d) Relevant provincial legislation, policies and appropriate guidelines; and
- (e) The ramifications of the decision on the use of adjacent or similar lands.

APPENDIX D - Extracts from Zoning By-law 8600

SECTION 3 – DEFINITIONS

3.10 DEFINITIONS

DWELLING means a *building* or *structure* that is occupied for the purpose of human habitation. A *correctional institution, hotel, motor home, recreational vehicle, tent, tent trailer, or travel trailer* is not a *dwelling*.

SEMI-DETACHED DWELLING means one *dwelling* divided vertically into two *dwelling units* by a common interior wall having a *minimum* area above *grade* of 10.0 sq. m., and may include, where permitted by Section 5.99.80, up to two additional *dwelling units*.

SINGLE UNIT DWELLING means one *dwelling* having one *dwelling unit* or, where permitted by Section 5.99.80, one *dwelling* having two *dwelling units*. A single family dwelling is a *single unit dwelling*. A *duplex dwelling, mobile home dwelling, semi-detached dwelling unit, or townhome dwelling unit*, is not a *single unit dwelling*.

DWELLING UNIT means a unit that consists of a self-contained set of rooms located in a *building* or *structure*, that is used or intended for use as residential premises, and that contains kitchen and bathroom facilities that are intended for the use of the unit only.

SECTION 10 - RESIDENTIAL DISTRICTS 1. (RD1.)

10.1 RESIDENTIAL DISTRICT 1.1 (RD1.1)

10.1.1 PERMITTED USES

- Existing Duplex Dwelling*
- Existing Semi-Detached Dwelling*
- One Single Unit Dwelling*
- Any use accessory to the preceding uses

10.1.5 PROVISIONS

	Duplex Dwelling	Semi-Detached Dwelling	Single Unit Dwelling
.1 Lot Width – minimum	9.0 m	15.0 m	15.0 m
.2 Lot Area – minimum	360.0 m ²	450.0 m ²	450.0 m ²
.3 Lot Coverage – maximum	45.0%	45.0%	45.0%
.4 Main Building Height – maximum	10.0 m	10.0 m	10.0 m
.5 Front Yard Depth – minimum	6.0 m	6.0 m	6.0 m
.6 Rear Yard Depth – minimum	7.50 m	7.50 m	7.50 m
.7 Side Yard Width – minimum	1.20 m	1.20 m	1.50 m

SECTION 11 - RESIDENTIAL DISTRICTS 2. (RD2.)

11.1 RESIDENTIAL DISTRICT 2.1 (RD2.1)

11.1.1 PERMITTED USES

One Duplex Dwelling

One Semi-Detached Dwelling

One Single Unit Dwelling

Any use accessory to the preceding uses

11.1.5 PROVISIONS

	Duplex Dwelling	Semi-Detached Dwelling	Single Unit Dwelling
.1 Lot Width – minimum	12.0 m	15.0 m	9.0 m
.2 Lot Area – minimum	360.0 m ²	450.0 m ²	270.0 m ²
.3 Lot Coverage – maximum	45.0%	45.0%	45.0%
.4 Main Building Height – maximum	10.0 m	10.0 m	10.0 m
.5 Front Yard Depth – minimum	6.0 m	6.0 m	6.0 m
.6 Rear Yard Depth – minimum	7.50 m	7.50 m	7.50 m
.7 Side Yard Width – minimum	1.20 m	1.20 m	1.20 m

APPENDIX E - CONSULTATIONS

ENBRIDGE - WINDSOR MAPPING

After reviewing the provided drawing at 2920 Langlois Ave. and consulting our mapping system, please note that Enbridge Gas has active infrastructure in the proposed area. A PDF drawing has been attached for reference.

Please Note:

1. The shown piping locations are approximate and for information purposes only
2. The drawings are not to scale
3. This drawing does not replace field locates. Please contact Ontario One Call for onsite locates prior to excavating, digging, etc

Enbridge Gas requires a minimum separation of 0.6m horizontal and 0.3m vertical from all of our plant less than NPS 16 and a minimum separation 1.0m horizontal and 0.6m vertical between any CER-regulated and vital pipelines. For all pipelines (including vital pipelines), when drilling parallel to the pipeline, a minimum horizontal clearance measured from the edge of the pipeline to the edge of the final bore hole of 1 m (3.3 ft) is required. Please ensure that this minimum separation requirement is maintained, and that the contractor obtains locates prior to performing any work and utilizes safe excavation practices while performing any work in the vicinity.

Also, please note the following should you find any abandoned infrastructure in the area:

- Any pipe that is excavated, please assume that it is live
- If during the course of any job, any pipe is found that is not on the locate sheet and is in conflict with your work, please call our emergency number (1-877-969-0999), and one of our Union Gas representatives will respond to determine if that plant is in fact live or dead
- Please note that our Enbridge Gas representative will respond to the live or dead call within 1-4 hours, so please plan your work accordingly

Please contact me if you have any further questions or concerns.

TRANSIT WINDSOR - Jason Scott

Transit Windsor has no objections to this development. The closest existing transit route to this property is with the Parent 14. The closest existing bus stop to this property is located on Langlois at Grand Marais SE Corner. This bus stop is approximately 90 metres from this property falling well within our 400 metre walking distance guideline to a bus stop. This will be maintained with our Council approved Transit Master Plan.

ENVIRONMENT & SUSTAINABILITY COORDINATOR - Averil Parent

No comments

ESSEX REGION CONSERVATION AUTHORITY

The following is provided as a result of our review of Zoning By-law Amendment Z-033/21 [ZNG/6544]. The applicant is proposing to rezone from RD1.1 (single family residential) to RD2.1 (multifamily residential consisting of duplex or semi-detached).

Delegated Responsibility To Represent The Provincial Interest In Natural Hazards (PPS) And Regulatory Responsibilities of The Conservation Authorities Act.

The following comments reflect our role as representing the provincial interest in natural hazards as outline by Section 3.1 of the Provincial Policy statement of the *Planning Act* as well as our regulatory role as defined by Section 28 of the *Conservation Authorities Act*.

The above noted lands are subject to our Development, Interference with Wetlands and Alteration to Shorelines and Watercourses Regulation under the *Conservation Authorities Act* (Ontario Regulation No. 158/06). The parcel falls within the regulated area of the Grand Marais Drain. The property owner will be required to obtain a Permit and/or Clearance from the Essex Region Conservation Authority prior to any construction or site alteration or other activities affected by Section 28 of the *Conservation Authorities Act*.

It is not the intent of the Provincial Policy Statement, Policy 3.1, Natural Hazards, that the presence of existing development be used as a justification for increasing or intensifying the development. The main purpose of Policy 3.1 is to direct development and site alteration to locations outside of the hazardous lands. Where redevelopment, or alterations to existing development, are being considered within the hazardous lands, the development and site alteration, must adhere to Policy 3.1.2(c) and fulfill all of the requirements outline in Policy 3.1.7.

3.1.2. Development and site alteration shall not be permitted within:

- a) The dynamic beach hazard;
- b) Defined portions of the flooding hazard along connecting channels (the St. Marys, St. Clair, Detroit, Niagara and St. Lawrence Rivers);
- c) Areas that would be rendered inaccessible to people and vehicles during times of flooding hazards, erosion hazards and/or dynamic beach hazards, unless it has been demonstrated that the site has safe access appropriate for the nature of the development and the natural hazard; and
- d) A floodway regardless of whether the area of inundation contains high points of land not subject to flooding.

3.1.7 Further to policy 3.1.6, and except as prohibited in policies 3.1.2 and 3.1.5, development and site alteration may be permitted in those portions of hazardous lands and hazardous sites where the effects and risk to public safety are minor, could be mitigated in accordance with provincial standards, and where all of the following are demonstrated and achieved:

- a) Development and site alteration is carried out in accordance with floodproofing standards, protection works standards, and access standards;
- b) Vehicles and people have a way of safely entering and exiting the area during times of flooding, erosion and other emergencies;
- c) new hazards are not created and existing hazards are not aggravated; and
- d) no adverse environmental impacts will result.

It appears that there will be water ponding, in excess of 0.6 meters during a storm event on the road. Therefore, the City of Windsor must confirm that safe access is appropriate for the nature of

the proposed development. The main principle of Policy 3.1 is to direct development and site alteration to locations outside of the hazardous lands. Therefore, it is the responsibility of Municipal Emergency Services (police, firefighters, ambulance, etc) to confirm that they have the ability to effect an access to these areas, in order to fulfill the roles and responsibility of first responders during times of flooding. Proposals must be reviewed to ensure access to the proposed development is safe and appropriate for the proposed use or re-development of the site.

Watershed Based Resource Management Agency

The following comments are provided in an advisory capacity as a public commenting body on matters related to watershed management.

Section 1.6.6.7 Stormwater Management (Pps, 2020)

Our office has reviewed the proposal and has no concerns relating to stormwater management.

Planning Advisory Service To Planning Authorities – Natural Heritage Policies Of The PPS, 2020

The following comments are provided from our perspective as an advisory service provider to the Planning Authority on matters related to natural heritage and natural heritage systems as outlined in Section 2.1 of the Provincial Policy Statement of the Planning Act. The comments in this section do not necessarily represent the provincial position and are advisory in nature for the consideration of the Planning Authority.

The subject property is not within or adjacent to any natural heritage feature that may meet the criteria for significance as defined by the PPS. Based on our review, we have no objection to the application with respect to the natural heritage policies of the PPS.

Final Recommendation

Upon review of the application and available background information, we note that the low lying nature of the roadway may result in excess water over the road during a 1:100 year flood event. The Municipality must confirm, through applicable emergency services (i.e. fire, police, etc.), that they have the ability to safely access this area during a 1:100 year flood event, in order to fulfill the municipality's responsibilities under Section 3.1.7 of the Provincial Policy Statement (2020). Additionally, the applicant must obtain a Section 28 Permit from ERCA prior to undertaking any development on the site.

ENWIN

HYDRO ENGINEERING - No Objection, provided adequate clearances are achieved and maintained.

ENWIN has existing overhead pole lines along the west limits with 16,000 volt primary and 120/240 volt secondary hydro distribution. ENWIN has existing overhead 120/240 volt secondary service to 2928 Langlois along the south west limits.

Prior to working in these areas, we would suggest notifying your contractor and referring to the Occupational Health and Safety Act and Regulations for Construction Projects to confirm clearance requirements during construction. We suggest referring to the Ontario Building Code for permanent required clearances for New Building Construction.

WATER ENGINEERING: Water Engineering has No Objections to the Rezoning

BUILDING DIVISION - Barb Rusan

The Building Code Act, Section 8.(1) requires that a building permit be issued by the Chief Building Official for any construction or demolition of a building. It is strongly recommended that the owner and/or applicant contact the Building Division to determine building permit needs for the proposed project. The City of Windsor Building Division can be reached by phone at 519-255-6267 or through email at buildingdept@citywindsor.ca

TRANSPORTATION PLANNING SERVICES - Rania Toufeili, Policy Analyst

Langlois Avenue is classified as a local road with a required right-of-way width of 20 meters according to the Official Plan. The existing right-of-way width is sufficient and therefore no conveyance is required.

All accesses shall conform to the TAC Geometric Design Guide for Canadian Roads and the City of Windsor Standard Engineering Drawings. Driveways must be provided per engineering right-of-way requirements.

All exterior paths of travel must meet the requirements of the Accessibility for Ontarians with Disabilities Act (AODA).

ENGINEERING DEPARTMENT – RIGHT-OF-WAY DIVISION - Amy Olsen, Technologist III

The subject lands are located at 2920 Langlois Avenue, designated Residential by the City of Windsor Official Plan and zoned Residential District 1.1 (RD1.1) by Zoning By-Law 8600. The applicant is requesting an amendment to Zoning By-law 8600 to Residential District 2.1 (RD2.1) in order to allow for a duplex dwelling or semi-detached dwelling on the subject parcel. This Department has reviewed the servicing requirements relative to a Rezoning Application and offer the following comments:

SEWERS - The site may be serviced by a 250mm asbestos cement sanitary sewer and a roadside ditch, located within the Langlois Avenue right-of-way. If possible, existing connections should be utilized. Any redundant connections shall be abandoned in accordance with the City of Windsor Engineering Best Practice B.P1.3.3. The applicant will be required to submit lot grading and site servicing drawings to the satisfaction of the City Engineer. This development must also be approved by ERCA, as the property is within a hazard area regulated by the Conservation Authority.

RIGHT-OF-WAY - Schedule X of the Official Plan classifies Langlois Avenue as a local road, requiring a right-of-way width of 20.m. The current right-of-way is sufficient at 20m; therefore, land conveyance is not required. Driveways shall be constructed as per AS-221 or AS-222, complete with straight flares, no raised curbs within the right-of-way and maintain 1m clearance from any vertical object. Ditch enclosures to be completed in accordance with Best Practice BP3.3.3 and AS-209A. Any redundant culverts or driveway approaches shall be removed and restored to City of Windsor Standards. The Owner shall apply to purchase their share of the closed alley, located at the rear of the subject property.

Sewer and Driveway Permits will be issued based on the type of structure to be built. If the applicant proceeds with a duplex, one (1) driveway and one (1) connection to the storm and sanitary sewers will be permitted and if a semi-detached is proposed, two (2) driveways and two (2) storm and sanitary connections will be permitted.

In summary we have no objection to the proposed redevelopment, subject to the following requirements (Requirements can be enforced prior to issuance of Building and Right-of-Way Permits):

Alley Acquisition – The owner shall agree prior to issuance of a Building Permit, to acquire any portion of the closed alley abutting the property that is not currently owned by the applicant.

ERCA Requirements – The owner(s) further agrees to follow all drainage and flood proofing recommendations of the Essex Region Conservation Authority (ERCA) may have with respect to the subject land, based on final approval by the City Engineer. If applicable, the Owner will obtain all necessary permits from ERCA with respect to the drainage works on the subject lands.

Right-of-Way Permits – The owner agrees to obtain right-of-way permits for sewer taps, drain taps, flatworks, landscaping, curb cuts, and driveway approaches from the City Engineer, prior to commencement of any construction on the public highway.

Video Inspection (connection) - The owner further agrees, at its entire expense and to the satisfaction of the City Engineer:

1. To undertake a video inspection, of any existing connections proposed for reuse to ensure the suitability of the connection for use in accordance with City of Windsor Standard Specifications S-32 CCTV Sewer Inspection.
2. Any redundant connections will be abandoned according to the City of Windsor Engineering Best Practice B.P.1.3.3.
3. Any new Connections to combined sewers will follow City of Windsor Engineering Best Practice B.P.1.1.1.

If you have any further questions or concerns, please contact Amy Olsen, of this department at aolsen@citywindsor.ca

A BY-LAW TO FURTHER AMEND BY-LAW NUMBER 8600
CITED AS THE "CITY OF WINDSOR ZONING BY-LAW"

Passed the day of , 2022.

WHEREAS it is deemed expedient to further amend By-law Number 8600 of the Council of The Corporation of the City of Windsor, cited as the "City of Windsor Zoning By-law" passed the 31st day of March, 1986, as heretofore amended:

THEREFORE the Council of The Corporation of the City of Windsor enacts as follows:

1. By-law Number 8600 is further amended by changing the Zoning District Maps or parts thereof referred to in Section 1, of the by-law and made part thereof, so that the zoning district symbol of the lands described in Column 3 shall be changed from that shown in Column 5 to that shown in Column 6:

1. Item Number	2. Zoning District Map Part	3. Lands Affected	4. Official Plan Amendment Number	5. Zoning Symbol	6. New Zoning Symbol
1	8	Lot 5 & Part Lot 6, Registered Plan 1246 (known municipally as 2920 Langlois Avenue; Roll No 070-070- 02200; east side of Langlois, south of Grand Marais Road East)	--	RD1.1	RD2.1

DREW DILKENS, MAYOR

CLERK

First Reading - , 2022
Second Reading - , 2022
Third Reading - , 2022

SCHEDULE 2

1. By-law _____ has the following purpose and effect:

To amend the zoning of Lot 5 & Part Lot 6, Registered Plan 1246 (known municipally as 2920 Langlois Avenue; Roll No 070-070-02200) situated on the east side of Langlois, south of Grand Marais Road East from Residential District 1.1 (RD1.1) to Residential District 2.1 (RD2.1) to allow the construction of a semi-detached dwelling.

2. Key map showing the location of the lands to which By-law _____ applies.



PART OF ZONING DISTRICT MAP 8

N.T.S.

SCHEDULE 2

Applicant: Brisson Property Management



SUBJECT LANDS

PLANNING & BUILDING DEPARTMENT



DATE : OCTOBER, 2021
FILE NO. : Z-033/21, ZNG/6544



Council Report: S 161/2021

Subject: Economic Revitalization Community Improvement Plan (CIP) application submitted by 2810859 Ontario Inc for 10700 Tecumseh Road East (Ward 7)

Reference:

Date to Council: January 10, 2022
Author: Greg Atkinson, Senior Planner
519-255-6543 ext. 6582
Planning & Building Services
Report Date: November 30, 2021
Clerk's File #: SPL/10759

To: Mayor and Members of City Council

Recommendation:

- I. THAT the request made by 2810859 Ontario Inc to participate in the Small Business Investment Grant Program **BE APPROVED** for the property located at 10700 Tecumseh Road East for up to 10 years or until 100% of the eligible costs are repaid pursuant to the City of Windsor Economic Revitalization Community Improvement Plan;
- II. THAT, Administration **BE DIRECTED** to prepare an agreement between the City, 2810859 Ontario Inc, and/or persons or companies that have legally been assigned the right to receive grant payments, to implement the Small Business Investment Grant Program in accordance with all applicable policies, requirements, and provisions contained within the Economic Revitalization Community Improvement Plan to the satisfaction of the City Planner for content, the Commissioner of Legal Services as to legal form, and the CFO/City Treasurer as to financial implications;
- III. THAT, the CAO and City Clerk **BE AUTHORIZED** to sign the Small Business Investment Grant Program Agreement; and,
- IV. THAT the approval to participate in the Small Business Investment Grant Program **EXPIRE** if the grant agreement is not signed by applicant and owner within one year following Council approval. The City Planner may extend the deadline for up to one year upon request from the applicant.

Executive Summary:

N/A

Background:

City Council approved the Economic Revitalization Community Improvement Plan (CIP) at its January 31, 2011 meeting via CR 50/2011. The adopting By-law 30-2011 was passed by Council at its February 14, 2011 meeting.

The Economic Revitalization CIP provides financial incentives to encourage new investment in targeted economic sectors for the purposes of diversifying the local economy and creating/retaining jobs. The CIP allows the City to take a variety of measures to further the objectives of the Economic Revitalization CIP that would otherwise be prohibited by Ontario's Municipal Act. This includes the acquisition and preparation of land; construction, repair, rehabilitation or improvement of buildings; the sale, lease or disposal of land and buildings; and the provision of grants to owners or tenants of land—all of which must conform with the objectives and policies contained within the CIP.

To date, City Council has approved a number of applications made under the CIP representing a range of targeted economic sectors including manufacturing, research and development, creative industries, logistics, health & life sciences, and tourism.

2810859 Ontario Inc (Windsor Surgical Centre) has applied for financial incentives under the Small Business Investment Grant Program for property located at 10700 Tecumseh Road East (see Appendix 1: Location Map). Windsor Surgical Centre is an ambulatory facility that provides outpatient services in partnership with the Windsor Regional Hospital to complete all of their ophthalmology services (i.e. treatment for eye disorders). Additional details explaining the proposed facility are contained within Appendix 2.

The subject property is 0.53 hectares (1.3 acres) in size, designated 'Industrial' in the City's Official Plan and zoned Manufacturing District 1.2 (MD 1.2) with site specific provision permitting a Medical Office. The subject property is currently occupied by a 1,087m² (11,700 ft²) commercial building. The building is currently vacant and previously housed a motor vehicle dealership and fitness facility.

The principal owners of the Windsor Surgical Centre are Dr. Barry Emara and Dr. Fouad Tayfour.

Discussion:

Small Business Investment Grant Program

The Small Business Investment Grant Program is intended to stimulate investment in targeted economic sectors by small businesses that create or retain jobs in Windsor. Small businesses with less than 20 employees are eligible to apply—provided an investment results in an increase of at least \$25,000 to the assessed value of a property.

Successful applicants may receive an annual grant for up to 100% of the municipal property tax increase created by an investment in development or redevelopment of a building or property—provided it conforms with the Economic Revitalization CIP. The annual grants may continue, at Council's discretion for up to 10 years or until up to 100% of the eligible investment costs are repaid.

Proposed Construction

Windsor Surgical Centre proposes to renovate the entire building to create a state of the art outpatient surgical centre with four operating rooms equipped to complete procedures such as cataracts, vitreoretinal, minor procedures, and minimally invasive joint procedures. The estimated cost of the renovations is \$2,700,000. Site and parking area improvements are also planned.

Eligible Sector

Windsor Surgical Centre falls under the eligible Physician Recruitment use within the Health and Life Sciences sector which is defined in the CIP as:

Physician Recruitment

Companies which demonstrate active physician recruitment within the City of Windsor and have a relationship (or relationships) with a post-graduate medical school.

Dr. Barry Emara is currently an adjunct professor within the Department of Ophthalmology at the Schulich School of Medicine & Dentistry.

Employment

According to the CIP application Windsor Surgical Centre will retain 9 current employees and add 26 new jobs over the course of the grant program.

CIP Objectives

The proposed investment at 10700 Tecumseh Road East and recommended Small Business Investment Grant supports the following CIP objectives:

- Encourage investment that results in the productive use of lands and/or buildings for the purposes of establishing or maintaining a business enterprise, or the expansion of existing businesses to realize more effective use of the land's potential;
- Encourage capital investments that create new and/or maintain existing permanent jobs, as well as short-term construction jobs that contribute to the reduction of the unemployment rate;
- Support investments in specified high potential economic sectors that contribute to the diversification of the local economy;
- Provide financial incentive programs that are attractive to potential investors and corporate decision-makers, but are balanced with expectations of City taxpayers and the City's ability to fund the financial incentive programs; and
- Support investment and development that results in an increase in property assessment and grows the non-residential municipal tax base over the long-term.

Risk Analysis:

There is little risk associated with the approval of the CIP application. Staff resources are required for the upfront administration of the grant program and finalization of the legal agreement. Limited staff resources related to on-going monitoring of the eligible employment uses and issuance of annual grants will also be required over the next ten years.

Climate Change Risks

Climate Change Mitigation:

Climate Change Mitigation

The proposed renovation and reuse of the existing commercial building implements Environmental Master Plan Objective C1: Encourage in-fill and higher density in existing built areas.

Climate Change Adaptation:

The proposed reuse of the existing commercial building may be affected by climate change, in particular with respect to extreme precipitation and an increase in days above 30 degrees. While not the subject of this report, any new construction would be required to meet the current provisions of the Building Code, which would be implemented through the building permit process.

Financial Matters:

Small Business Investment Grant Program

The tax increment portion of the Small Business Investment Grant is not calculated or paid out until all eligible work is completed and the property is reassessed by MPAC. Reassessment of the property must result in a minimum increase in assessment value of \$25,000. The grant amount is recalculated annually based on the actual assessed property value, tax class, and municipal tax rate.

Summary of Potential Financial Incentives

The applicant proposes to spend a total of \$2,700,000 on the project. The current assessment value for the property is \$1,320,000 and the annual property taxes are \$55,897.31 with the municipal share being \$44,281.31.

City staff anticipate the post-development assessment value to be \$1,500,000—an increase of \$180,000. Total annual property taxes on the increased assessment value would be \$63,520—an increase of \$7,622.69. The post-development annual municipal tax levy would be \$50,319.58—an increase of \$6,038.27. This would result in a total grant value of \$60,382.70 over the lifespan of the 10-year grant program and would offset approximately 2.2% of the eligible investment proposed by the Windsor Surgical Centre.

Estimate Small Business Investment Grant Calculation 10700 Tecumseh Road East		
Annual Pre Development Municipal Taxes	Annual Estimate Post Development Municipal Taxes	Annual Estimate Value of Grant
\$44,281.31	\$50,319.58	\$6,038.27

Assumptions

Current Property Value Assessment (2021 - Commercial)	\$1,320,000
Current Municipal Tax Levy (2021)	\$44,281.31
Estimate Post Development Property Assessment (Commercial)	\$1,500,000
Estimate Post Development Municipal Taxes	\$50,319.58

Because the Small Business Investment Grant Program does not cancel taxes, the applicant must pay the full amount of property taxes annually and will subsequently receive a grant for the difference between the pre and post-development municipal taxes. The City will retain the amount of pre-development (base) municipal taxes throughout the lifespan of the grant program, however will be foregoing any incremental

property taxes which could otherwise be used to offset future budget pressures.

Consultations:

The Economic Revitalization CIP was subject to extensive stakeholder and public consultation as part of the approval process, including two public open houses, a statutory public meeting of Council and circulation among internal City staff and the Province.

Planning staff have consulted with the applicant prior to accepting the application for the Small Business Investment Grant Program. Staff from the Planning, Finance, and Legal departments were consulted in the preparation of this report.

Conclusion:

Administration recommends that Council approve the request made by Windsor Surgical Centre to participate in the Small Business Investment Grant Program. Specifically, that the municipal portion of the tax increment resulting from the proposed development located at 10700 Tecumseh Road East be provided as an annual grant for up to 10 years or until 100% of the eligible costs are repaid pursuant to the City of Windsor Economic Revitalization CIP.

It is also recommended that approval to participate in the CIP expire if the grant agreement is not signed within one year following Council approval. The planned development conforms with the Economic Revitalization CIP and assists the City in the achievement of a number of the CIP objectives.

Planning Act Matters:

N/A

Approvals:

Name	Title
Josie Gualtieri	Financial Planning Administrator
Michael Cooke	Manager of Planning Policy/Deputy City Planner
Thom Hunt	City Planner / Executive Director, Planning & Development Services
Wira Vendrasco	Deputy City Solicitor, Legal Services & Real Estate
Shelby Askin Hager	Commissioner, Legal & Legislative Services
Janice Guthrie	Deputy Treasurer, Taxation & Financial Projects
Joe Mancina	Commissioner, Corporate Services Chief Financial Officer / City Treasurer
Jason Reynar	Chief Administrative Officer

Notifications:

Name	Address	Email
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		Office@dremara.com

Appendices:

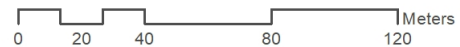
1. Location Map

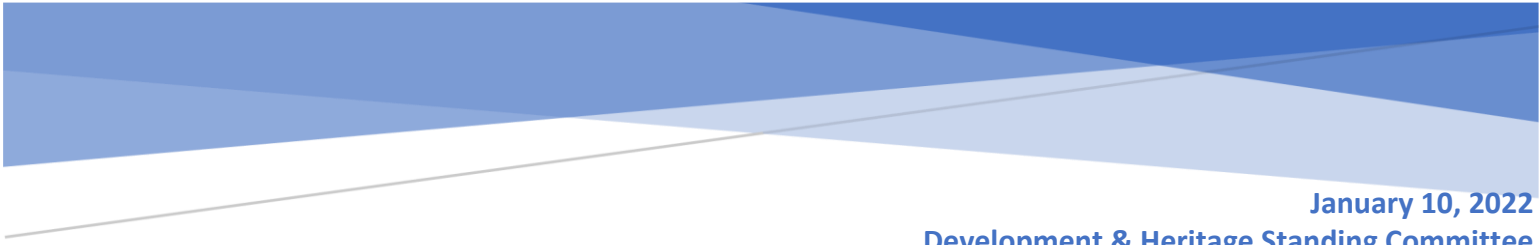


LOCATION MAP : 10700 TECUMSEH ROAD EAST



SUBJECT PROPERTY





January 10, 2022
Development & Heritage Standing Committee
Item 11.1 - Appendix "B"

WINDSOR SURGICAL CENTRE

New Ambulatory Buildout Project

Abstract

State of the Art Outpatient Ambulatory Surgical Centre with Four Operating Suites

Dr. Barry Emara

Windsor Surgical Centre Overview

BUSINESS HISTORY & OVERVIEW

Windsor Surgical Centre (WSC) was established in July 2005 with the simple mission of helping patients see better to live better. Founded by Dr. Fouad Tayfour and Dr. Barry Emara, two local Ophthalmologists in Windsor, the centre serves patients in the Erie St. Clair Local Health Integrated Network (LHIN) for those suffering from cataracts. WSC believes in delivering the safest care when it comes to cataract procedures and that is why it successfully passed the College of Physicians and Surgeons (CPSO) Out of Hospital Procedures process and is currently a certified Centre with the program. This allows WSC to complete Level 2 cataract surgical procedures comparable to those in a hospital setting. In a recent report (December 2021) the Office of the Auditor General of Ontario stated that there are clear benefits to outpatient surgery for patients wishing to seek care outside the hospital setting. Both Dr. Tayfour and Dr. Emara saw these benefits earlier in their careers based on the many successful cataract procedures they have performed at WSC and the positive patient feedback that had been received. Outpatient surgery, sometimes referred to as “day surgery” or “ambulatory surgery,” is typically a surgery in which a patient spends less than 24 hours in hospital before going home. There are various benefits associated with providing surgeries on an outpatient basis in an ambulatory care setting, when it is safe to do so. For example:

- The hospital bed that I freed up can be used for other patients with urgent and emergent health needs.
- Since fewer hospital resources are required, ambulatory care outpatient surgeries are more cost effective compared to hospital outpatient surgeries.
- The risk of patients contracting viruses and infections associated with the hospital setting is reduced.
- Since ambulatory care outpatient surgery, when conducted safely and appropriately, can be less stressful than hospital outpatient surgery and allows patients to get back to their normal routine sooner.

WSC has successfully proven that their model for ambulatory care outpatient procedures are a benefit for cataract surgery patients in the Windsor and surrounding area. WSC is expanding this model in collaboration with Windsor Regional Hospital to build a larger Out Patient Ambulatory Care Centre to accommodate this need.

PROJECT: NEW OUTPATIENT AMBULATORY CARE CENTRE

Over the years WSC has worked closely with the Windsor Regional Hospital (WRH) Ophthalmology department to always find ways of meeting the cataract surgery wait time demand. As a result of this successful partnership, in 2021 the Windsor Regional Hospital’s Executive Team partnered with WSC to transfer all 5,500 cataract procedures and 550 Vitreoretinal procedures from the hospital to WSC. Due to the recent COVID pandemic elective procedures were being cancelled at WRH, specifically Ophthalmology procedures, leading to longer wait times for patients within the Erie St. Clair LHIN. Currently WSC is managing the hospital caseloads but requires more surgical Operating Rooms to be able to maintain this high-volume level of procedures. Currently WSC has 1 Surgical operating Room with a total footprint of over 2,000 square ft. The new Outpatient Ambulatory Care Centre located at 10700 Tecumseh will be over 10,000 sq ft and have 4 fully equipped CPSO approved operating rooms. This will ensure that the

current case volumes can be successfully completed below Health Canada’s wait time strategy target allowing Erie St. Clair to be one of the few LHIN’s achieving this wait time target. Moreover, this new Centre will allow for the continuation of elective Ophthalmology procedures during the pandemic, and ultimately the long-term solution of providing outpatient Ophthalmology care- a first of its kind in Ontario.

EMPLOYMENT & GROWTH

With the buildout of this new state of the art facility there will be employment opportunities for professionals in Healthcare, Human resources and People Managers. The table below illustrates the staff that WSC currently employs as well as the needs with this new buildout in order to successfully ramp up procedures from 1 operating room to 4 operating rooms and the supporting resources required. These resources would include:

Resource/ Role	Current Resource Head Count at WSC	Resource Required at New Facility
Medical Reprocessing Technician	1 Full Time	4 Full Time
Operating Room Assistant	1 Full Time	4 Full Time
Reception/Check In Staff	1 Full Time	3 Full Time
Pre/Post Operative Nursing Staff	2 Full Time	8 Full Time
Operating Room Nursing Staff	2 Full Time	8 Full Time
Operating Room Charge Nurse	1 Full Time	4 Full Time
Director	N/A	1 Full Time
Finance	1 Half Time	2 Full Time
Human Resource	1 Half Time	1 Full Time
Total	9 Full Time Employees	35 Full-Time Employees

Creation of 26 New full time professional jobs

CONCLUSION

Although Windsor Regional Hospital continues to partner with WSC in the transfer of Ophthalmology cases, there is no reimbursement for capital costs or equipment costs. This is an out-of-pocket cost to WSC. To successfully build and equip the Ambulatory Care Centre there are large capital costs required for the proper CPSO approved medical grade buildout/equipment. This however will positively impact cataract surgery wait times within the Erie St. Clair LHIN for patients providing them with quicker access to care. This would be the first of its kind partnership within Ophthalmology and could serve as a best in class model for other LHIN’s.



Subject: Brownfield Redevelopment Community Improvement Plan (CIP) application submitted by Amy-Lynn and Gabriel Valente for 10965 Riverside Drive East (Ward 7)

Reference:

Date to Council: January 10, 2022
Author: Greg Atkinson, Senior Planner
519-255-6543 ext. 6582
gatkenson@citywindsor.ca
Planning & Building Services
Report Date: December 1, 2021
Clerk's File #: Z/8955

To: Mayor and Members of City Council

Recommendation:

- I. THAT the request made by Amy-Lynn and Gabriel Valente to participate in the Environmental Site Assessment Grant Program **BE APPROVED** for the completion of a proposed Phase II Environmental Site Assessment Study and Remedial Work Plan for property located at 10965 Riverside Drive East pursuant to the City of Windsor Brownfield Redevelopment Community Improvement Plan;
- II. THAT the City Treasurer **BE AUTHORIZED** to issue payment up to a maximum of \$25,000 based upon the completion and submission of a Phase II Environmental Site Assessment and Remedial Work Plan (if necessary) completed in a form acceptable to the City Planner and City Solicitor;
- III. THAT the grant funds in the amount of \$25,000 under the Environmental Site Assessment Grant Program **BE TRANSFERRED** from the CIP Reserve Fund 226 to Brownfield Strategy Remediation (project 7069003) when the eligible work is completed to the satisfaction of the City Planner;
- IV. THAT should the proposed Phase II Environmental Site Assessment Study and Remedial Work Plan not be completed within two (2) years of Council approval, the approval **BE RESCINDED** and the funds be uncommitted and made available for other applications.

Executive Summary:

N/A

Background:

Brownfield Redevelopment Community Improvement Plan (CIP)

Brownfield sites are properties that may be contaminated due to previous industrial or commercial uses such as a manufacturing facility or gas station. City Council approved a Brownfield Redevelopment CIP at its April 19, 2010 meeting for the purpose of encouraging the study, clean-up, and redevelopment of contaminated properties. The approval of the CIP was the result of nearly five years of study and consultation, which began in October 2005.

Importance of Brownfield Redevelopment

In 2009 the City's Planning Department identified 137 brownfield properties (i.e. 226 hectares or 559 acres) that are candidates for redevelopment. While the inventory is not exhaustive, it illustrates the significance of Windsor's brownfield stock and the need to work with land owners to put these properties back into productive use. Based on approvals to date under the Brownfield CIP a total of 30.4 hectares (75.1 acres) or 13.5% of the inventory has been or is planned to be redeveloped.

Historically, there has been little interest in redeveloping brownfield sites due to the uncertainty surrounding the extent of contamination and the potential cost of clean-up. The Brownfield Redevelopment CIP provides financial incentives to undertake the necessary studies and remedial work necessary to redevelop brownfield sites and reduce the potential negative impacts to the City's environment and neighbourhoods.

The benefits associated with brownfield redevelopment go far beyond the boundaries of the property. For example, they are often strategically located within existing built up areas of the City where services and other infrastructure, such as roads, schools, community facilities and public transit are already available, therefore additional infrastructure costs are not incurred to service these areas. The redevelopment of these sites also remove the negative stigma often associated with brownfield properties, which increases the value of the subject property and adjacent properties.

Brownfield sites also represent a significant underutilization of the land base. According to the National Round Table on the Environment and the Economy (2003), every hectare redeveloped through a brownfield project saves up to an estimated 4.5 hectares of greenfield land from being developed (i.e. agricultural land on the edge of the City); and for every dollar invested in a brownfield redevelopment, it is estimated that \$3.80 is invested in the economy.

Site Background

The subject site is located on the south side of Riverside Drive East and extends south to Wyandotte Street between Clover Street and Chateau Avenue in the East Riverside neighbourhood (see location map). The property is 1.28 hectares (or 3.16 acres) in size and it currently vacant. It was previously occupied by Endurance Materials Limited, a concrete block manufacturing operation, from at least the early 1950s until approximately 1992 when the on-site building was demolished.

The subject property is designated 'Residential' on Official Plan Schedule D: Land Use and is zoned RD1.1 (low-density residential district).

Discussion:

Environmental Site Assessment Grant Program

The Environmental Site Assessment (ESA) Grant Program offers a matching grant to property owners of brownfield sites to conduct environmental studies that provide information on the type and extent of contamination and potential remediation costs. The program offers 50% of the cost of an eligible study up to a maximum of \$15,000. If two studies are required, an additional \$10,000 is available for a maximum total grant value of \$25,000.

The owner proposes to redevelop the property for residential land uses, which requires the filing of a Record of Site Condition (RSC) with the Ministry of the Environment, Conservation and Parks. The owner has completed a Phase I Environmental Site Assessment (ESA) study to support the redevelopment of the property. The Phase I ESA study identified areas of potential environmental concern, and recommends that a Phase II ESA study be completed to assess the existing soil and groundwater conditions at the site and delineate the extent of any contamination. The Phase II ESA study is necessary to support the filing of a RSC.

Clearly identifying the type and delineating the extent of any contamination is an essential step in moving forward with redevelopment plans. Upon completion, the City would retain a copy of the final study report.

CIP Goals

City staff is supportive of the application as it meets all of the eligibility requirements specified within the Brownfield Redevelopment CIP. The proposed study of the subject site also supports the following CIP goals:

- To promote the remediation, rehabilitation, adaptive re-use and redevelopment of brownfield sites throughout the City of Windsor in a fiscally responsible and sustainable manner over the long term;
- Improve the physical and visual quality of brownfield sites;
- Improve environmental health and public safety;
- Provide opportunities for new housing, employment uses, and commercial uses;
- Increase tax assessment and property tax revenues;
- Promote Smart Growth, including the reduction of urban sprawl and its related costs;
- Increase community awareness of the economic, environmental and social benefits of brownfield redevelopment; and
- Utilize public sector investment to leverage significant private sector investment in brownfield remediation, rehabilitation, adaptive re-use, and redevelopment.

Policy Support

The study of brownfield sites to support clean up and redevelopment is supported by policies within the 2020 Provincial Policy Statement, the City's Official Plan and the City's Environmental Master Plan.

Risk Analysis:

As with all brownfield sites, there is a high degree of risk associated with the property remaining contaminated and vacant. Uncertainly related to the extent of contamination will continue to act as a barrier to redevelopment if not addressed. If the site remains vacant it will continue to have a negative effect on the surrounding area.

The proposed Phase II ESA study and remedial work plan will assist in mitigating the above noted risks by providing an estimated cost to remediation and establishing next steps in the remediation process. As already indicated, should remediation and redevelopment not be pursued, the City would retain copies of the studies for future reference.

Climate Change Risks

Climate Change Mitigation:

The proposal of a residential redevelopment implements Environmental Master Plan Objective C1: Encourage in-fill and higher density in existing built areas. In particular, the redevelopment would implement the action that supports the existing Brownfields Redevelopment Strategy and achieve its work plan.

Climate Change Adaptation:

The proposed residential redevelopment may be affected by climate change, in particular with respect to extreme precipitation and an increase in days above 30 degrees. While not the subject of this report, any new construction would be required to meet the current provisions of the Building Code, which would be implemented through the building permit process. The site would also be required to incorporate storm water management best practices. Any site plan control application will be reviewed for opportunities to enhance resiliency.

Financial Matters:

The cost estimate (excluding HST) for completing the proposed initial Phase II ESA study is \$34,600 - \$39,600 and the proposed Remedial Work Plan (if required) is \$25,000 - \$75,000). If approved, the maximum grant would total \$25,000. Should the actual costs of the study be less than what has been estimated, the grant payments would be based on the lower amount.

The grant would be paid from the Brownfield Strategy Remediation Fund (Project #7069003). On February 22, 2021 Council approved the 2021 budget, which included a new reserve fund 226 for all active CIPs in the City. As CIP grant applications are approved and eligible work is completed, the approved grant amount will be transferred to the applicable capital project account to be held as committed funds, until the grant is ready to be paid out. Transferring the funds to the project when the grant is ready to be paid out allows for the reserve fund to continue to earn interest while waiting payment.

The current uncommitted balance of the CIP reserve fund is \$682,341.62 however this balance does not account for other CIP grant requests that are currently being considered by the standing committee or have been endorsed by the standing committee and are not yet approved by City Council.

Consultations:

The development and approval of the Brownfield Redevelopment CIP was subject to extensive stakeholder and public consultation, which sought input from a wide range of stakeholders and internal City departments.

Planning staff have consulted with the applicant prior to accepting the application for the Environmental Study Grant program. Staff from the Planning, Finance, and Legal Departments were consulted in the preparation of this report.

Conclusion:

City Staff recommend Council approve the request from Amy-Lynn and Gabriel Valente to participate in the Environmental Site Assessment Grant Program. In the opinion of planning staff, the proposed study conforms to the Brownfield Redevelopment CIP and assists the City in the achievement of a number of the CIP goals.

Planning Act Matters:

N/A

Approvals:

Name	Title
Josie Gualtieri	Financial Planning Administrator
Michael Cooke	Manager of Planning Policy / Deputy City Planner
Thom Hunt	City Planner / Executive Director, Planning & Development Services
Wira Vendrasco	Deputy City Solicitor, Legal Services & Real Estate
Shelby Askin Hager	Commissioner, Legal & Legislative Services
Janice Guthrie	Deputy Treasurer – Taxation, Treasury & Financial Projects
Dan Seguin	On behalf of Commissioner, Corporate Services Chief Financial Officer / City Treasurer
Jason Reynar	Chief Administration Officer

Notifications:

Name	Address	Email
		cindy.mckee@woodplc.com
		amyvalente1@gmail.com

Appendices:

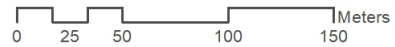
1. Location Map



LOCATION MAP : 10965 RIVERSIDE DRIVE EAST



SUBJECT PROPERTY





Council Report: S 163/2021

Subject: University Avenue and Wyandotte Street Community Improvement Plan (CIP) Application submitted by 2605385 Ontario Inc. on behalf of AIPL Holdings Inc. for 1200 University Avenue West (Ward 3)

Reference:

Date to Council: January 10, 2022
Author: Greg Atkinson, Senior Planner
519-255-6543 ext. 6582
gatkinson@citywindsor.ca

Tracy Tang, Planner II – Revitalization & Policy Initiatives
519-255-6543 ext. 6449
ttang@citywindsor.ca
Planning & Building Services
Report Date: December 1, 2021
Clerk's File #: Z/14007

To: Mayor and Members of City Council

Recommendation:

- I. THAT the request made by 2605385 Ontario Inc. on behalf of AIPL Holdings Inc. for the redevelopment of 1200 University Avenue West to participate in the:
 - a. Commercial/Mixed Use Building Facade Improvement Program **BE APPROVED** for a 50% matching grant to a maximum amount of \$30,000 for eligible costs incurred after November 4, 2021 pursuant to the University Avenue and Wyandotte Street Community Improvement Plan;
 - b. Building/Property Improvement Tax Increment Grant Program **BE APPROVED** for 100% of the municipal portion of the tax increment resulting from the proposed development for five (5) years in accordance with the University Avenue and Wyandotte Street Community Improvement Plan;
 - c. Should 1200 University Avenue West be designated under Part IV of the *Ontario Heritage Act*, the Building/Property Improvement Tax Increment Grant Program **BE APPROVED** for 100% of the municipal portion of the tax increment resulting from the proposed development for an additional

five (5) years for a total of ten (10) years in accordance with the University Avenue and Wyandotte Street Community Improvement Plan;

- d. Municipal Development Fees Grant Program **BE APPROVED** for eligible municipal fees incurred after November 4, 2021 up to a maximum amount of \$50,000 pursuant to the University Avenue and Wyandotte Street Community Improvement Plan;

- II. THAT any replacement masonry unit samples be approved by the City to the satisfaction of the City Planner prior to installation;
- III. THAT the means, methods, and materials for cleaning of the brick and any historic masonry restoration/repair be communicated to the City for approval to the satisfaction of the City Planner prior to the work being undertaken;
- IV. THAT the reconstruction of the east wall and a sample of the work be reviewed and approved by the City to the satisfaction of the City Planner prior to the reconstitution of the entire wall face;
- V. THAT any further building and property signage designs not shown in Appendix 2 (Proposed Facade Improvements) be reviewed and approved to the satisfaction of the City Planner;
- VI. THAT Grant funds in the amount of \$30,000 under the Commercial/Mixed Use Building Facade Improvement Program and funds under the Municipal Development Fees Grant Program **BE TRANSFERRED** from the CIP Reserve Fund to a new Project for the University Avenue and Wyandotte Street Planning Fund when the work is completed;
- VII. THAT the Commercial/Mixed Use Building Facade Improvement grant **BE PAID** to 2605385 Ontario Inc. or any person or corporation that has been legally assigned the right to receive grant payments upon satisfying recommendations II through V as well as completion of the facade improvements as shown in Appendix B to Report S163/2021 to the satisfaction of the City Planner and Chief Building Official;
- VIII. THAT should the eligible work not be completed within two (2) years, City Council **AUTHORIZE** that the funds under the Commercial/Mixed Use Building Facade Improvement Program be uncommitted and made available for other applications;

- IX. THAT Administration **BE DIRECTED** to prepare a Building/Property Improvement Tax Increment Grant agreement between the City, AIPL Holdings Inc., 2605385 Ontario Inc. or any person or corporation that has been legally assigned the right to receive grant payments to implement the grant program in accordance with all applicable policies, requirements, and provisions contained within the University Avenue and Wyandotte Street Community Improvement Plan to the satisfaction of the City Planner as to content, the Commissioner of Legal and Legislative Services as to legal form, and the CFO/City Treasurer as to financial implications;
- X. THAT the CAO and City Clerk **BE AUTHORIZED** to sign the Building/Property Improvement Tax Increment Grant Agreement; and
- XI. THAT the approval to participate in the Building/Property Improvement Tax Increment Grant Program **EXPIRE** if the grant agreement is not signed by applicant within one year following Council approval. The City Planner may extend the deadline for up to one year upon request from the applicant.

Executive Summary: N/A

Background:

The University Avenue and Wyandotte Street Community Improvement Plan (CIP) was approved by City Council on June 7, 2021 and an adopting by-law was passed by City Council on July 13, 2021.

The purpose of the CIP is to build a vision for the corridors connecting the downtown to the University of Windsor that inform a land use concept, transportation concept and enhance the surrounding communities. The CIP also contains a suite of financial incentives to encourage private sector investment and the desired redevelopment along the corridors.

2605385 Ontario Inc. (Applicant) has applied for financial incentives on behalf of the property owner (AIPL Holdings Inc.) under the Commercial/Mixed Use Building Facade Improvement Program, Building/Property Improvement Tax Increment Grant Program, and Municipal Development Fees Grant Program.

The subject property is located on the north side of University Avenue West, between Elm Avenue and Cameron Avenue (Refer to Appendix A – Location Map). The property is 0.94 hectares (2.33 acres) in size, designated ‘Mixed Use’ in the City’s Official Plan and zoned Commercial District (CD 2.2), which permits a range of commercial, office, and entertainment uses as well as dwelling units within a combined use building. This CIP grant application only concerns one of the two properties on the site: 1200 University Avenue West, the ‘east barn building’ commonly known as the ‘Junction building’. It is a 855 m² (9,200 ft²) former street car storage and inspection barn

constructed c.1896. Since the 1950s, the building has been used as a roller skating rink, a toy and/or radio equipment distributor, Kerns (contractor), and more recently the Junction restaurant and entertainment area. The property is currently recognized on the Municipal Heritage Register as 'listed'. However, it is undergoing finalization of heritage designation pending various moving pieces in the larger redevelopment plan for the entire property.

The Applicant is currently redeveloping 1200 University Ave West for medical office and retail use (i.e. pharmacy), which includes extensive exterior and interior work. The proposed facade improvements are shown in Appendix B and the existing building condition is shown in Appendix C.

Site Plan Approval was issued in Spring 2020 with an amendment to the approved site plan on April 21, 2021. Some building permits for the work were issued prior to November 4, 2021, and according to the CIP application, the work is scheduled to be complete by January 2022.

The corporate directors for 2605385 Ontario Inc. (CIP applicant) are: Shabeg Singh, Dev Singh, and Sartaj S. Dhillon. The corporate directors for AIPL Canada Holdings Inc. (property owner) are: Shabeg Singh and Dev Singh.

Discussion:

Commercial/Mixed Use Facade Improvement Grant Program

The Commercial/Mixed Use Facade Improvement Grant Program is intended to encourage the redesign, renovation or restoration of commercial and mixed-use building facades within the CIP project area. The program encourages the restoration of facades to their original state using authentic or original materials. Products used in the restoration of a facade should contain materials that match the texture, colour, size, shape and detail of the original material where possible.

The grant program offers a grant for 50% of the eligible costs of the facade improvements, up to \$20,000 per property. At the discretion of Council, the grant can be increased by up to \$10,000 per property/project for properties/projects:

- Buildings located on corner properties that require improvement and restoration works to two facades that are highly visible from an adjacent street or public right-of-way or park;
- Façade improvements that will have a significant impact on improving the appearance of the corridors and will have a significant investment of \$100,000 or more on the facades; or
- Designated under the *Ontario Heritage Act*, or on the Municipal Heritage Register.

The Applicant is proposing the following exterior work to the building facades, including the east facade fronting the alley:

- Removal of EIFS from clay brick masonry heritage walls;
- Brick cleaning, repairing & restoration; and
- Partial demolition and reconstruction of south addition.

The proposed cost of the exterior facade work is \$1,355,000. The subject property is eligible for a maximum grant of \$30,000 under the Commercial/Mixed Use Facade Improvement Grant Program.

The facade work has been approved under the Site Plan Control and elevation drawings are attached as Appendix B. Prior to undertaking the eligible facade work, the Applicant shall:

- Submit replacement masonry unit samples to the City's Heritage Planner for review and approval to the satisfaction of the City Planner;
- Communicate the means, methods, and materials for cleaning of the brick and any historic masonry restoration/repair to the City's Heritage Planner for approval to the satisfaction of the City Planner;
- Reconstruct the east wall and provide a sample of the work for review and approval by the City to the satisfaction of the City Planner prior to the reconstitution of the entire wall face; and
- Provide any further building and property signage designs not shown in Appendix 2 (Proposed Facade Improvements) for review and approval to the satisfaction of the City Planner.

Building/Property Improvement Tax Increment Grant Program

This program is intended to provide economic incentive for the development, rehabilitation and redevelopment of properties within the catalyst project areas of the CIP. The program provides an annual grant equal to 100% of the increase in municipal property taxes for five years, after the project is completed and reassessed to help offset the costs of rehabilitating and redeveloping properties, as long as such development results in an increase in assessment and therefore an increase in property taxes. City Council, at its sole discretion, may approve an additional five year extension for a catalyst project, a designated heritage building, projects where at least 20% of the units are affordable housing units, and/or projects that achieve a LEED Bronze or higher certification.

The proposed improvements to the building are anticipated to increase the assessed value and therefore increase municipal taxes. This project qualifies for the

Building/Property Improvement Tax Increment Grant and the Financial Matters section of this report discusses the estimated grant amount.

Municipal Development Fees Grant Program

The Municipal Development Fees Grant Program is intended to encourage development along the University Ave West and Wyandotte Street West corridors by providing a financial incentive to offset the costs associated with seeking the appropriate planning approvals and building permits for a project. The Municipal Development Fees will be refunded at 100% of the fees owing to the City of Windsor, up to a maximum amount of \$50,000 per project.

Site Plan Approval was issued in Spring 2020 with an amendment to the approved site plan on April 21, 2021. Four building permits for the work were issued prior to November 4, 2021, while three building permits are yet to be issued. According to the CIP application, the work is expected to be complete by January 2022.

The CIP states that: *“The financial incentive programs approved by City Council will take effect as of the date of City Council adoption and will not be applied retroactively to any work that has taken place prior to the adoption of the CIP.”*

Because the majority of municipal fees were paid prior to approval of the CIP and the submission of the grant application, they are ineligible for inclusion in this program. Any municipal fees paid after the grant application was submitted/received on November 4, 2021 (e.g. remaining building permits) are eligible under the Municipal Development Fees Grant Program.

Risk Analysis:

There is low risk associated with the approval of the subject University Avenue and Wyandotte Street CIP grant applications. The Commercial/Mixed Use Building Facade Grant is payable after the facade improvements are complete to the satisfaction of the City Planner and Chief Building Official. The Building/Property Improvement Tax Increment Grant is paid following the completion of eligible work, reassessment by The Municipal Property Assessment Corporation, and the owner’s full payment of increased taxes annually. Should Committee and Council refuse the application to participate in the grant programs, there is a moderate risk as the building is in need of structural repairs and that may not be addressed if the grant application is not approved.

Climate Change Risks

Climate Change Mitigation:

The proposed redevelopment and reuse of the existing building implements Environmental Master Plan Objective C1: Encourage in-fill and higher density in existing built areas.

Climate Change Adaptation:

The proposed redevelopment and reuse of the existing building may be affected by climate change, in particular with respect to extreme precipitation and an increase in days above 30 degrees. While not the subject of this report, any new construction would be required to meet the current provisions of the Building Code, which would be implemented through the building permit process. The site would also be required to incorporate storm water management best practices.

Financial Matters:

Commercial/Mixed Use Facade Improvement Grant Program and Municipal Development Fees Grant Program

The applicant estimates \$1,355,000 in eligible costs to improve the facade of the existing building. The applicant would be eligible to receive the maximum grant of \$30,000 under the Commercial/Mixed Use Facade Improvement Grant Program and grants under the Municipal Development Fees Grant Program for eligible costs incurred after November 4, 2021 (i.e. date application was submitted).

On February 22, 2021 Council approved the 2021 budget, which included a new reserve fund for all active CIPs in the City. As CIP grant applications are approved by Council, the approved grant amount will be transferred to the capital project account to be kept as committed funds, until the grant is ready to be paid out. The uncommitted balance of the CIP reserve fund is \$682,341.62. However, this balance does not account for other CIP grant requests that are currently being considered by the Development & Heritage Standing Committee/City Council or have been endorsed by the standing committee and are not yet approved by City Council.

Building/Property Improvement Tax Increment Grant Program

The program provides an annual grant equal to 100% of the increase in municipal property taxes for five (5) years, with the possibility of a five (5) year extension, up to a total of ten (10) years if the project is considered a Catalyst Project, is designated under the Ontario Heritage Act, incorporates at least 20% of the units as affordable housing units, and/or achieves a LEED bronze or higher certification. Based on the application information provided, the project qualifies for a five year grant period. Should the subject property be designated under Part IV of the *Ontario Heritage Act*, the project would qualify for a ten year grant period.

As shown in the table below, the estimated annual value of the grant is \$24,422. Over 5 years, this grant amounts to a total of \$122,109. Should the project qualify for a 10 year grant period, the grant amounts would total at \$244,218. The applicant estimates the eligible costs for the project to be \$4,400,000. The *Planning Act* stipulates that the grants under a CIP cannot be more than the eligible costs. The total grant value of \$152,109 (including the \$30,000 under the Commercial/Mixed Use Building Facade Program) would offset 2.64% of the estimated eligible costs, for the 5 year grant period. Should the grant period extend another 5 years, the total grant value of \$274,218 (including the \$30,000 under the Commercial/Mixed Use Building Facade Program) would offset 4.76% of the estimated eligible costs.

1200 University Avenue West

Estimate Property/Building Improvement Tax Increment Grant Calculation 1200 University Ave W		
Annual Pre Development Municipal Taxes	Annual Estimate Post Development Municipal Taxes	Annual Estimate Value of Grant
\$32,607	\$57,029	\$24,422

Assumptions

Current Property Value Assessment (2021 - Commercial)	\$972,000
Current Municipal Tax Levy (2021)	\$32,607
Estimate Post Development Property Assessment (Commercial)	\$1,700,000
Estimate Post Development Municipal Taxes	\$57,029

The Grant Program does not cancel taxes, so the owner must pay the full amount of property taxes annually and will subsequently receive a grant for the difference between the pre and post-development municipal taxes. The City will retain the amount of pre-development (base) municipal taxes throughout the lifespan of the grant program; however will be foregoing any incremental property taxes which could otherwise be used to offset future budget pressures.

Consultations:

The University Avenue and Wyandotte Street West CIP was subject to stakeholder and public consultation as part of the approval process, including public meetings, a statutory public meeting and circulation among internal City staff and the Province.

Planning staff have consulted with the owner prior to accepting the application. Staff from the Planning and Building Division were consulted in the preparation of this report. Additionally, the following staff were consulted in the preparation of this report:

Kristina Tang, Planner III – Heritage Planner

Pablo Golob, Planner III – Site Plan Approval Officer

Brian Nagata – Customer Service Representative, Building Division

Conclusion:

It is recommended that the applications for the Commercial/Mixed Use Building Facade Improvement Grant, Building Property Improvement Tax Increment Grant, and Municipal Development Fees Grant Program be approved for eligible costs incurred after November 4, 2021. It is also recommended that approval to participate in the programs expire if the eligible facade improvement work is not completed within two years or the tax increment agreement is not signed within one year following Council approval. For the Municipal Development Fees Grant Program, it is recommended that only municipal fees incurred after submission of the application on November 4, 2021 be eligible. Any municipal fees paid prior to approval of the CIP and the submission of the grant application do not qualify.

The planned redevelopment of the building and property conforms with the University Avenue and Wyandotte Street CIP and assists the City in the achievement of a number of the CIP objectives.

Planning Act Matters: N/A

Approvals:

Name	Title
Josie Gualtieri	Financial Planning Administrator
Michael Cooke	Manager of Planning Policy / Deputy City Planner
Thom Hunt	City Planner / Executive Director, Planning & Development Services
Wira Vendrasco	Deputy City Solicitor, Legal Services & Real Estate
Shelby Askin Hager	Commissioner of Legal and Legislative Services
Janice Guthrie	Deputy Treasurer, Taxation and Financial

Name	Title
	Planning
Joe Mancina	Commissioner, Corporate Services Chief Financial Officer / City Treasurer
Jason Reynar	Chief Administrative Officer

Notifications:

Name	Address	Email
Dev Singh		dev@aipl.com
Shabeg Singh		shabeg@aipl.com

Appendices:

- 1 Appendix A - Location Map
- 2 Appendix B - Proposed Facade Improvements
- 3 Appendix C - Existing Building Condition (June 2 and November 4, 2021)

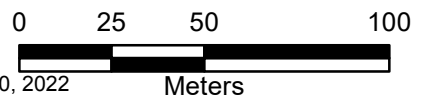


LOCATION MAP - 1200-20 UNIVERSITY AVENUE WEST



SUBJECT AREA

Development & Heritage Standing Committee - January 10, 2022
Page 173 of 250



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AIPL CANADA Mixed-Use Development: BLD B

1100 & 1200-1220 University Ave. W, Windsor, ON

Project No. **1835**

ARCHITECTURAL SHEETS

- A000 COVER SHEET
- A002 GENERAL INFORMATION & CODE COMPLIANCE
- A102 EXISTING & NEW FLOOR PLANS
- A103 ENLARGED PLANS AND SECTIONS - ADDITION
- A104 ROOF PLAN & DETAILS
- A105 PLAN DETAILS
- A401 EXISTING EXTERIOR ELEVATIONS
- A402 EXISTING BRICK ELEVATIONS - IMAGES
- A403 NEW EXTERIOR ELEVATIONS
- A404 WINDOW / CURTAIN WALL ELEVATIONS
- A501 BUILDING SECTIONS
- A601 WALL SECTIONS & DETAILS



Issued For	(YYYY.MM.DD)
SITE PLAN CONTROL	2020.03.16
SITE PLAN CONTROL	2020.08.31
PERMIT-SHELL	2021.01.05
PERMIT UPDATE & CONSTRUCTION	2021.09.23

Date

Revision Schedule
Description

No.

Sheet Name
COVER SHEET

AIPL CANADA
Mixed-Use Development: BLD B
1100 & 1200-1220 University Ave. W, Windsor,
ON

Drawn By: AI Checked By: AI
Project No: 1835

Sheet No

A000

BUILDING CODE MATRIX

Firm Name: Architectura Inc. Architects
Certificate of Practice Number: 3267
180 Eugenie St. W. Windsor, ON N9X 2X6
The Certificate of Practice Number of the holder is the holder's BCDN.

Table with columns: Item, Ontario Building Code Data Matrix Parts 3 & 9, OBC Reference. Rows include Project Description, Major Occupancy(s), Building Area, etc.

Table with columns: Required Fire Resistance Rating (FRR), Horizontal Assemblies, Listed Design No. or Description (SG-2). Rows include Floors, Roof, Mezzanine.

Table with columns: Spatial Separation - Construction of exterior Walls, Wall, Area of EBF, L.D., L/H, Permitted Max. % of Openings, Proposed % of Openings, FRR (Hours), Listed Design or Description, TYPE OF CONSTRUCTION REQUIRED, TYPE OF CLADDING REQUIRED.

Table with columns: Fire Resistance Ratings, Construction Type Used, Required Rating, OBC Reference. Rows include Exits, Floors, Service rooms w/ fuel fired appliances.

Table with columns: Plumbing Fixtures, OCCUPANTS, LOAD, FIXTURE TYPE, REQUIRED, PROVIDED. Rows include MALE, FEMALE.

CODE COMPLIANCE LEGEND

EXAMPLE: OCCUPANCY CALCULATION
OFFICE 9.3, 15, *1
STAIR 914, 790, 1270, 900, 149
NEW FIRE SEPARATIONS - NUMBER INDICATES FIRE-RESISTANCE RATING IN HOURS
EXISTING FIRE SEPARATIONS - NUMBER INDICATES FIRE-RESISTANCE RATING IN HOURS

ARCHITECTURAL LEGEND

Table with columns: ABBREVIATIONS, SYMBOLS, ROOM NAME. Rows include ACC, ACP, ACT, ADO, AL, AN, AFF, ARS, etc.

WALL TYPE LEGEND

Table with columns: TYPE, SECTION, DESCRIPTION. Rows include W1, W2, W3, W4, W5.

ROOF TYPE LEGEND

Table with columns: TYPE, SECTION, DESCRIPTION. Rows include R1, R2.

CEILING, SOFFIT & BULKHEAD LEGEND

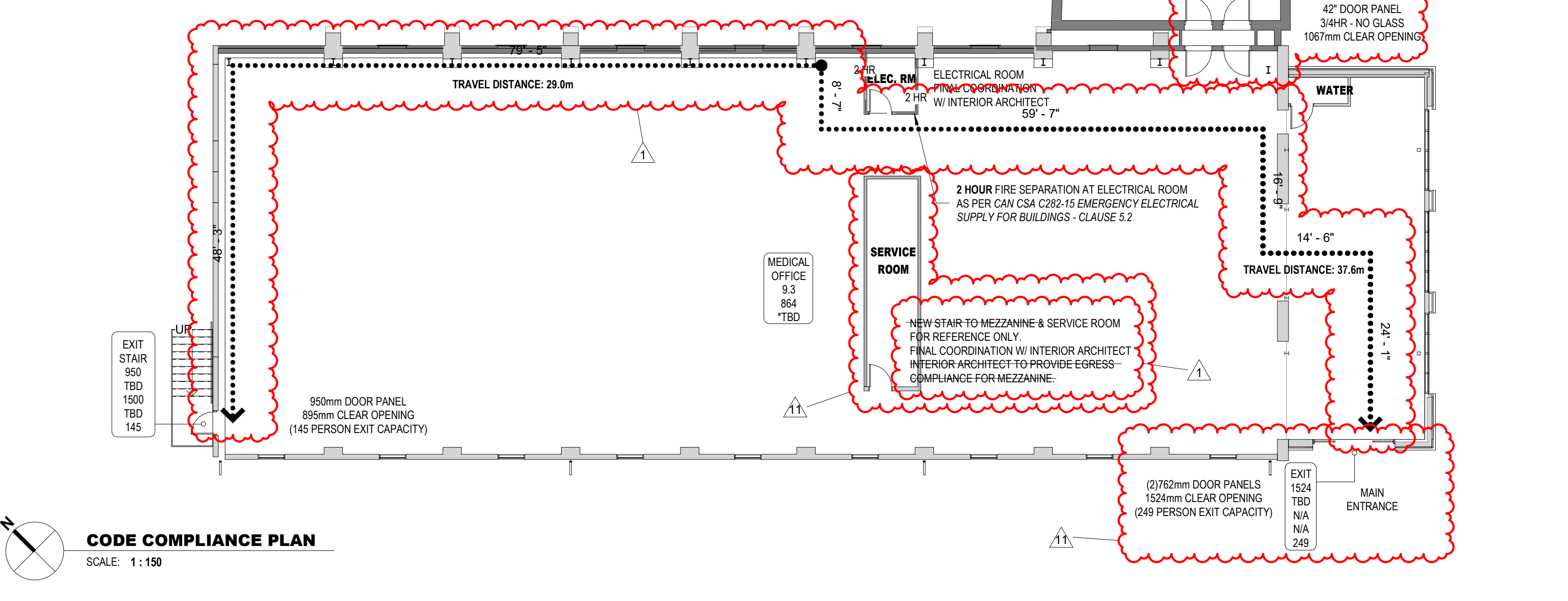
Table with columns: TYPE, DISPLAY/ GRAPHIC, DESCRIPTION. Row includes C-1.

SHOP DRAWINGS AND SUBMITTALS:

- a) SUBMIT 5 (FIVE) COPIES OF ALL SHOP DRAWINGS AND SUBMITTALS.
b) SHOP DRAWINGS AND/OR SUBMITTALS THAT REQUIRE CERTIFICATION BY QUALIFIED PROFESSIONAL ENGINEER...
c) SHOP DRAWINGS THAT REQUIRE CERTIFICATION BY A PROFESSIONAL ENGINEER...
d) THE CONTRACTOR SHALL ALLOW THE CONSULTANT AN MINIMUM OF 10 WORKING DAYS TO REVIEW SHOP DRAWINGS...
e) NO WORK SHALL BE COMMENCED OR MATERIAL ORDERED FOR WORK REQUIRING SHOP DRAWING SUBMISSION UNTIL THE SUBMISSION HAS BEEN RETURNED TO THE CONTRACTOR BEARING THE STAMP OF THE CONSULTANT.
f) THE FOLLOWING ITEMS REQUIRE SHOP DRAWING AND/OR SUBMISSION.

Table with columns: ITEM, ENGINEERS STAMP REQ'D, COMMENTS. Rows include REINFORCING STEEL, CONCRETE MIX DRAWINGS, etc.

CODE COMPLIANCE PLAN
SCALE: 1 : 150



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GENERAL INFORMATION & CODE COMPLIANCE

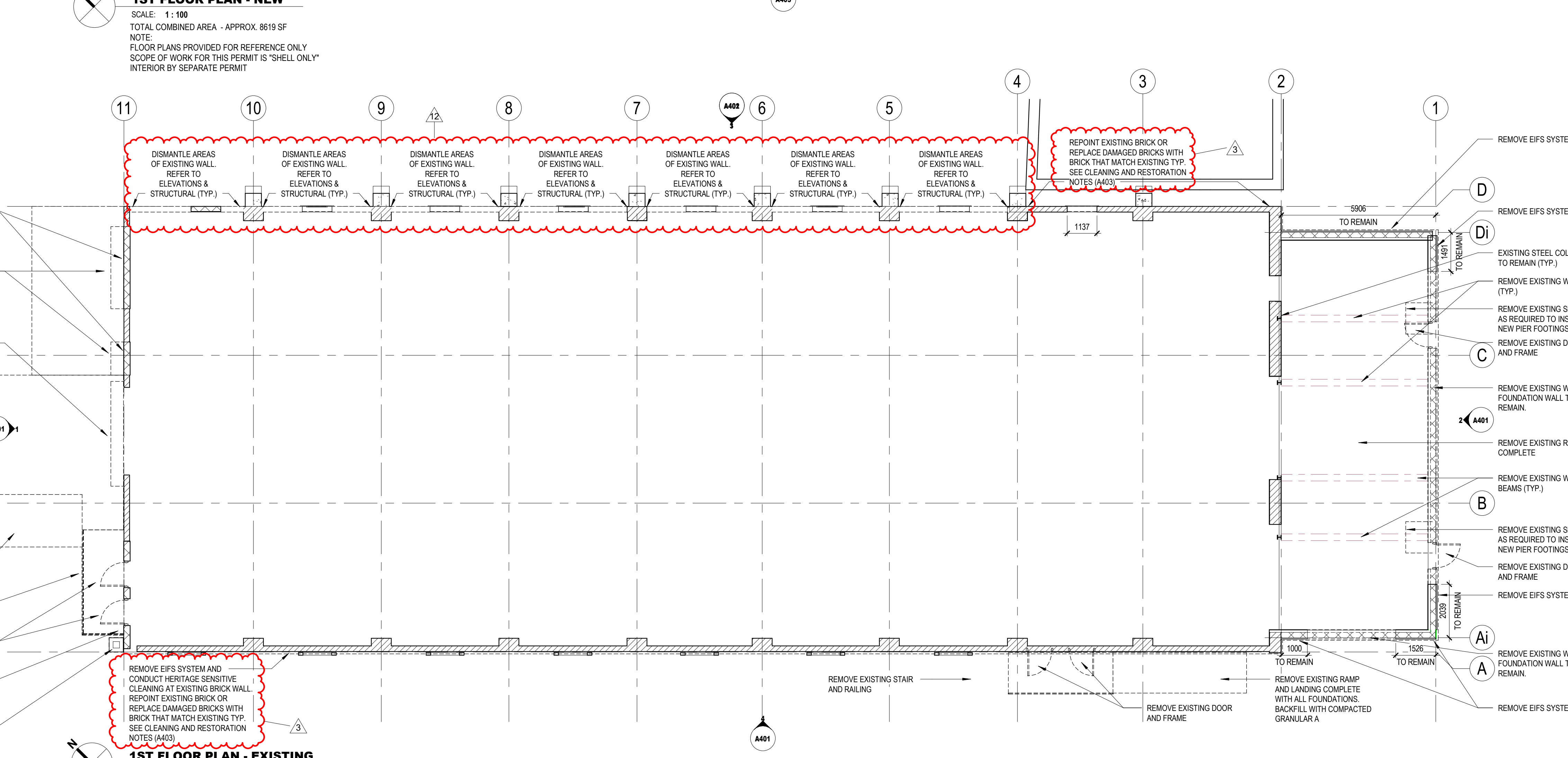
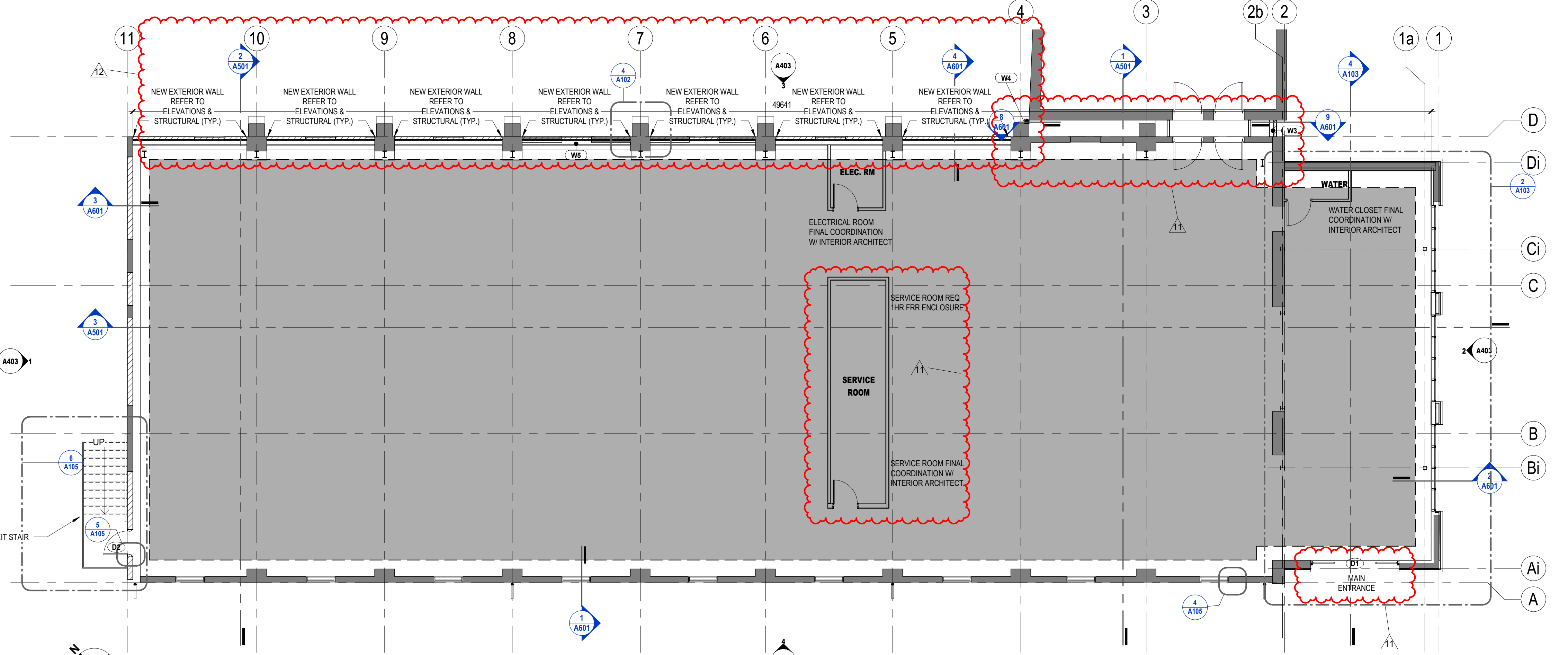
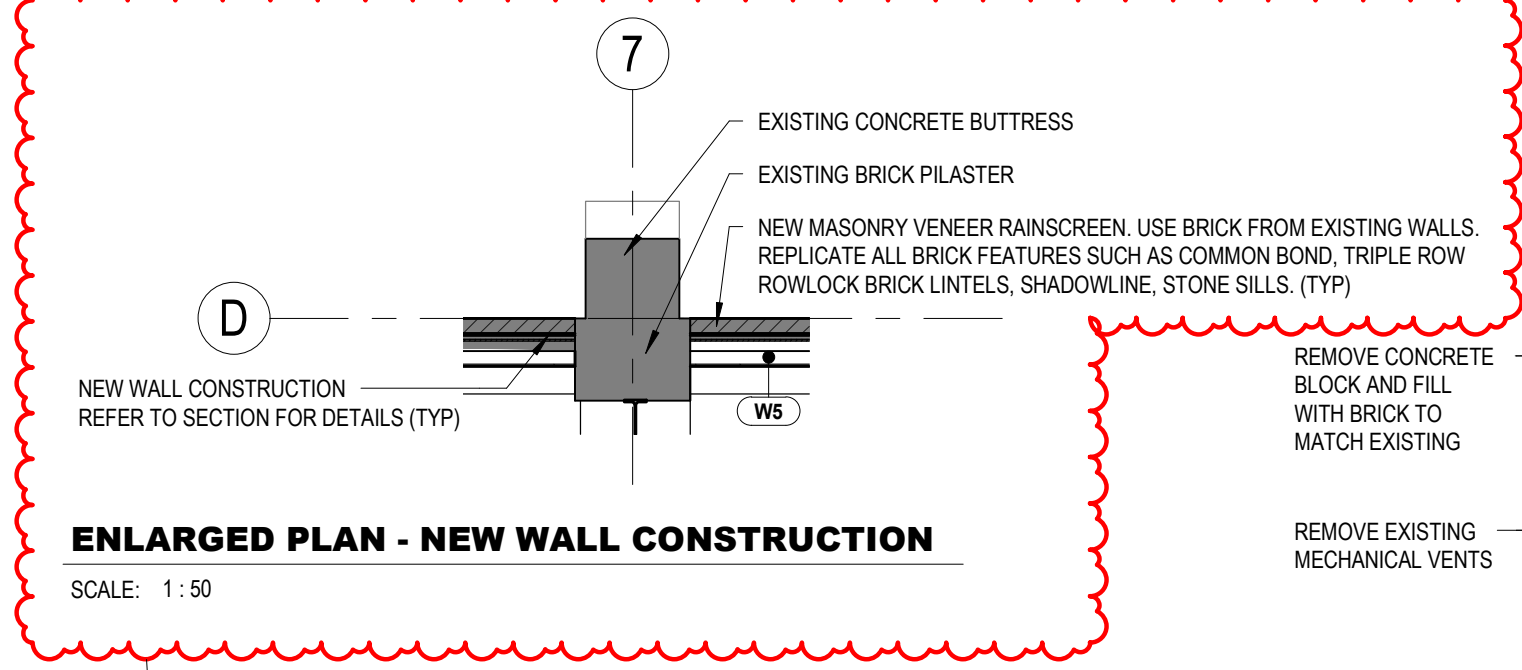
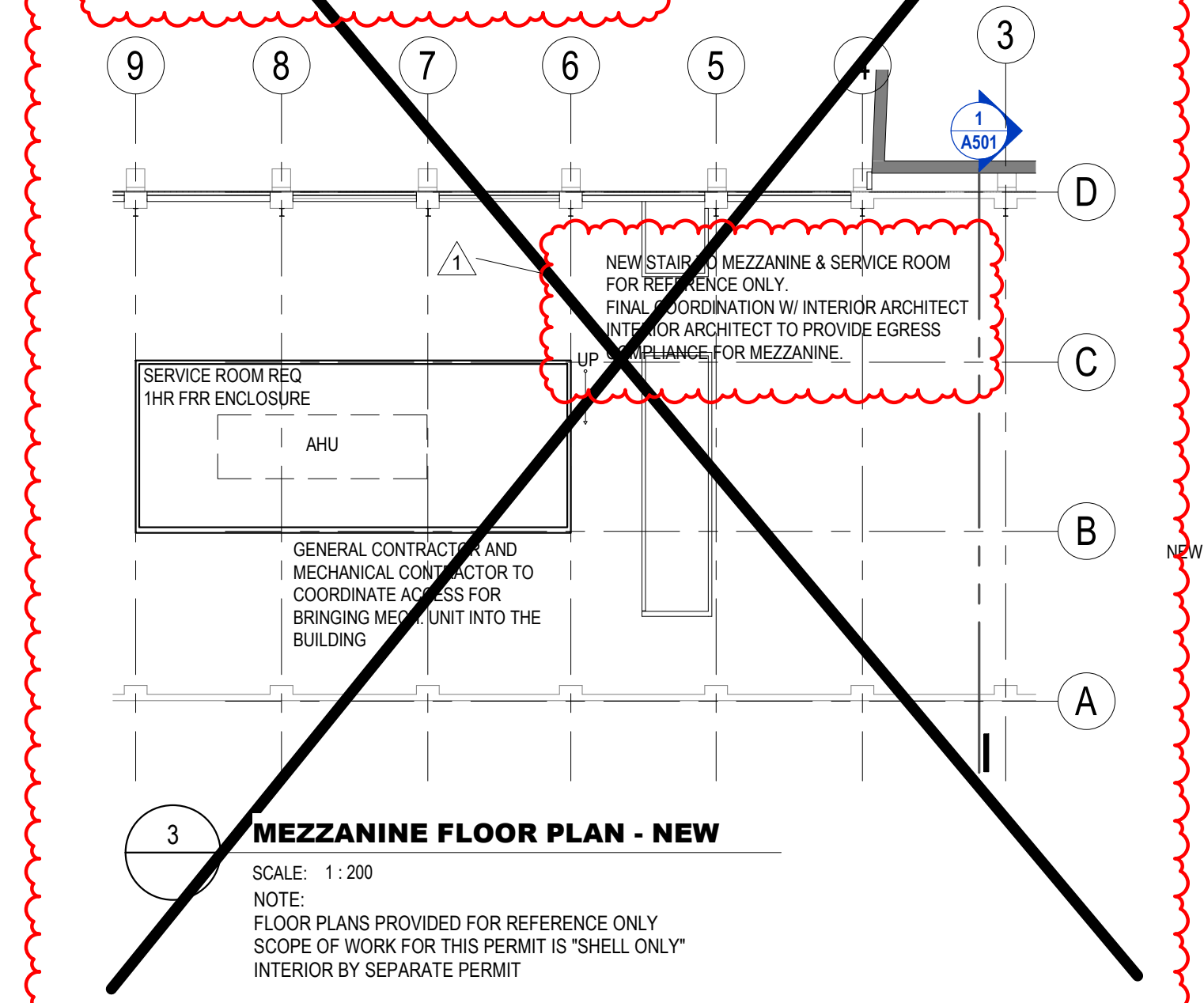
AIPL CANADA
Mixed-Use Development: BLD B

1100 & 1200-1220 University Ave. W. Windsor, ON
Date: 2021.01.13, 2021.01.23, 2021.09.23, 2021.10.26
Revision Schedule: Description

Sheet No: A002

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NOTE:
DO NOT INSTALL AIR HANDLING UNIT ON MEZZANINE.
AND OUTDOOR CONDENSER UNIT ON ROOF OF EXISTING BUILDING BEFORE STRUCTURAL REINFORCEMENT OF MEZZANINE AND ROOF IS COMPLETED UNDER THE INTERIOR FIT-UP PERMIT.



1ST FLOOR PLAN - EXISTING
SCALE: 1:100
NOTE:
EXISTING FLOOR PLANS PROVIDED FOR REFERENCE ONLY
SCOPE OF WORK FOR THIS PERMIT IS "SHELL ONLY"
INTERIOR BY SEPARATE PERMIT

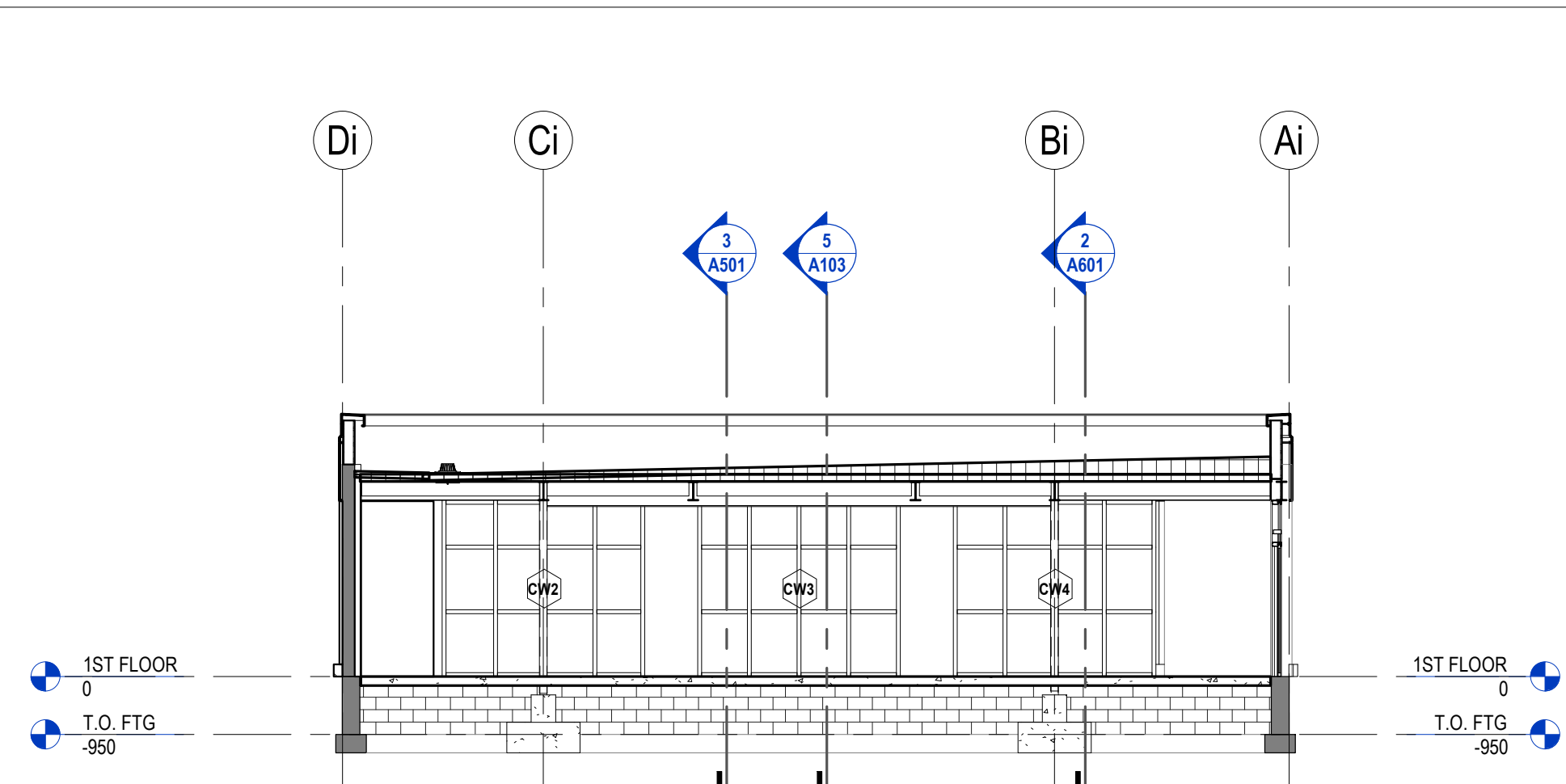
Revision Schedule

No.	Rev	Description	Date
1	Rev 1	2021.01.13	2021.01.13
3	Rev 3 - P12 - Draft SPC Approval Report	2021.03.25	2021.03.25
4	Comments on HVAC and Structural Reinforcement	2021.04.08	2021.04.08
11	Rev 11 - Coordination	2021.09.23	2021.09.23
12	Rev 12 - East Walls Structural Repair	2021.10.26	2021.10.26

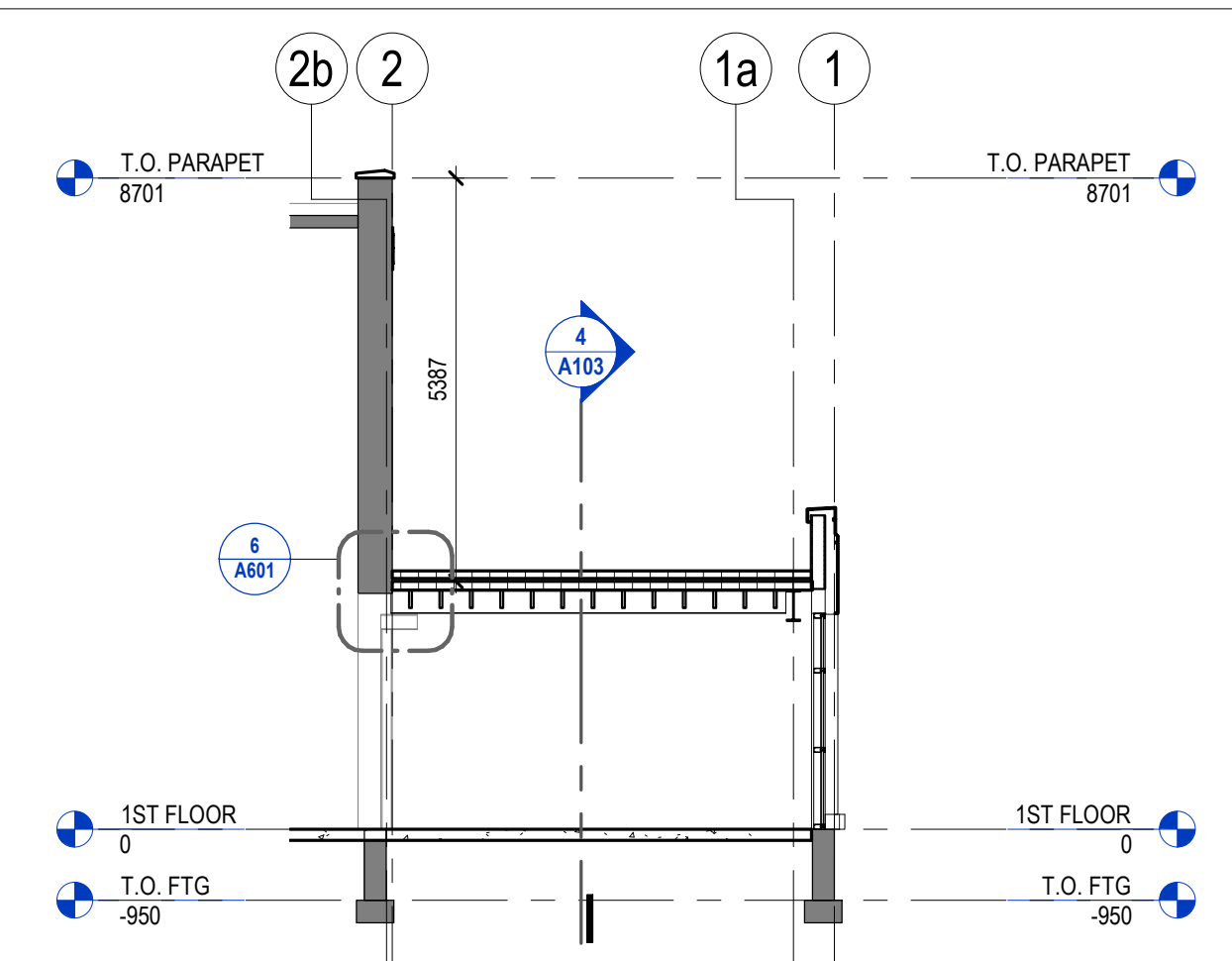
EXISTING & NEW FLOOR PLANS

AIPL CANADA
Mixed-Use Development: BLD B
1100 & 1200-1220 University Ave. W. Windsor, ON

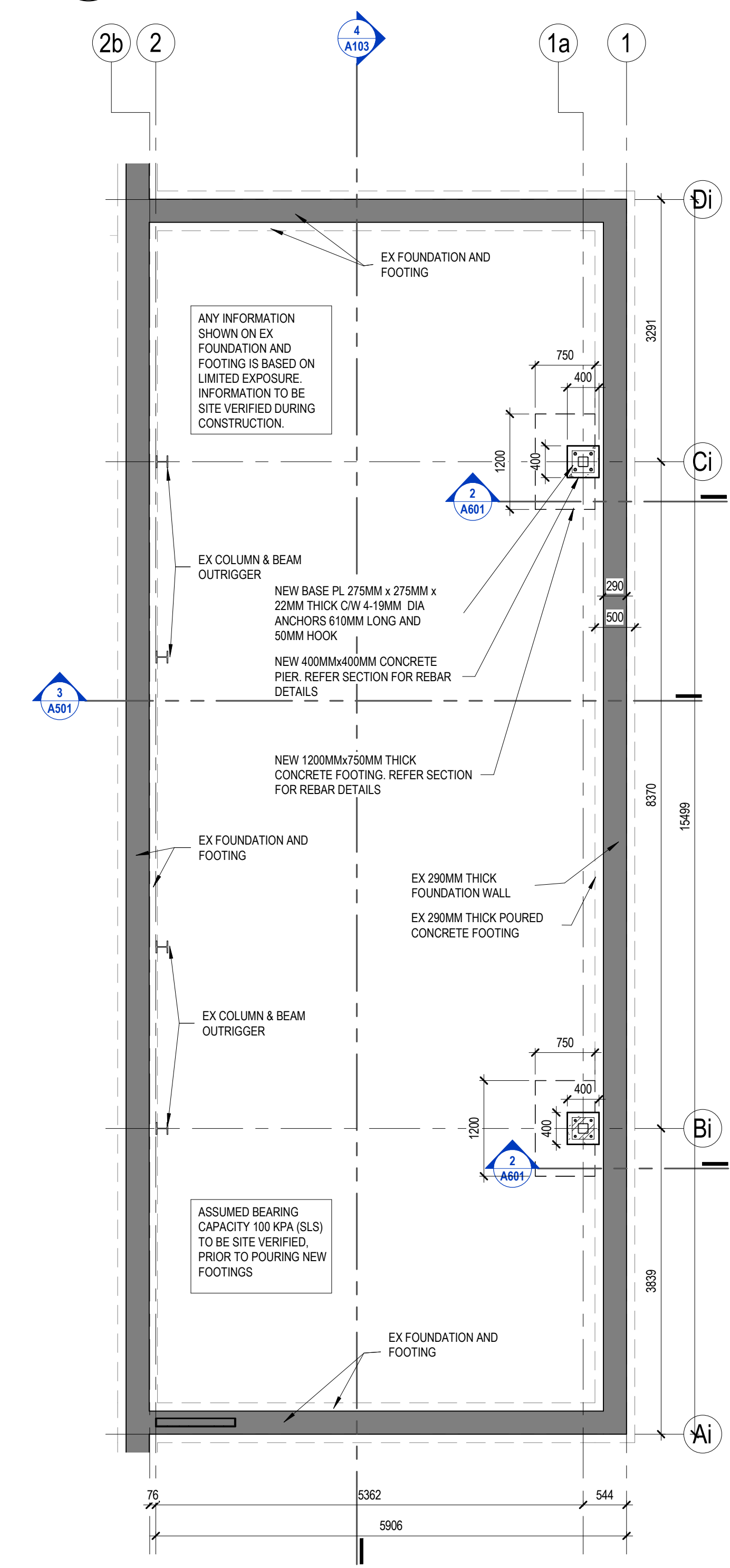
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Project No 1835
Sheet No



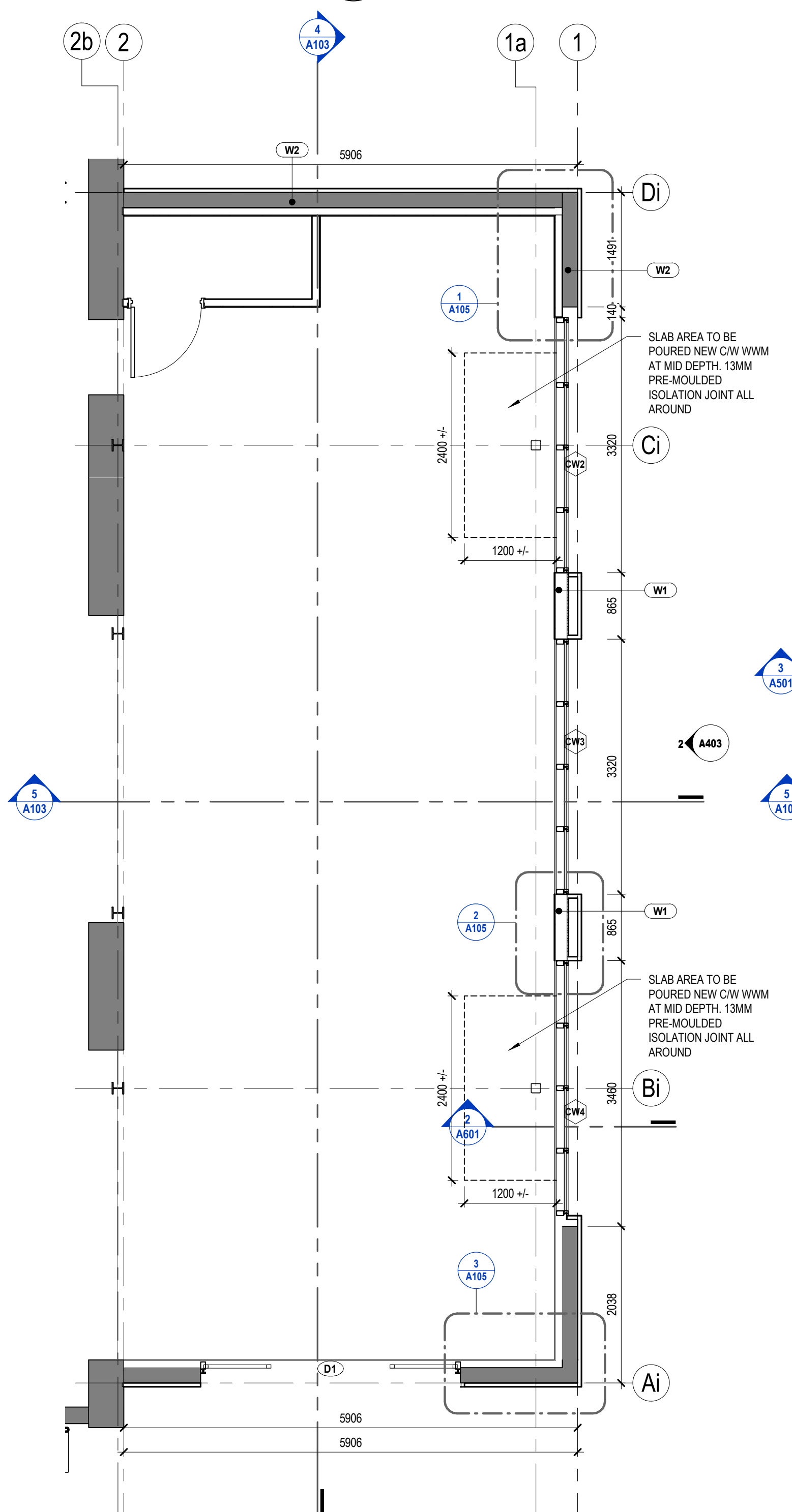
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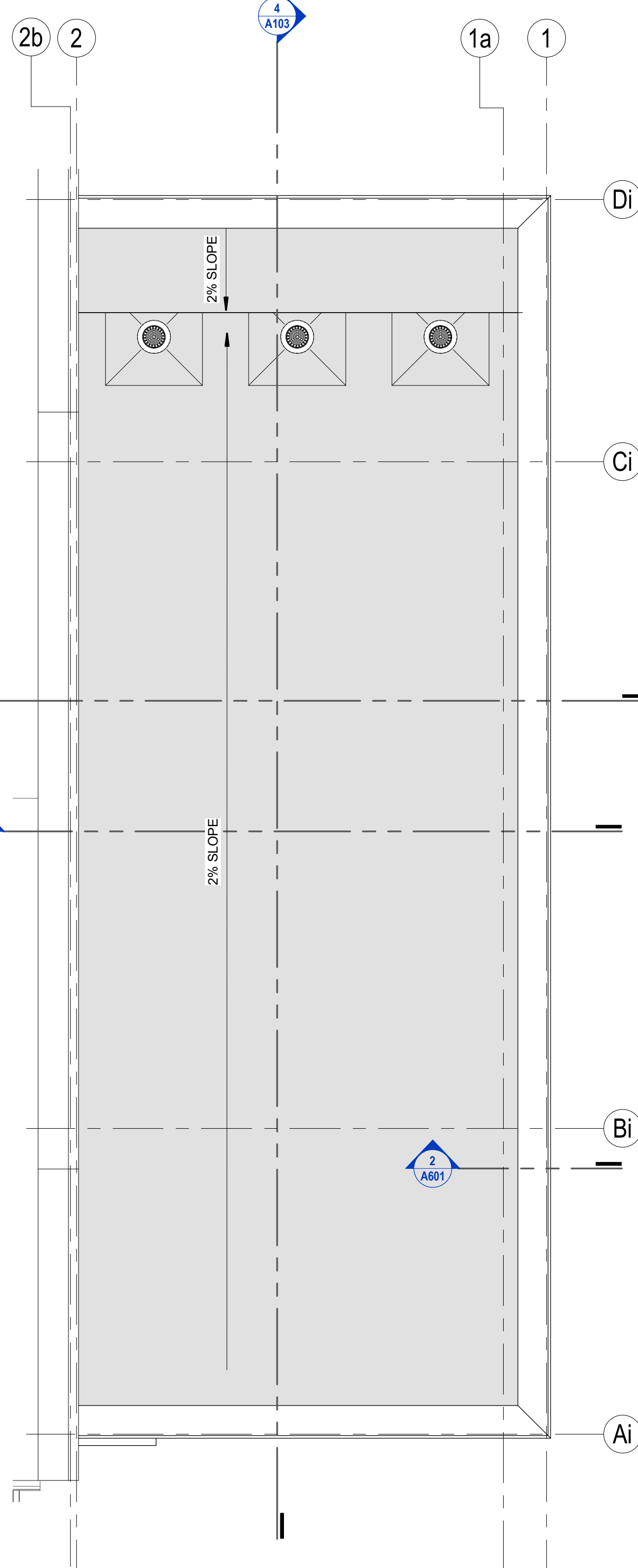
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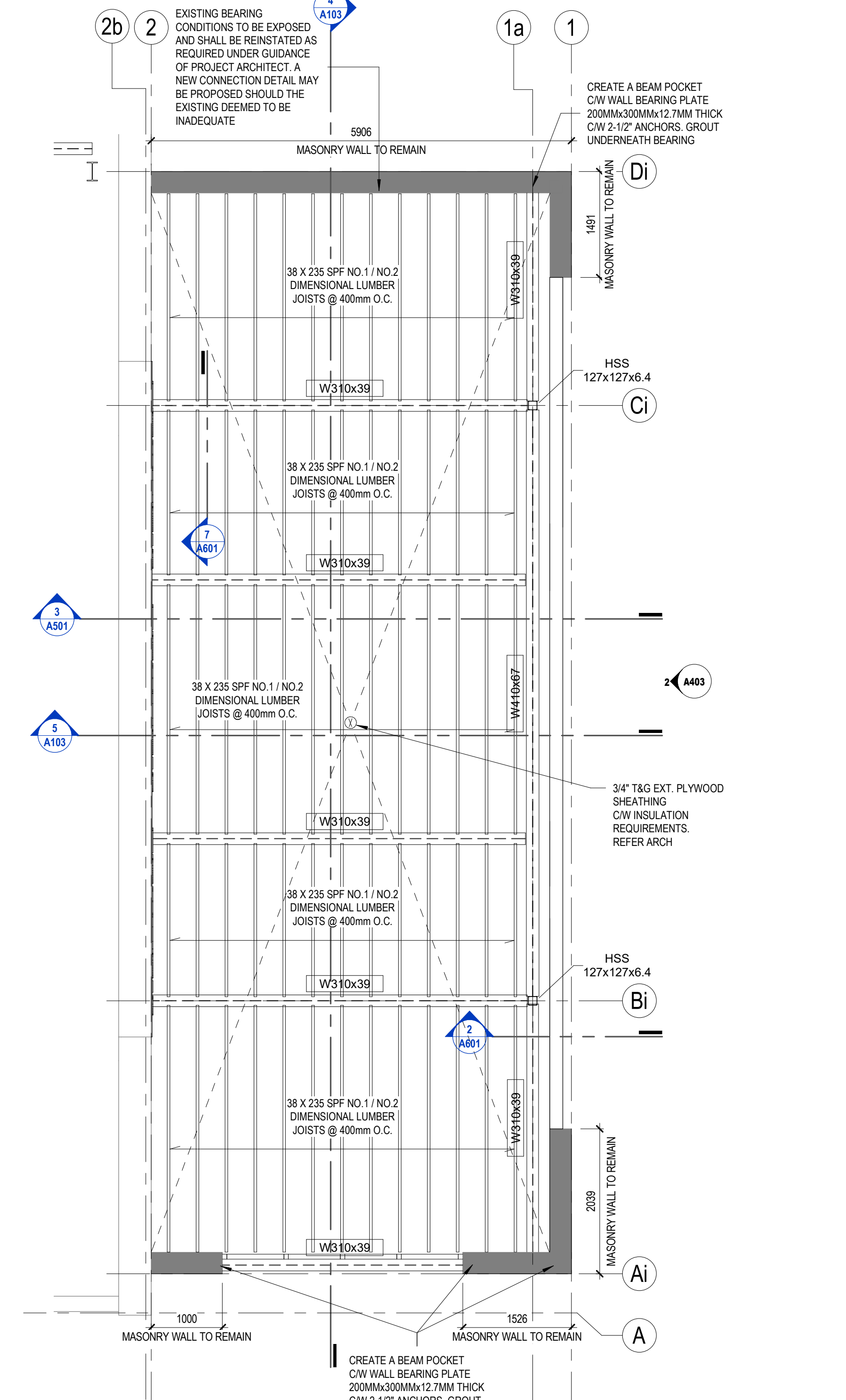
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2 ENLARGED 1ST FLOOR PLAN - NEW
SCALE: 1:50



3 ENLARGED ROOF PLAN - NEW
SCALE: 1:50



6 ENLARGED FRAMING PLAN - NEW
SCALE: 1:50

NOTE:
GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE
PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AND
FABRICATION OF STRUCTURAL STEEL

architectura
a+e
180 Eugene Street West
Windsor, ON N9K 2Z6
519.258.1300

ONTARIO ASSOCIATION OF ARCHITECTS
The drawing is not to be used for construction unless it is countersigned by the Project Architect.

Issued For: (YMM00)
PERMIT-SHELL: 21.01.05
PERMIT UPDATE & 21.09.23
CONSTRUCTION

Date	Revision Schedule	Description

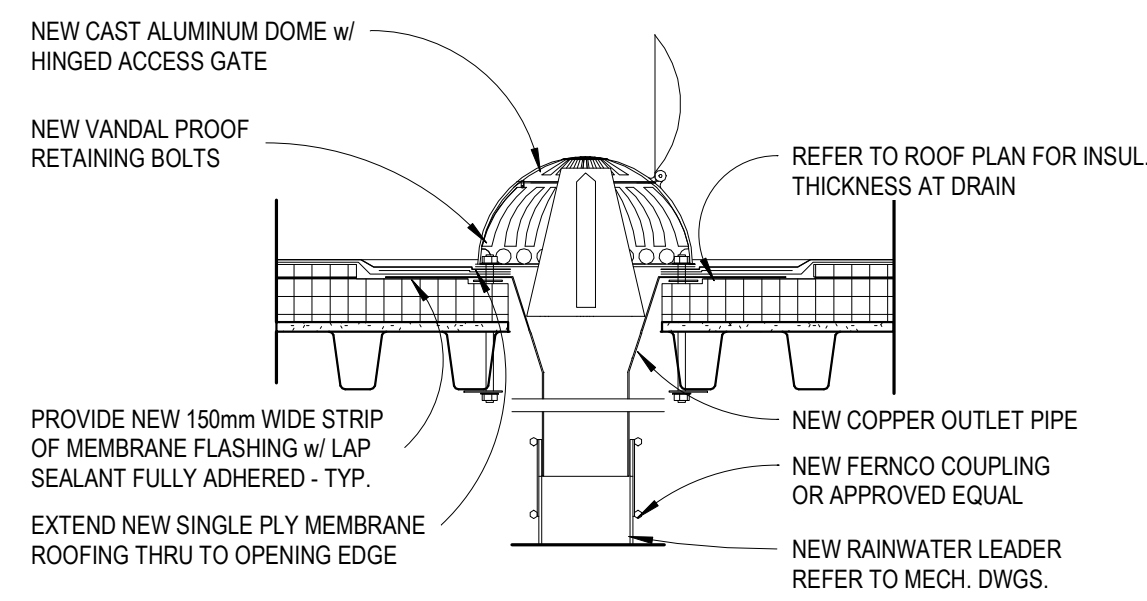
ENLARGED PLANS AND SECTIONS - ADDITION

AIPL CANADA
Mixed-Use Development: BLD B
1100 & 1200-1220 University Ave. W. Windsor, ON

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Author: [Blank] Checker: [Blank]
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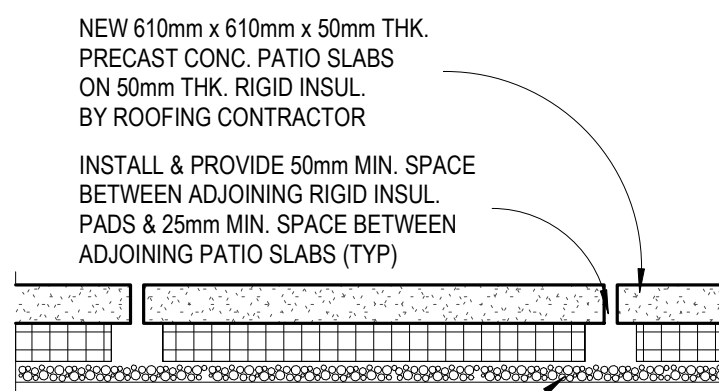
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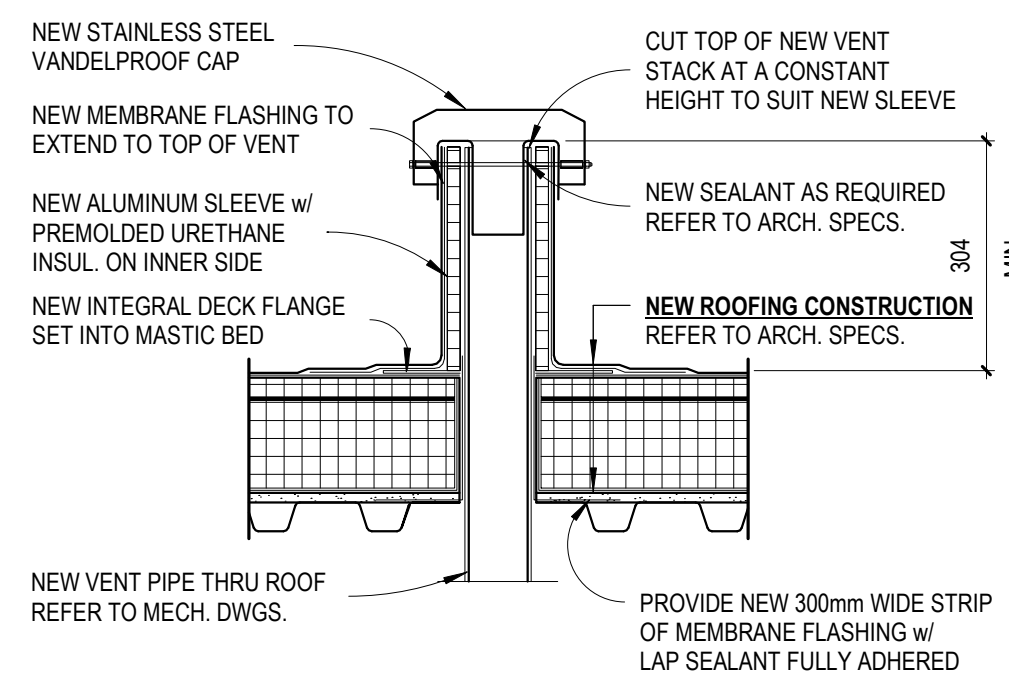
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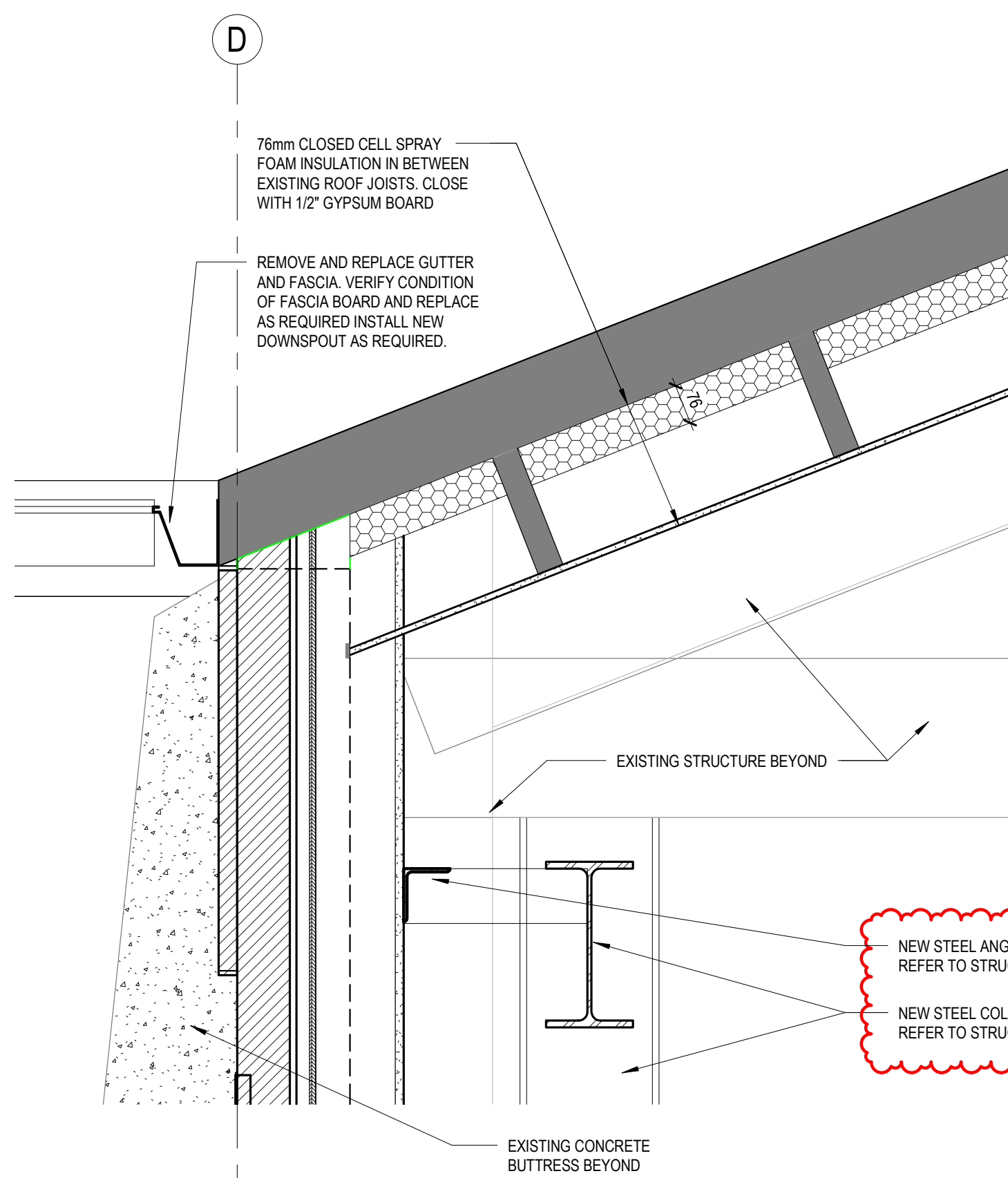
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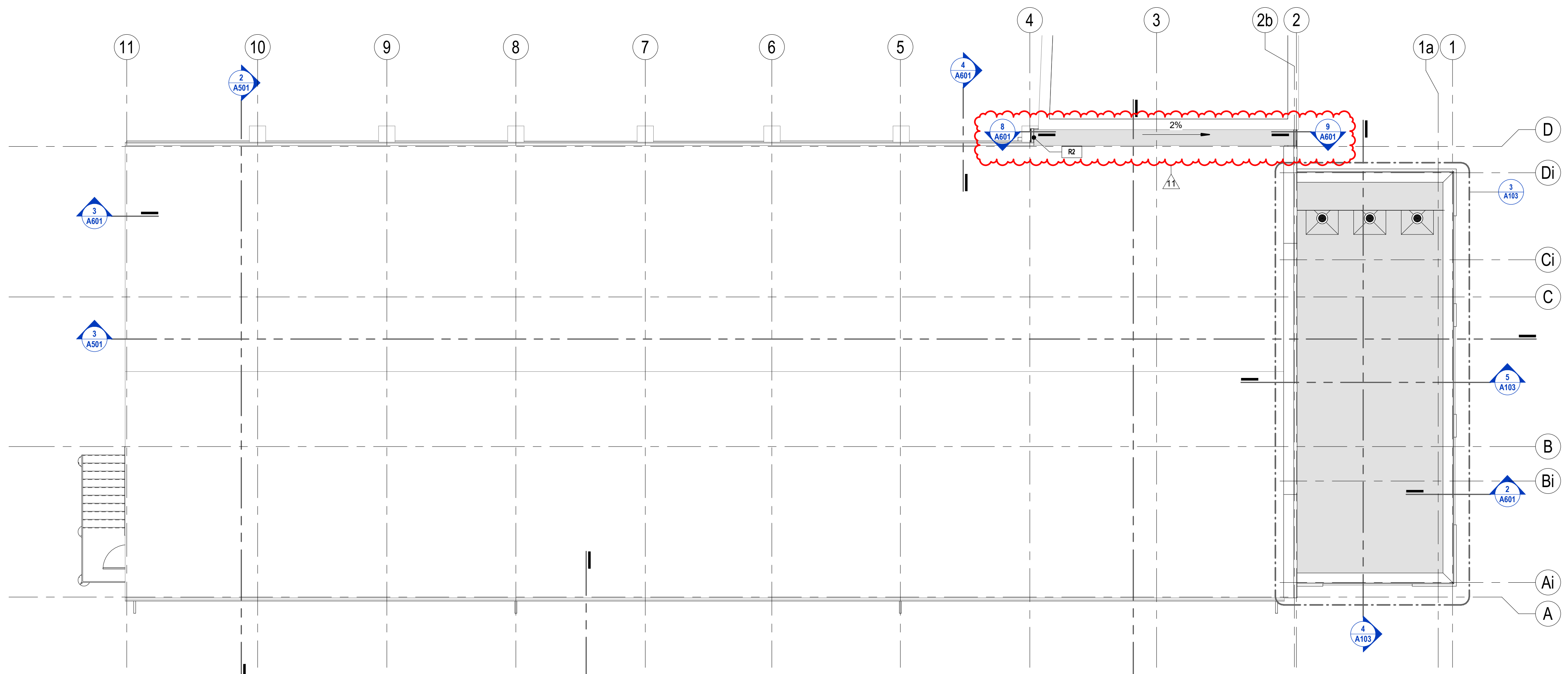
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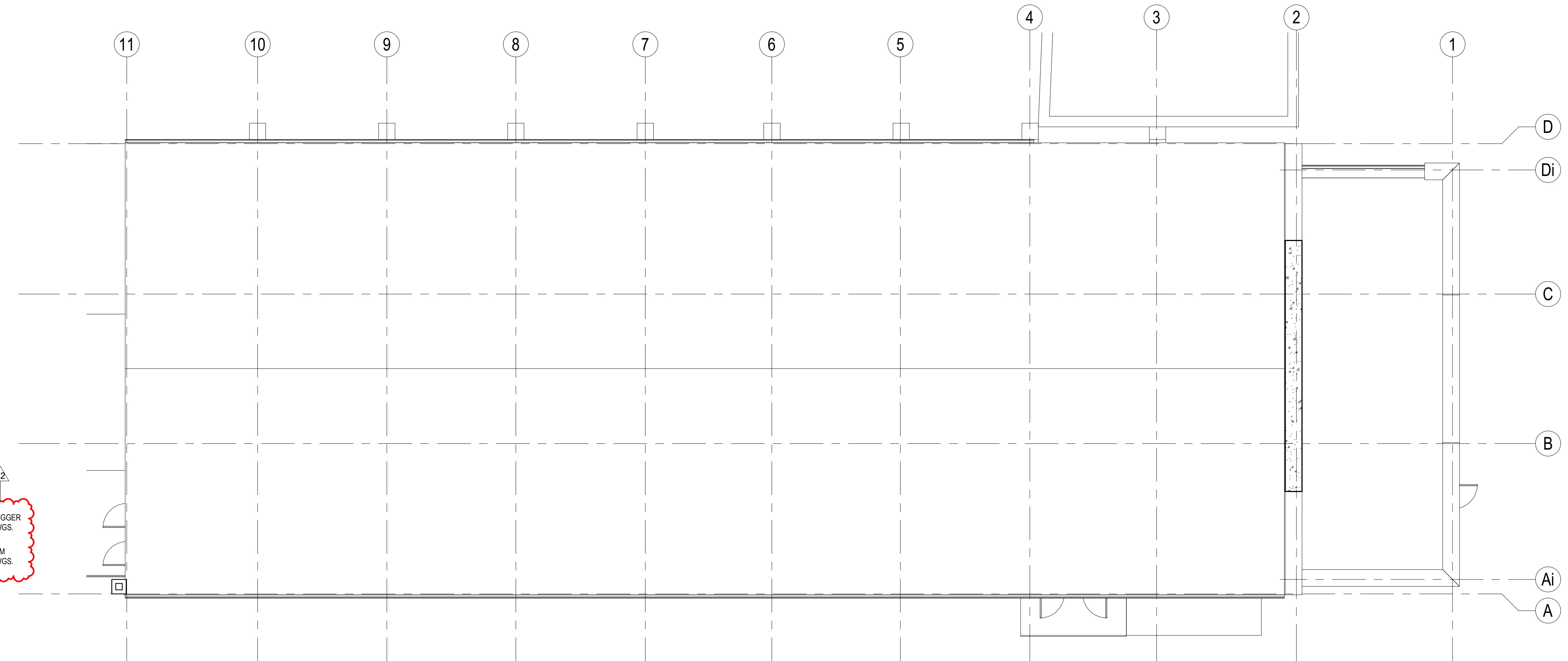
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SCALE: 1:100



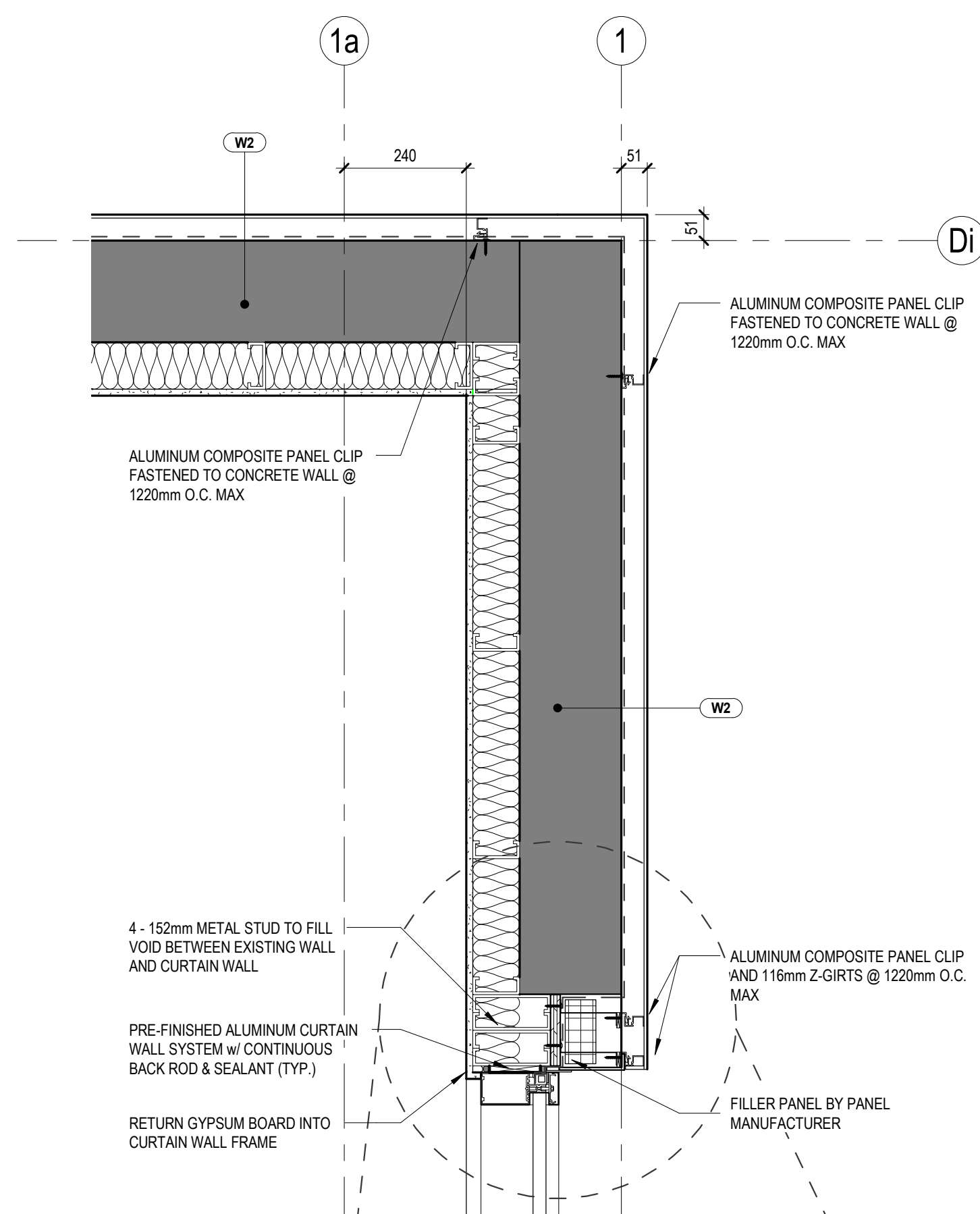
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SCALE: 1:100

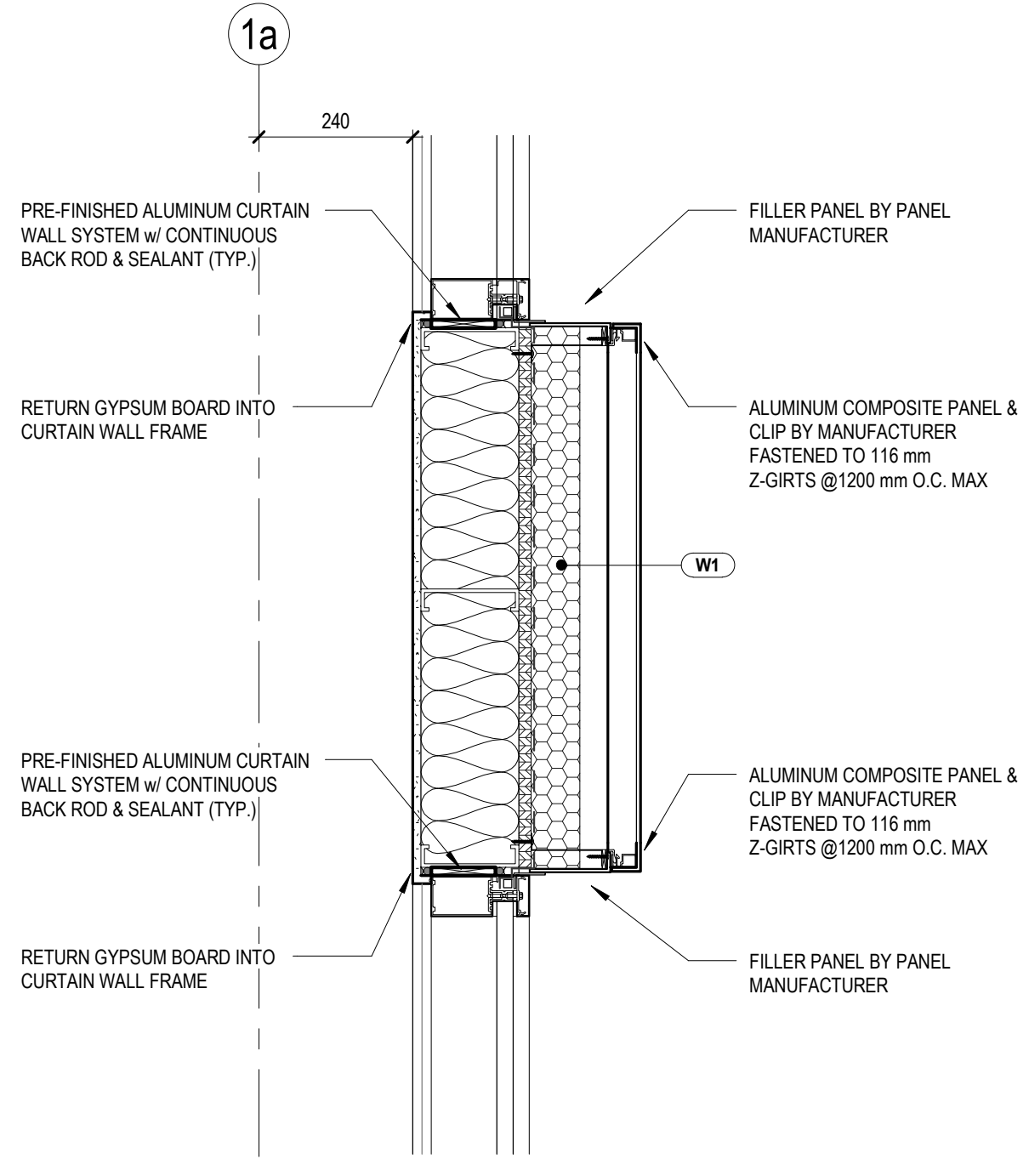
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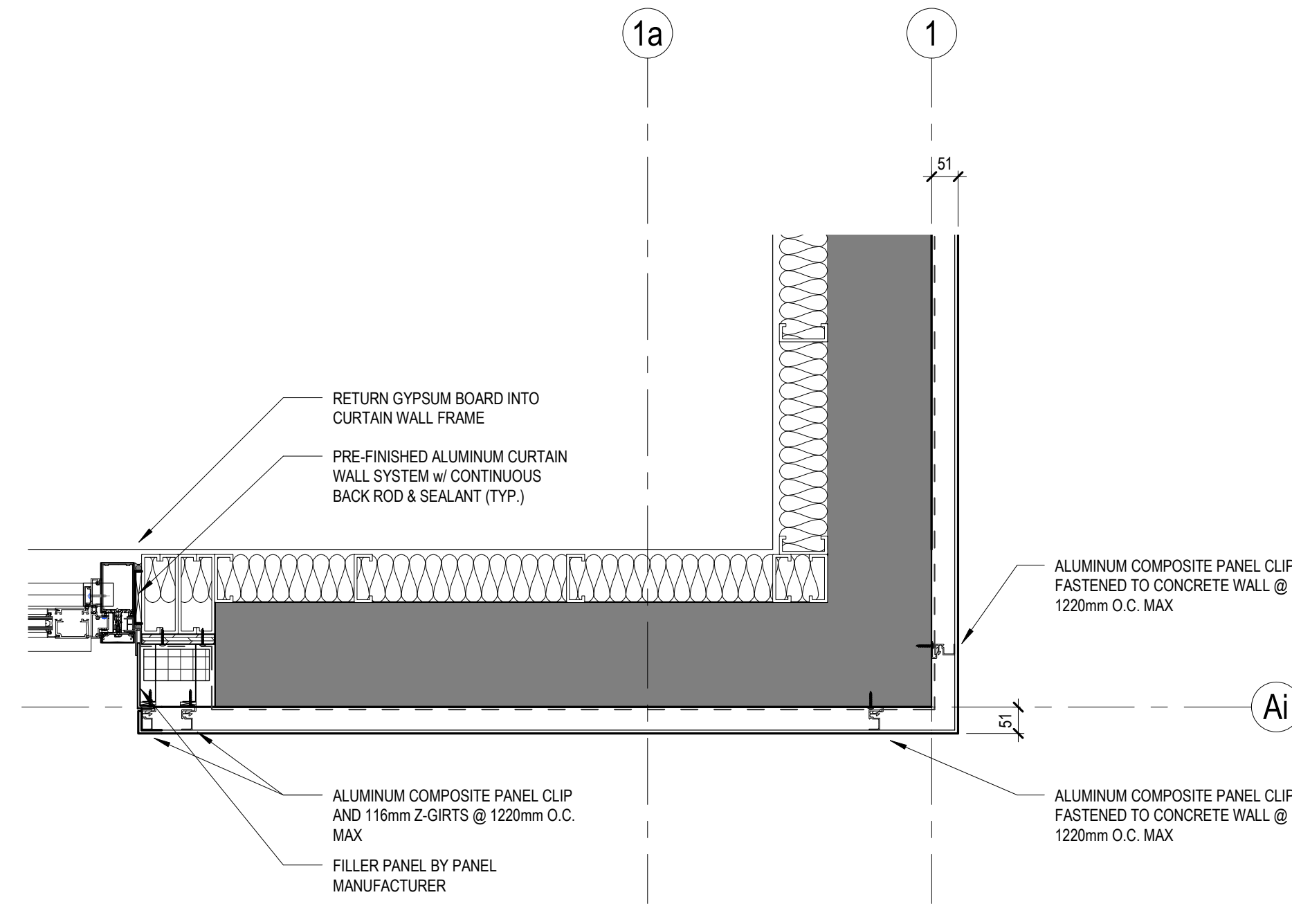
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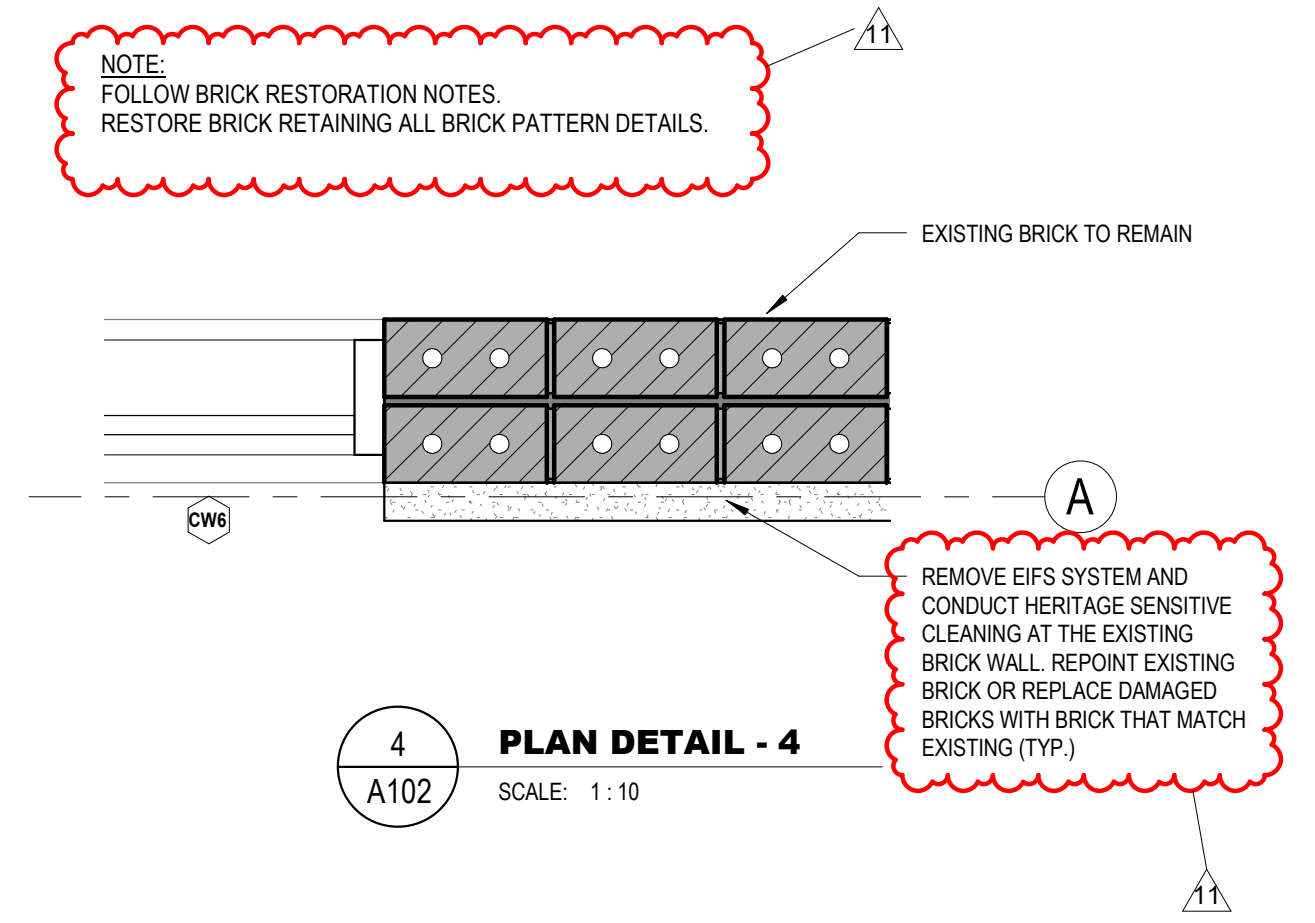
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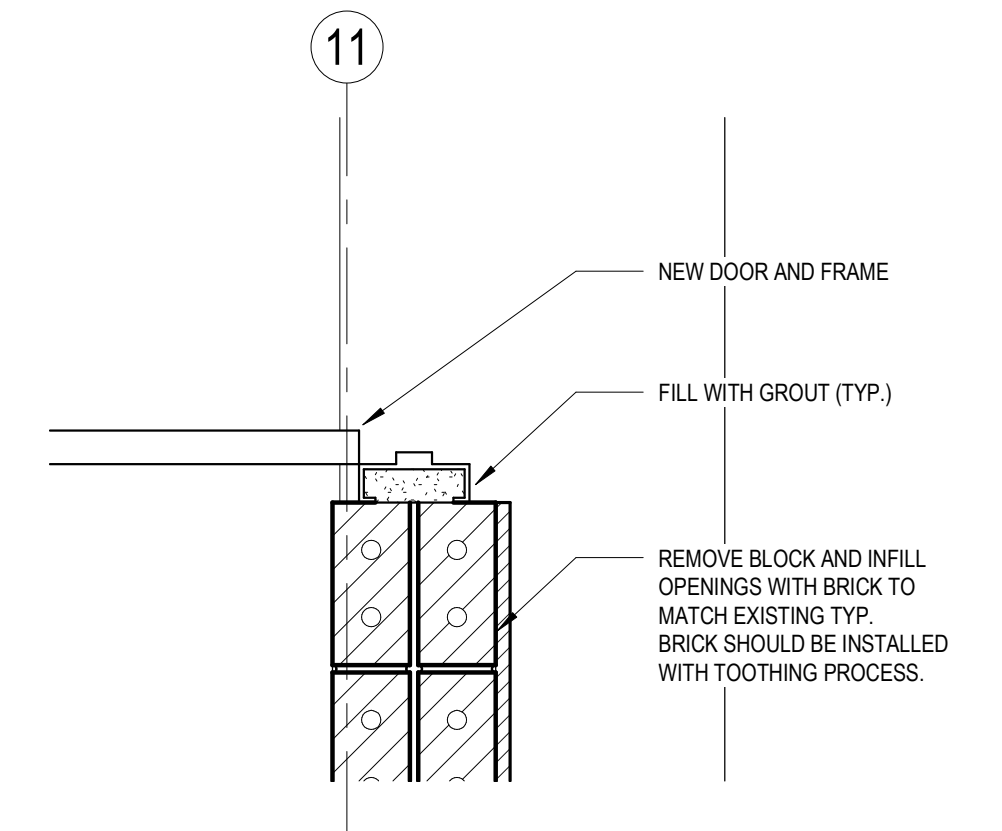
2 PLAN DETAIL - 2
A103 SCALE: 1:10



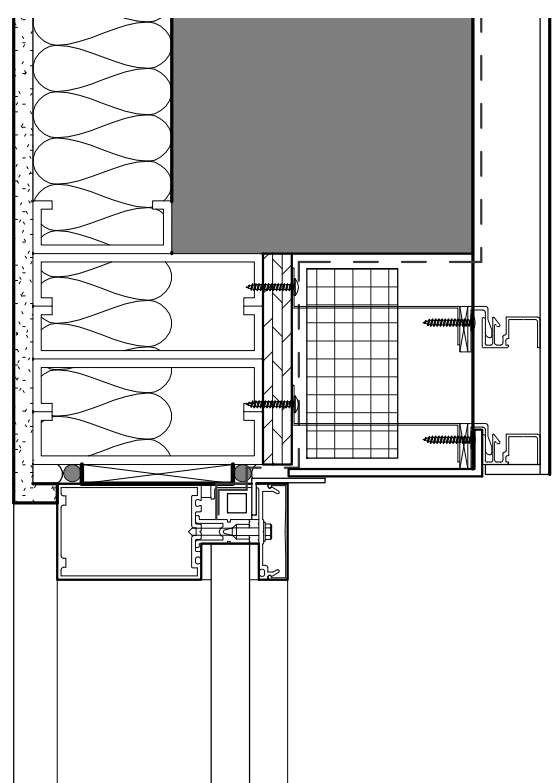
3 PLAN DETAIL - 3
A103 SCALE: 1:10



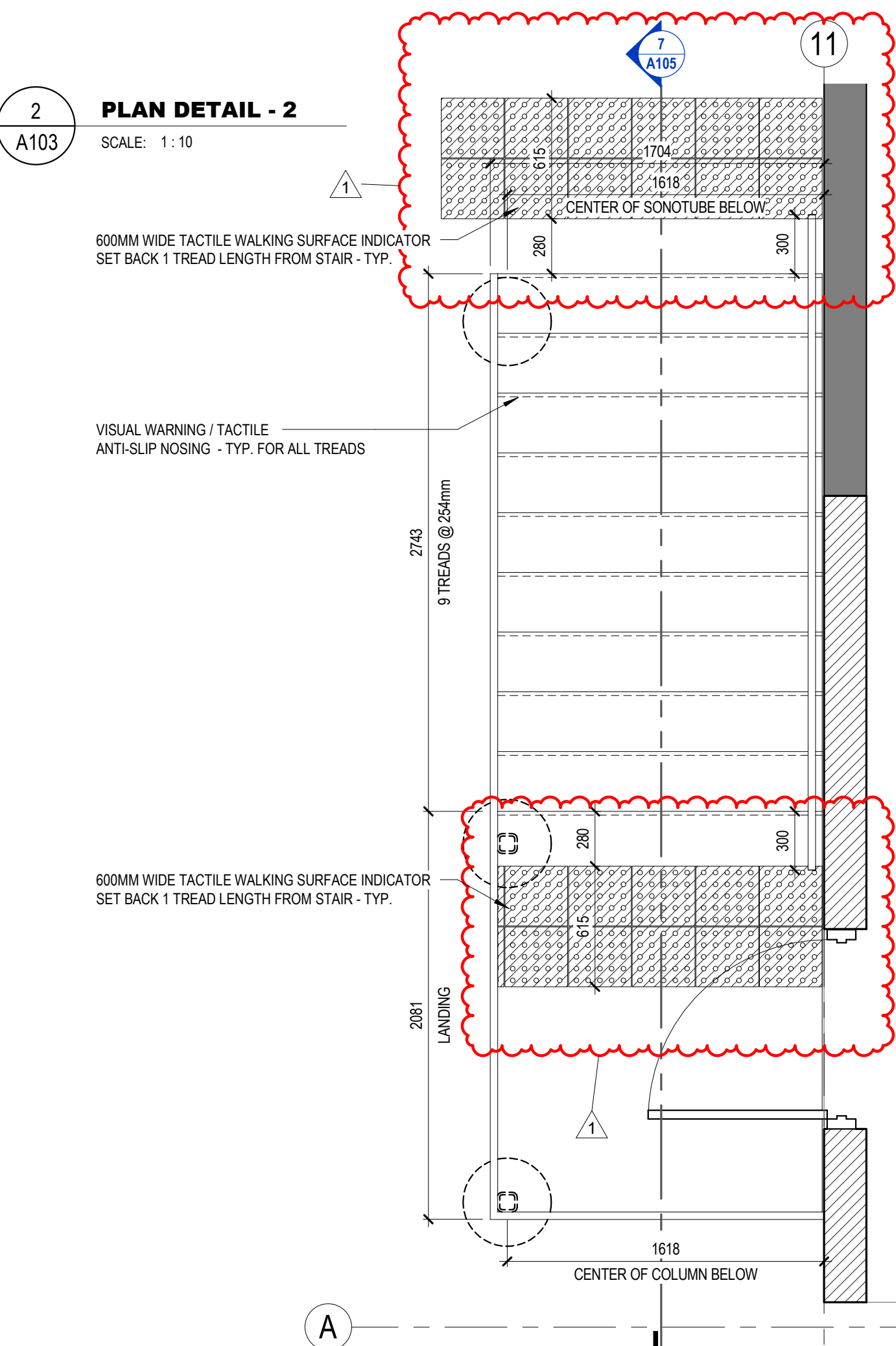
4 PLAN DETAIL - 4
A102 SCALE: 1:10



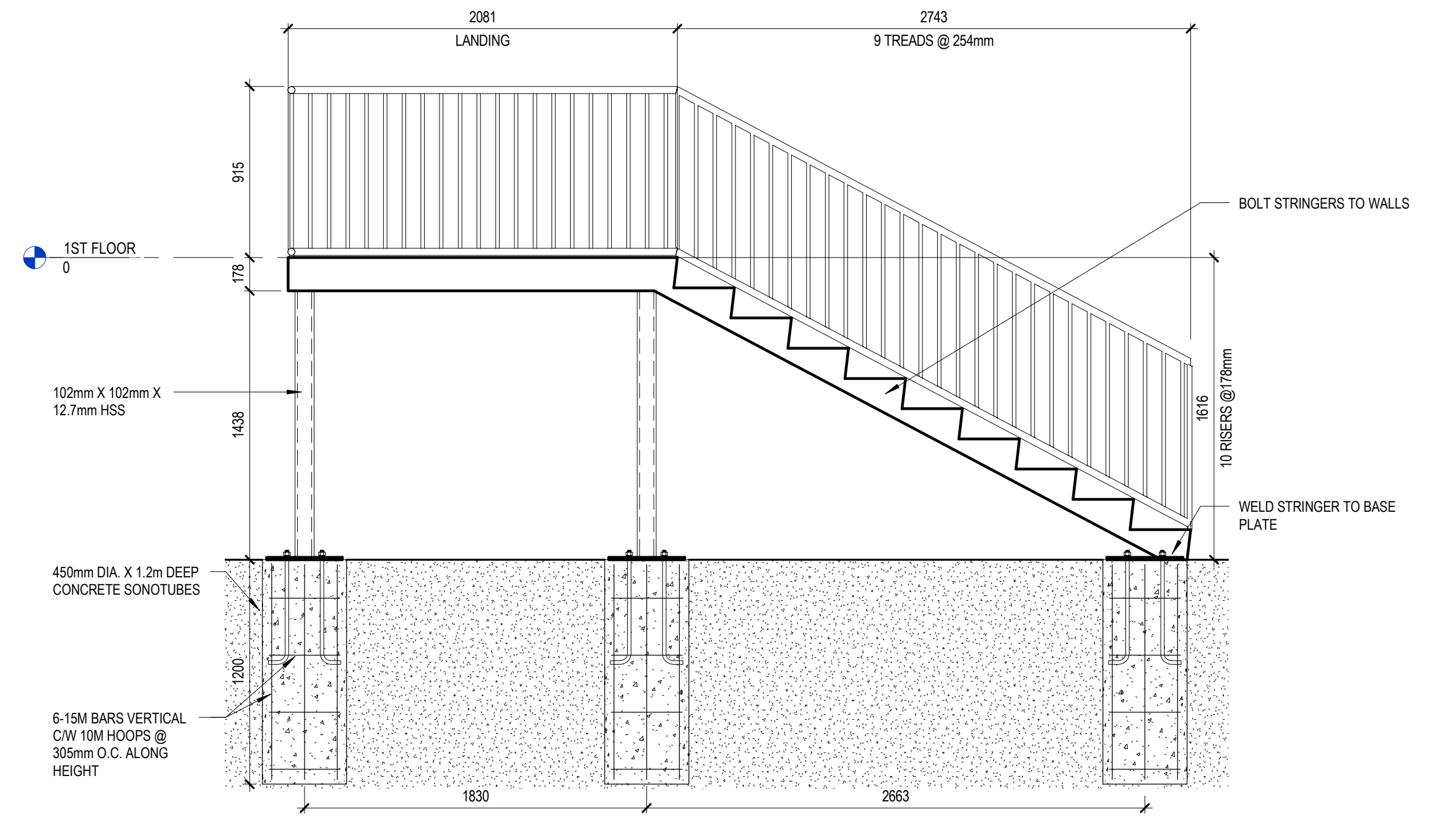
5 PLAN DETAIL - 5
A102 SCALE: 1:10



SCALE: 1:5



6 STAIR PLAN
A102 SCALE: 1:25



7 STAIR SECTION
A105 SCALE: 1:25

THIS DRAWING SHEET IS 30"X42" IN SIZE. IT IS RECOMMENDED THAT ANY REPRODUCTION, ELECTRONIC OR OTHERWISE, BE TO THE SAME SHEET SIZE TO ENSURE THE ACCURACY OF DRAWING SCALES DEPICTED ON THIS SHEET. THIS DRAWING IS NOT TO BE SCALED. USE FIGURED DIMENSIONS ONLY.

Issued For (YMMMO)
PERMIT-SHELL 21.01.05
R1 21.01.13
PERMIT UPDATE & CONSTRUCTION 21.09.23

Date
2021.01.13
2021.09.23

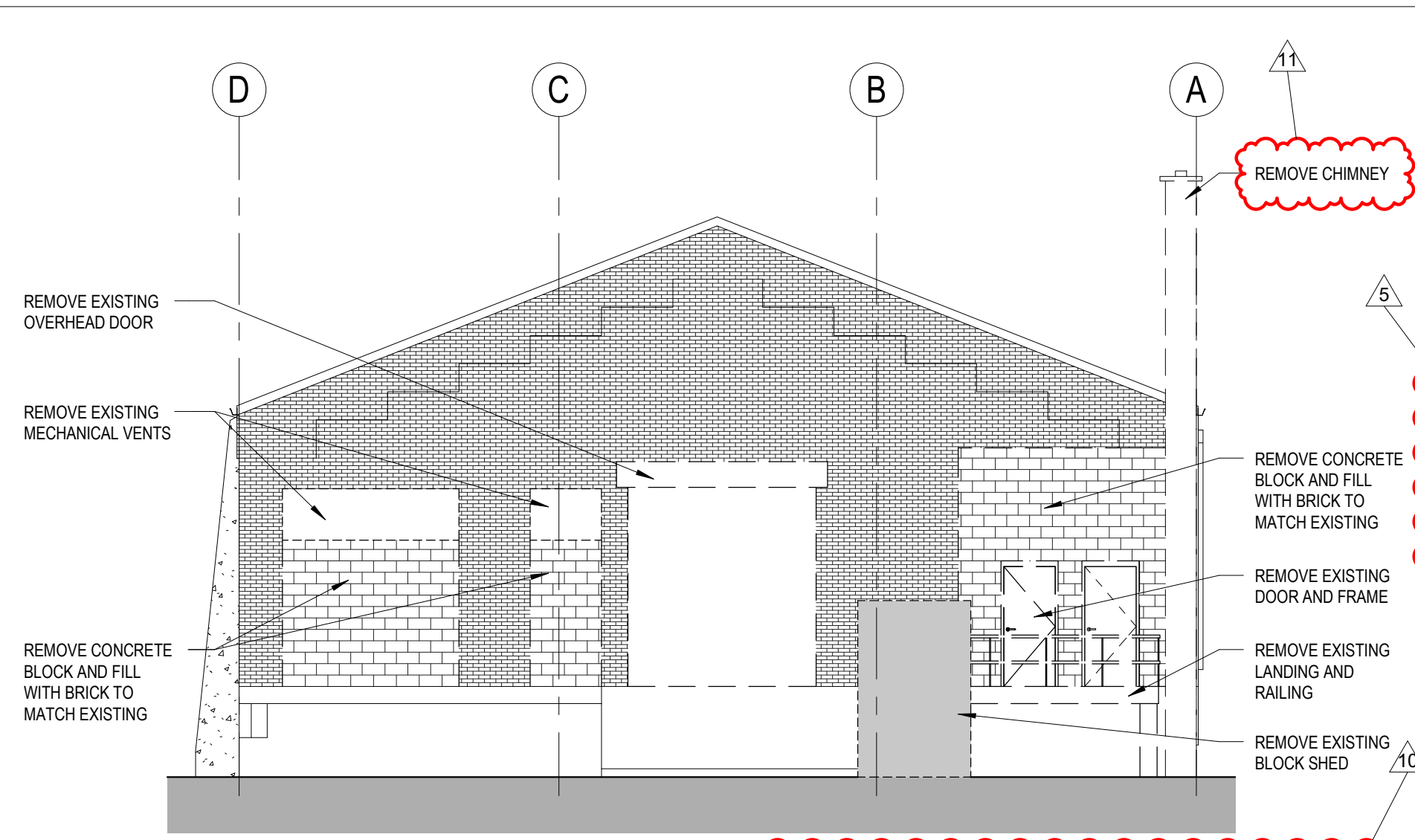
Revision Schedule
Description

No. 1 Rev 1
11 Rev 11 - Coordination

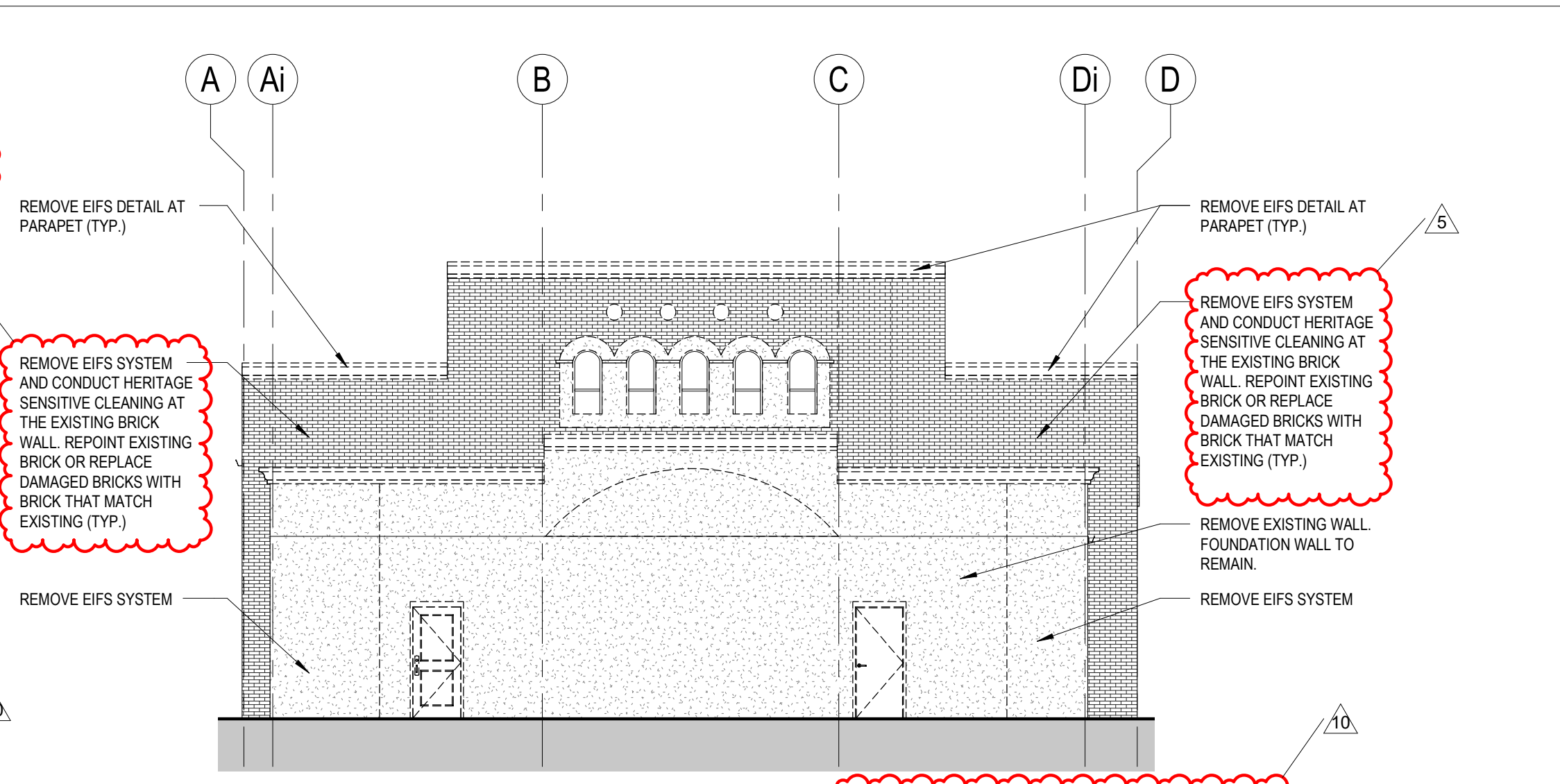
PLAN DETAILS

AIP/L CANADA
Mixed-Use Development: BLD B
1100 & 1200-1220 University Ave. W. Windsor, ON

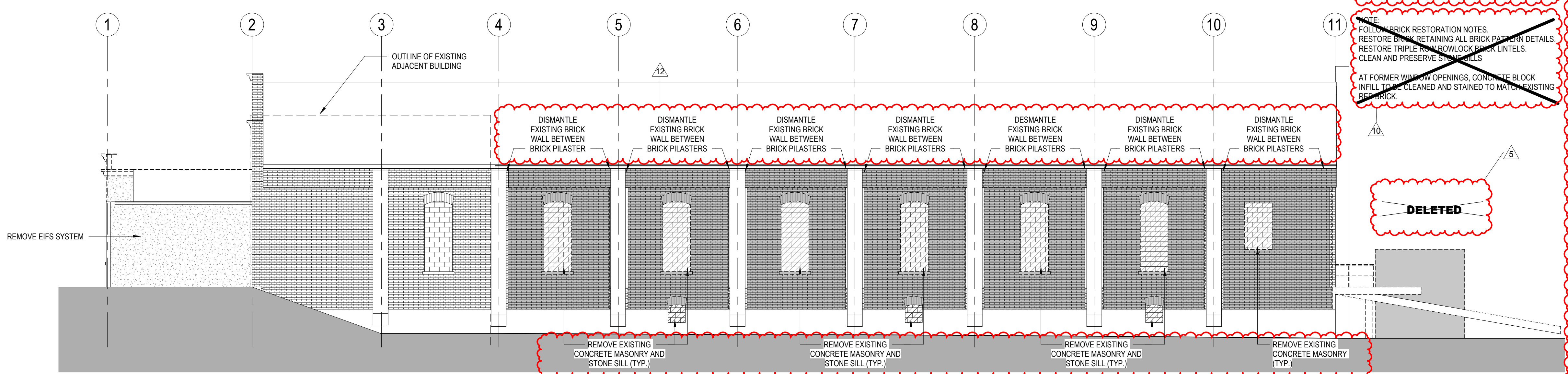
Drawn By Checked By
Ai Ai
Project No
1835
Sheet No



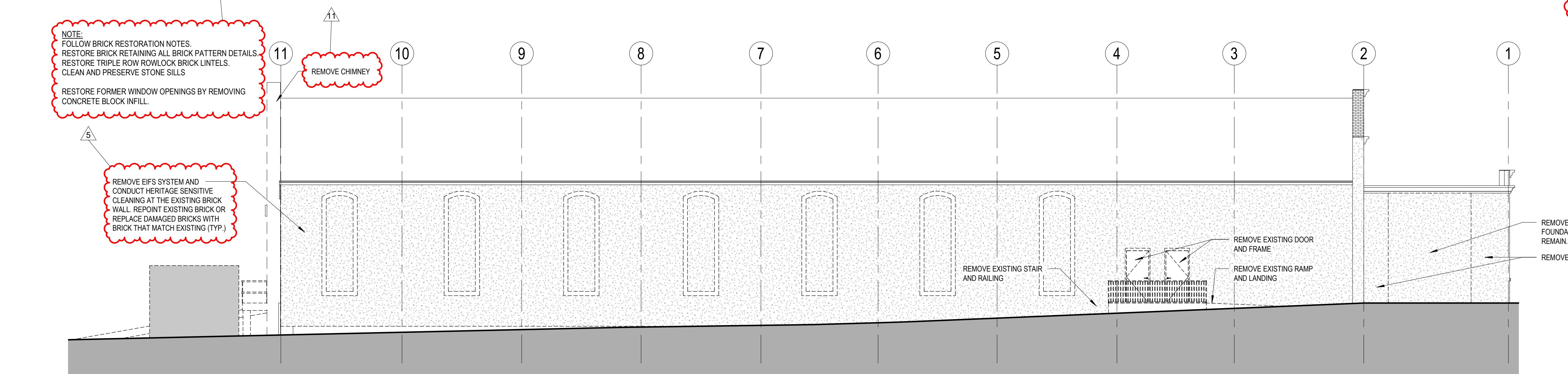
1 NORTH ELEVATION - EXISTING
A102 SCALE: 1:100



2 SOUTH ELEVATION - EXISTING
A102 SCALE: 1:100



3 EAST ELEVATION - EXISTING
A102 SCALE: 1:100



4 WEST ELEVATION - EXISTING
A102 SCALE: 1:100

NOTE: EXISTING ELEVATION DELETED FOR REFERENCE ONLY

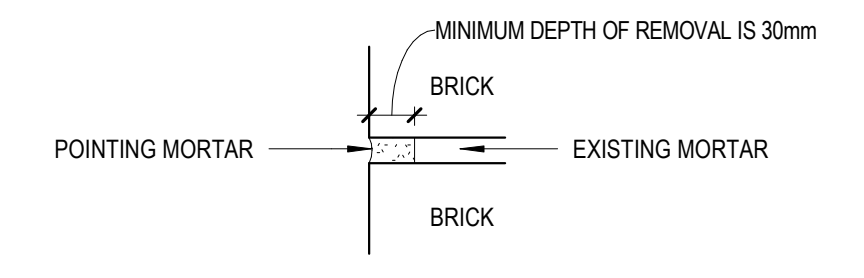
NOTE:
PROPOSED SCOPE OF WORK PRESENTED ON THIS SHEET REFERS TO RESTORATION OF EXISTING BRICK WALLS. SOME DEMOLITION REQUIRED TO PROVIDE ACCESS TO WORK AREAS FOR THE BRICK RESTORATION. DEMOLITION INCLUDES REMOVAL OF EIFS, CONCRETE MASONRY UNITS FROM EXISTING OPENINGS, AND SOME WALL/ROOF AREAS OF THE ADDITION.

EAST WALLS BRICK REMOVALS NOTES:
COMPLETE IDENTIFIED AREAS OF BRICK REMOVALS AS FOLLOWS:
- REVIEW AREA WITH CONSULTANT TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO COMPLETING REMOVALS
- COMPLETE ADJACENT AREAS OF REPOINTING WORK IN ADVANCE OF ANY BRICK REMOVALS
- DURING REMOVAL, PROTECT SOUND AREAS TO REMAIN. USE MECHANICAL HAND METHODS OF REMOVAL. OBTAIN CONSULTANT'S APPROVAL FOR USE OF POWER TOOLS BEFORE COMMENCING WORK.
- TAKE CARE TO NOT DESTABILIZE SURROUNDING BRICKWORK. WHERE DESTABILIZING IS A CONCERN, CONTACT CONSULTANT FOR REVIEW PRIOR TO PROCEEDING.
- SALVAGE ALL EXISTING BRICK AND STORE ON PALLETS WITHIN BUILDING.
- SORT BRICKS BY WYTHE DURING REMOVALS. DO NOT MIX BRICKS FROM EXTERIOR WYTHE THOSE FROM INTERIOR WYTHES. STORE ON SEPARATE PALLETS, THAT ARE CLEARLY LABELED.
- FOR HEADERS BETWEEN WYTHES, SORT WITH INNERMOST WYTHE. DO NOT INCLUDE ANY HEADERS ON PALLET FOR EXTERIOR WYTHE.

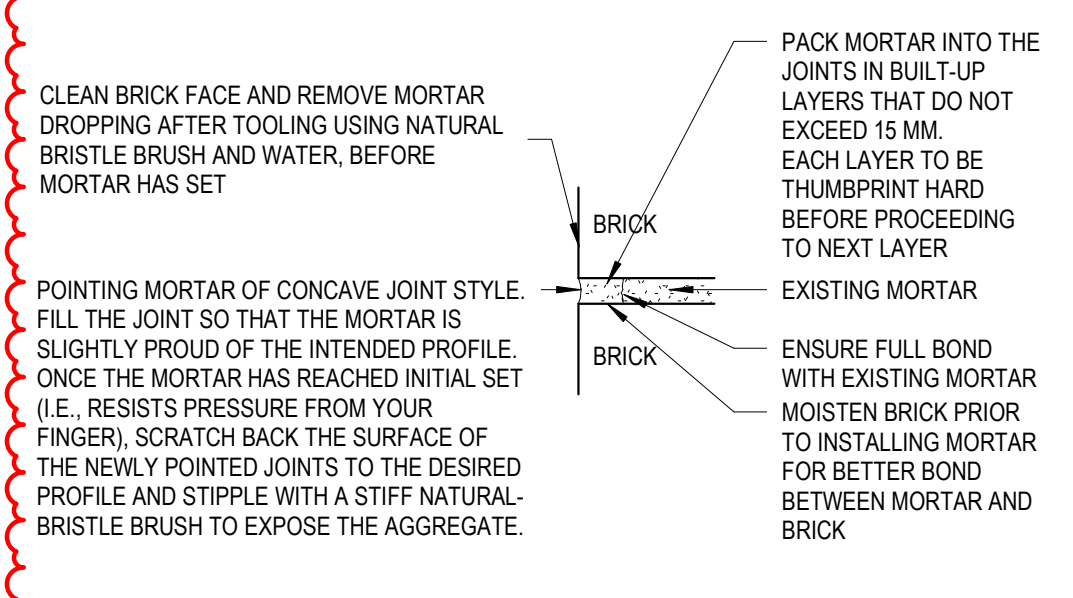
NOTE:
FOLLOW BRICK RESTORATION NOTES. RESTORE BRICK RETAINING ALL BRICK PATTERN DETAILS. RESTORE TRIPLE ROW ROWLOCK BRICK LINTELS. CLEAN AND PRESERVE STONE SILLS.
AT FORMER WINDOW OPENINGS, CONCRETE BLOCK INFILL TO BE CLEANED AND STAINED TO MATCH EXISTING REBRICK.

BRICK RESTORATION NOTES:

- A. REMOVE EIFS SYSTEM FROM THE EXISTING BRICK WALLS.
- B. REPLACE ALL MODERN MASONRY UNITS. INSPECT EACH EXISTING CLAY BRICK ON THE HERITAGE WALLS. ON WALL AREAS WITH SPALLING OR FAILED BRICKS DISMANTLE AND REBUILD EXTERIOR WYTHE. WORKING SECTIONS SIZES TO BE DETERMINED ENSURING THE STRUCTURAL INTEGRITY OF THE WALLS (UP TO 15' X 15'). REPLACE ALL CRITICALLY DETERIORATED MASONRY UNITS. REPLACEMENT MASONRY UNITS TO MATCH IN SIZE, COLOUR AND TEXTURE THE EXISTING HERITAGE BRICK (I.E. CLAY BRICK). REUSE ANY BRICK SPALLING AT ITS EXTERIOR FACE, AFTER MAKING SURE THAT MATERIAL INTEGRITY IS NOT COMPROMISED. CLEAN THEM AND TURN/INVERT DURING REBUILDING. DAMPEN UNITS AND CAVITIES IMMEDIATELY PRIOR TO INSTALLATION MATCHING THE EXISTING BOND PATTERN AND COURSE. REBUILD TO FOLLOW THE EXISTING COMMON BOND PATTERN. ENSURE THAT REMAINING ORIGINAL BRICK, INVERTED ORIGINAL BRICK AND NEW REPLACEMENT BRICK UNITS ARE REBUILT IN A WAY THAT IS EVENLY BLENDED AND WOULD RESULT IN COHESIVE AND BALANCED END APPEARANCE. SAMPLES MUST BE PRESENTED APPROVED AND VERIFIED BY THE HERITAGE PLANNER AND SENIOR URBAN DESIGNER PRIOR TO INSTALLATION.
- C. REMOVE ANY MODERN CEMENTITIOUS MORTARS.
- D. PREPARE JOINT BY REMOVING DETERIORATED MORTAR. RAKING OUT PROCEDURE:
- SAWCUT ALONG CENTER OF JOINT, TO A DEPTH OF MAX 20MM.
- RAKE OUT EXISTING MORTAR SQUARE TO BRICK.
- REMOVE ALL RESIDUE FROM STONE FACE TO ALLOW NEW MORTAR TO BOND TO BRICK.
- DO NOT CHIP OR OTHERWISE DAMAGE EDGE OF MASONRY UNITS DURING REMOVALS.
- GRINDERS OR SAW BLADES MUST NOT TOUCH MASONRY UNITS FACE. CUT CENTRE OF JOINT CAREFULLY, WITHOUT MARKING BRICK. REMOVE REMAINDER OF MORTAR USING HAND TOOLS.
- ALL CRACKED MORTAR, MORTAR DEBONDED FROM BRICK, OR DETERIORATED MORTAR OR PORTLAND MORTAR MUST BE REMOVED FROM JOINT PRIOR TO REPOINTING. FOR FULL DEPTH OF BRICK IF NECESSARY.
- REMOVE ALL PORTLAND CEMENT BASED MORTARS FROM JOINTS.
- REMOVE ALL CAULKING, WHERE PRESENT IN JOINTS.
- CLEAN OUT JOINT USING COMPRESSED AIR, OR WASH OUT JOINTS USING PRESSURIZED WATER, PRIOR TO REPOINTING.
- WHERE BRICK BECOMES LOOSE, REMOVE AND RESET BRICK.
- E. REPOINT ONLY WHEN THE WALL TEMPERATURE IS BETWEEN 5°C (40°F) - 25°C (77°F) TO AVOID EXCESSIVE EVAPORATION OF WATER FROM THE MORTAR OR FREEZING.
- F. PREPARE MORTAR PROPORTION BY MEASURING DRY INGREDIENTS BY VOLUME AND MIXING THOROUGHLY BEFORE ADDING WATER. USE WITHIN 30 MINUTES. PROPORTIONS TO BE TRADITIONAL TYPE O MEANING PROPORTION OF MORTAR VOLUMES OF CEMENT: HYDRATED LIME OR LIME PUTTY: SAND IS TO BE 1:2:8.9. PRE-MIXED TYPE O MORTAR MAY ALSO BE PERMITTED WITH MATCHING COLOUR, FOLLOWING MANUFACTURER'S SPECIFICATIONS.
- G. CONDUCT TEST PANEL AT AN INCONSPICUOUS SPOT (3' BY 3') TO BE APPROVED BY ARCHITECT.
- H. FILL JOINT WITH COMPACTED SUCCESSIVE LAYERS (1/4" OR 1CM) TO CONTROL RATE OF DRYING AND STRENGTHEN BOND. FINISH WITH A CONCAVE JOINT STYLE, OR AN ALTERNATE IF IT CAN BE DEMONSTRATED TO BE THE ORIGINAL POINTING STYLE.
- I. NEWLY REPOINTED JOINTS SHOULD BE KEPT IN A DAMP ENVIRONMENT TO PROMOTE CURING. THEY SHOULD BE MISTED AND COVERED WITH DAMP BURLAP AND POLYTHENE SHEETS FOR A PERIOD OF NO LESS THAN 3 DAYS AND AS LONG AS POSSIBLE.
- J. CLEAN EXCESS MORTAR WITH NATURAL BRISTLE NYLON BRUSH. NEVER USE METAL BRISTLE BRUSHES ON HISTORIC MASONRY. THE MORTAR ON FRESHLY REPOINTED WALL SHOULD BE FULLY HARDENED BEFORE CLEANING. EFFLORESCENCE MAY BE REMOVED BY BRUSHING WITH STIFF-BRISTLE BRUSH (NOT METAL).
- K. ABOVE-ROOF (IE. CHIMNEY AND PARAPET) REPAIRS SHOULD BE DONE BEFORE ROOF REPAIRS ARE UNDERTAKEN.
- L. PROTECT WORK FROM RAIN AND FREEZING FOR THE FIRST 72 HOURS OR IN HOT WEATHER, PROTECT FROM SUN AND WIND TO AVOID RAPID WATER EVAPORATION FROM MORTAR.
- M. APPLICATION OF SEALANTS ARE NOT PERMITTED.
- N. WHERE NEEDED, APPLY LOCALLY "KING BIOLOGICAL SOLUTION" FOR HERITAGE SENSITIVE CLEANING. FOLLOW MANUFACTURER'S SPECIFICATIONS.
- O. CLEANING IS TO BE CONDUCTED IN THE GENTLEST MEANS POSSIBLE. START WITH LOW PRESSURE, PROGRESSING AS NEEDED TO SLIGHTLY HIGHER PRESSURE NO HIGHER THAN 200 PSI.



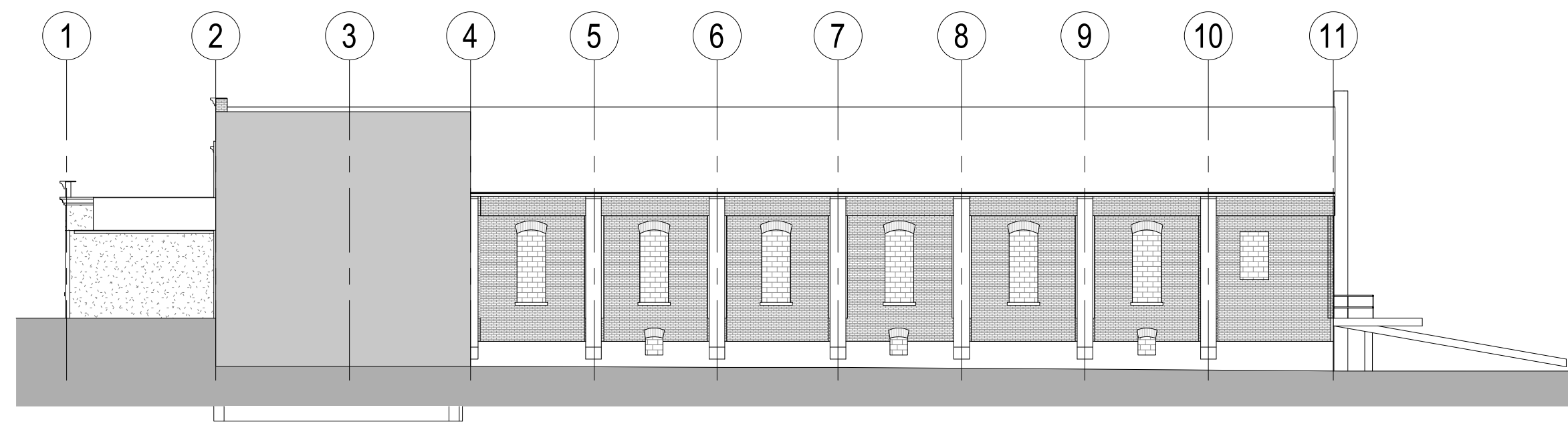
TYPICAL RAKING OUT DETAIL



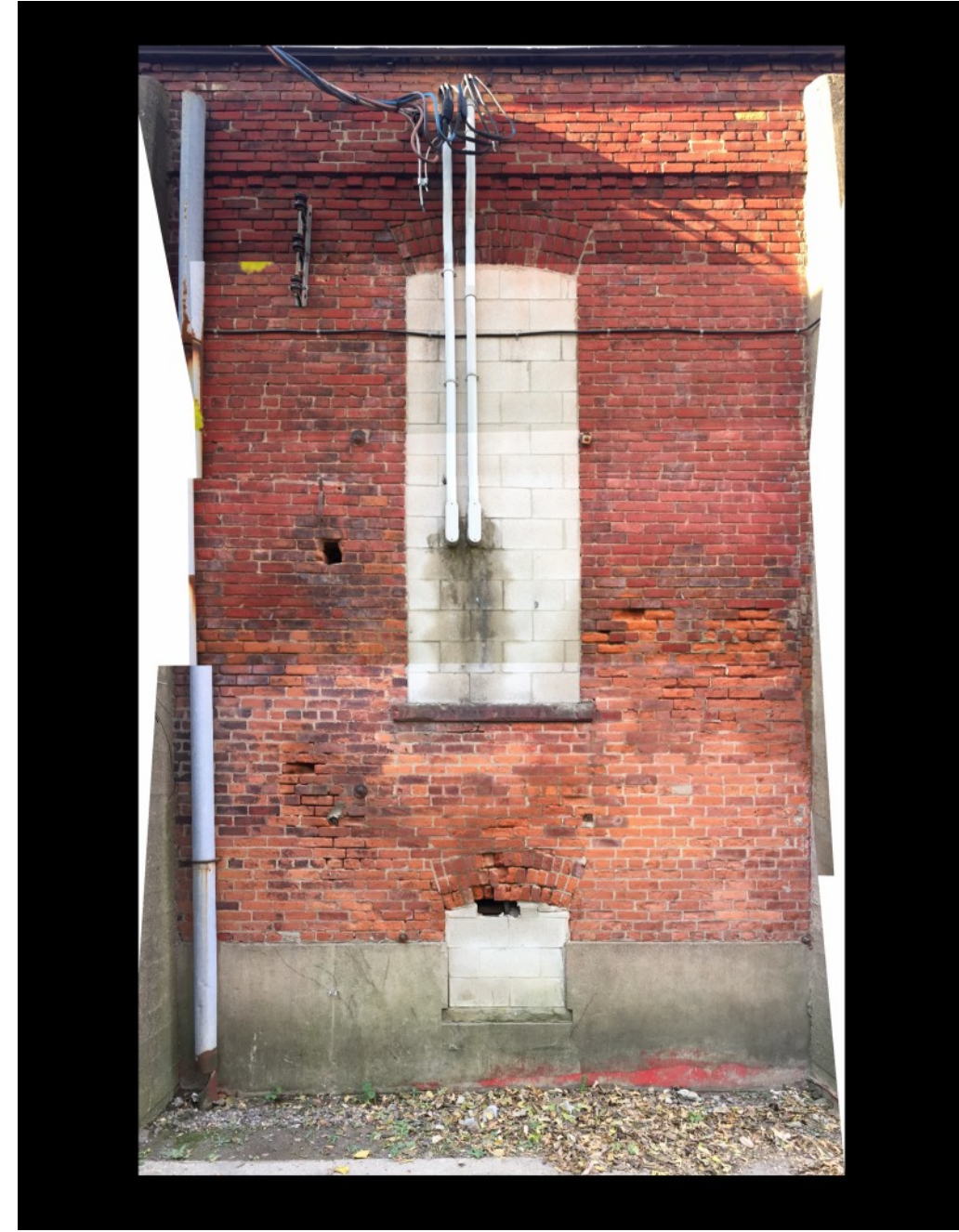
TYPICAL REPOINTING DETAIL

No.	Revision Schedule	Description	Date
5	Rev 5 - Ph2 - Draft SPC Approval Report		2021.04.14
10	Rev 10 - Wall Restoration Scope Of Work		2021.05.30
11	Coordination		2021.09.23
12	Rev 12 - East Walls Structural Repair		2021.10.26

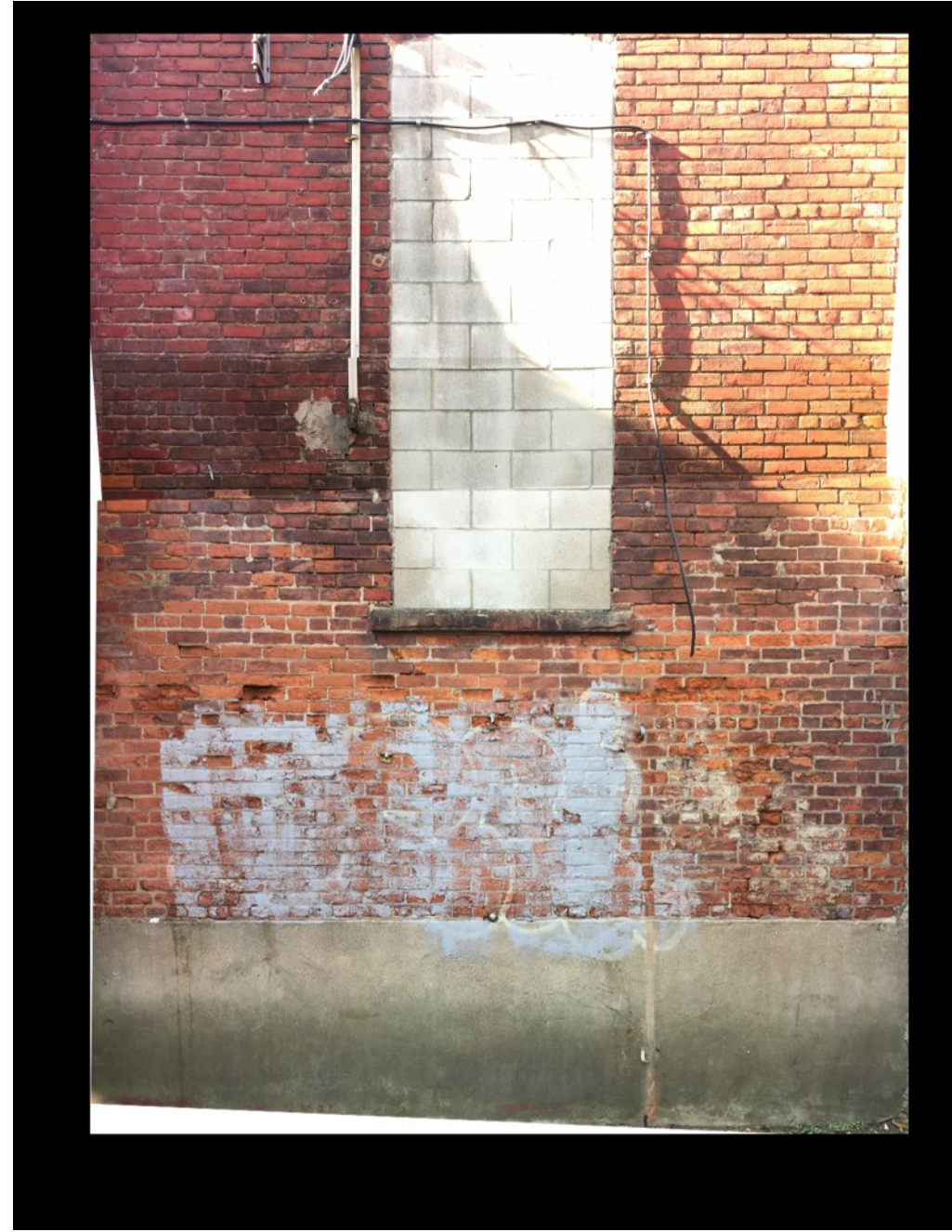
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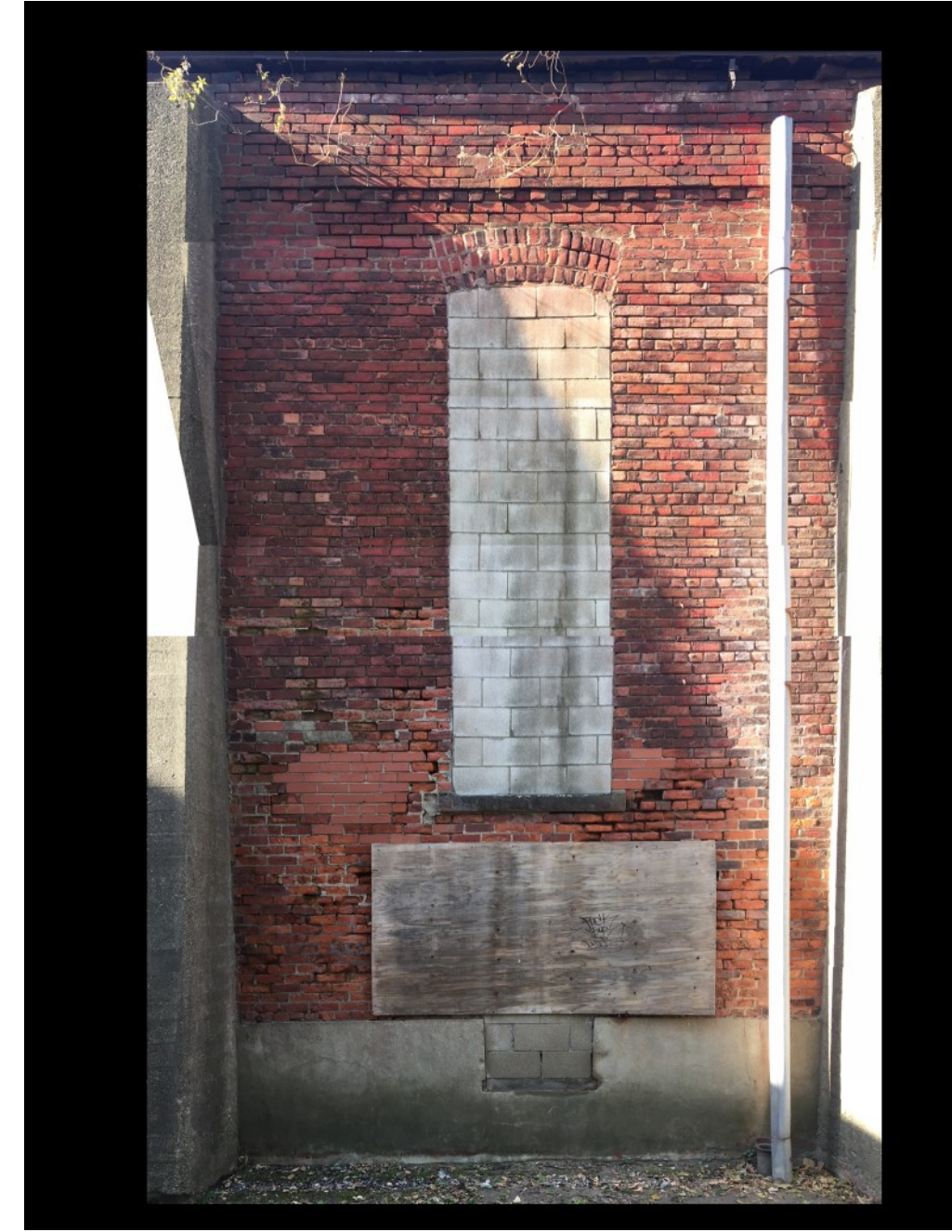
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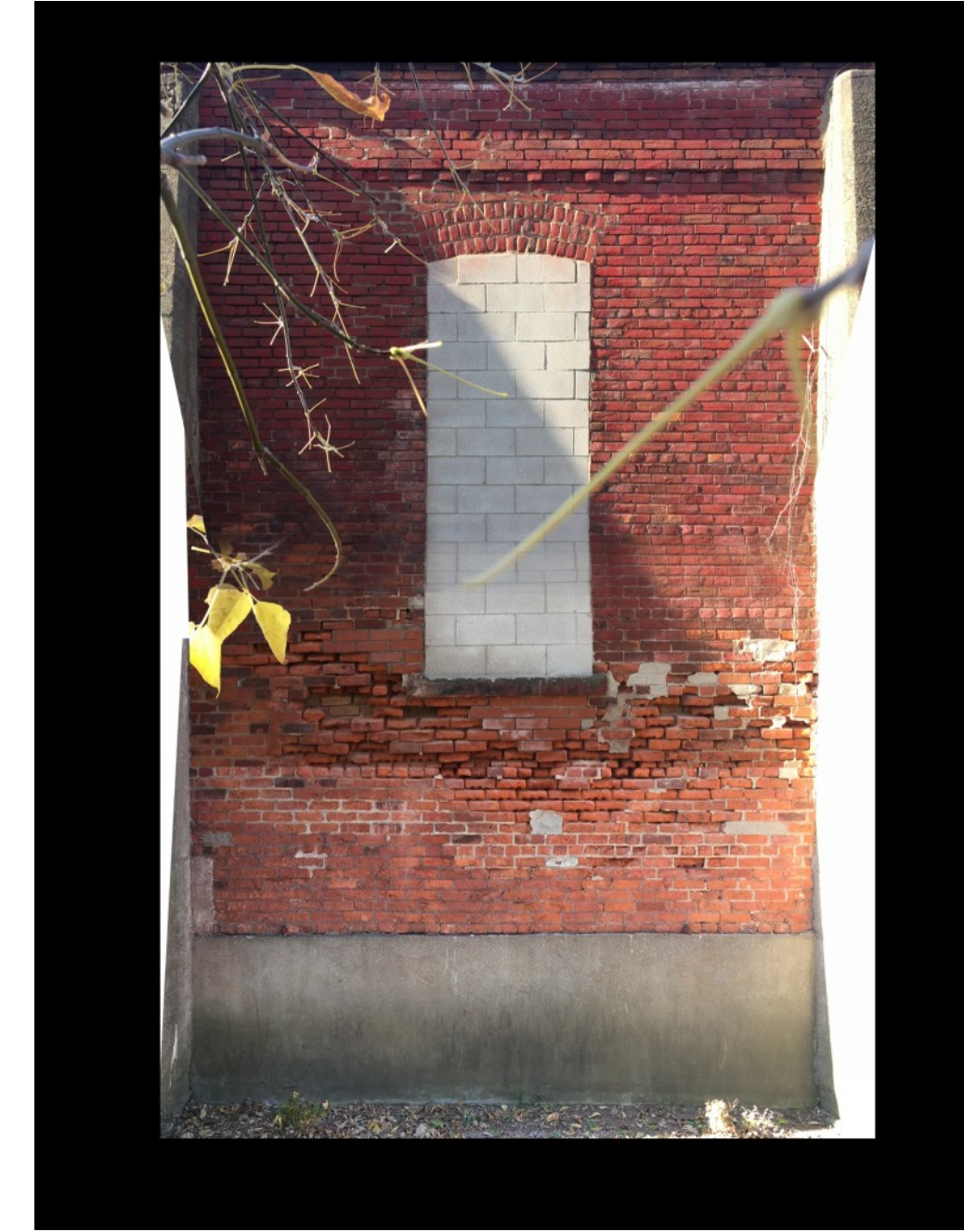
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6-7



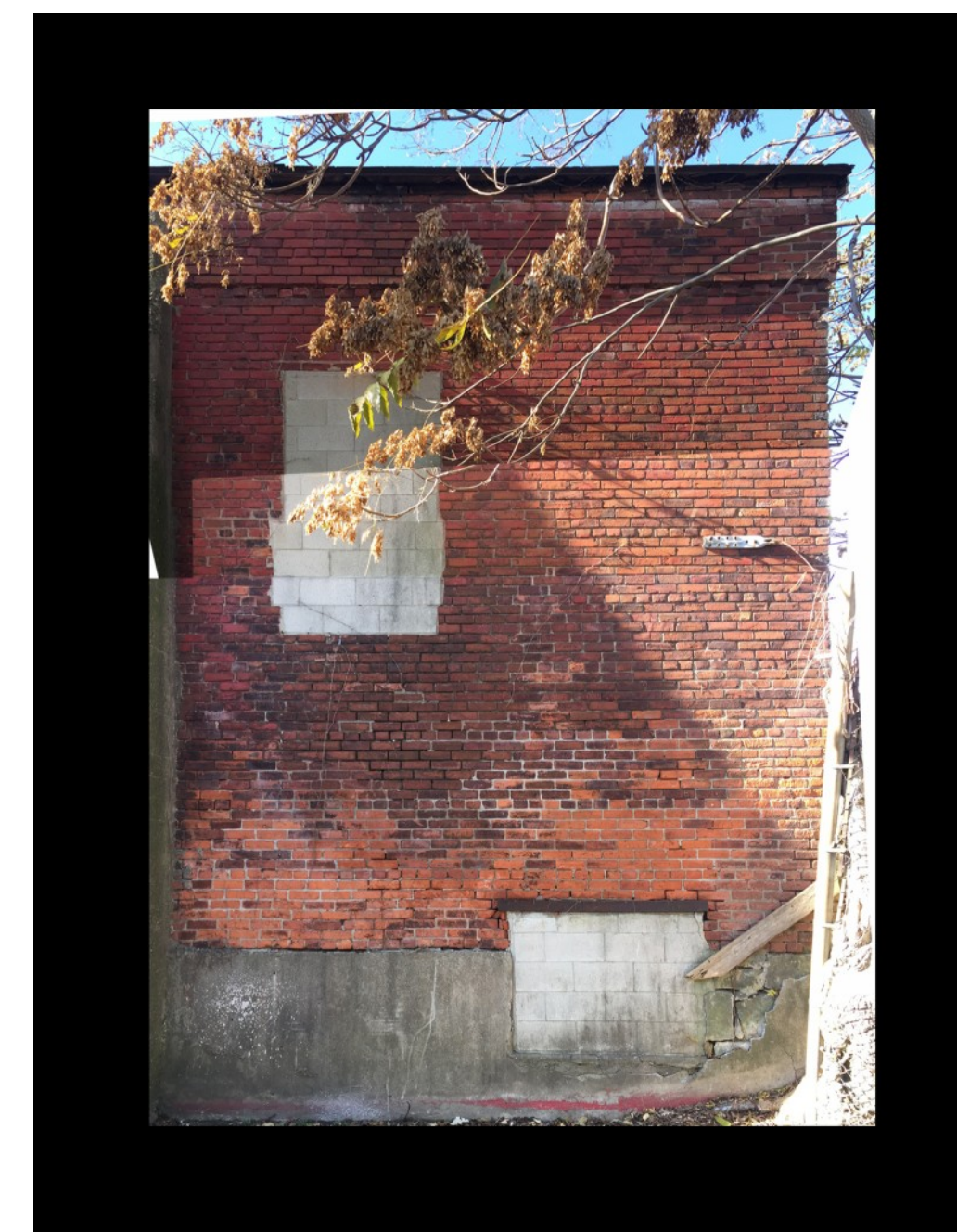
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8-9



9-10



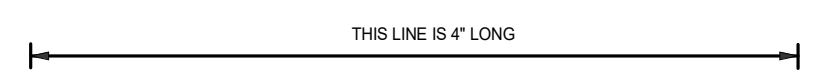
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Revision Schedule	Description	Date
No.		

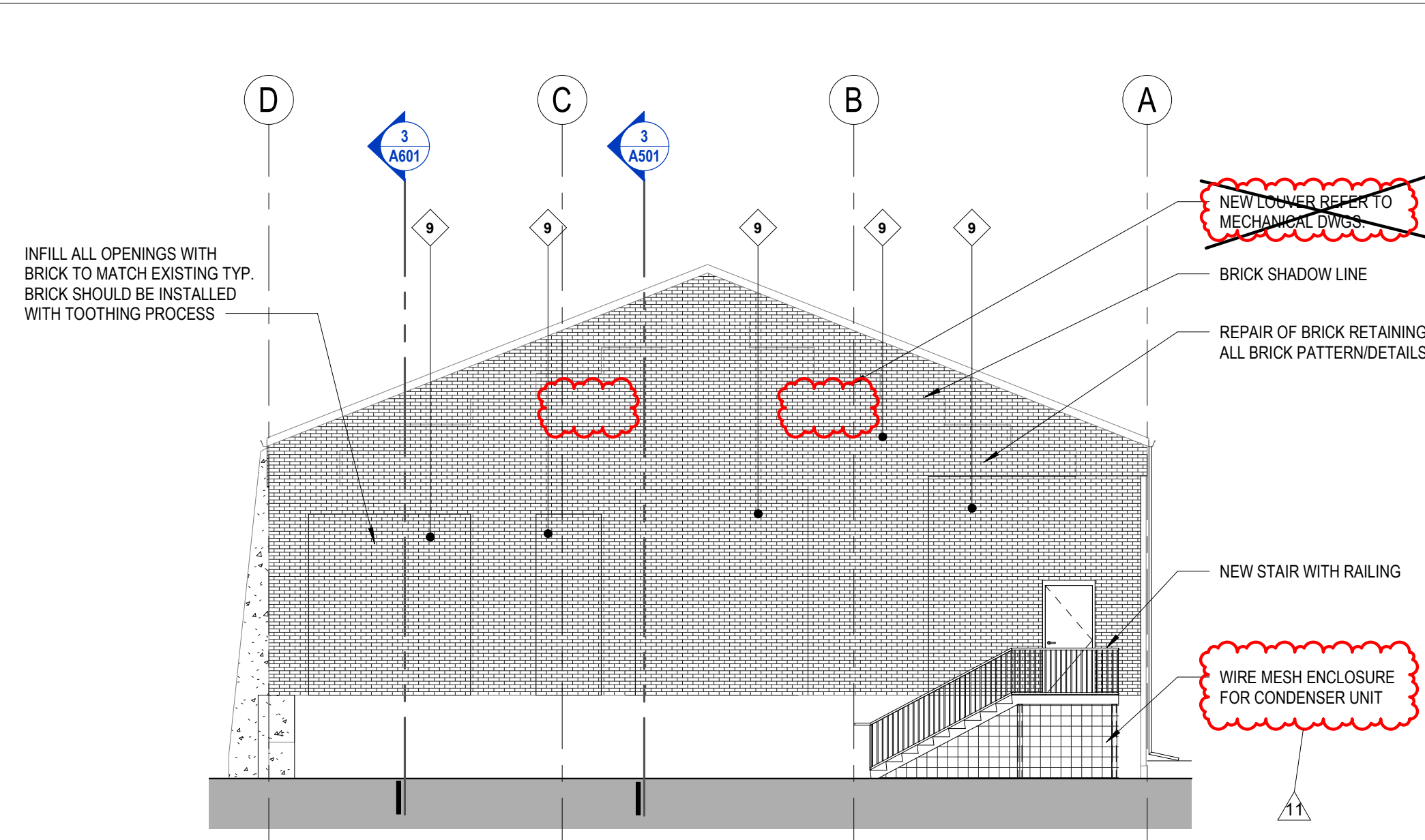
EXISTING BRICK ELEVATIONS - IMAGES

AIPL CANADA
Mixed-Use Development: BLD B
1100 & 1200-1220 University Ave. W. Windsor, ON

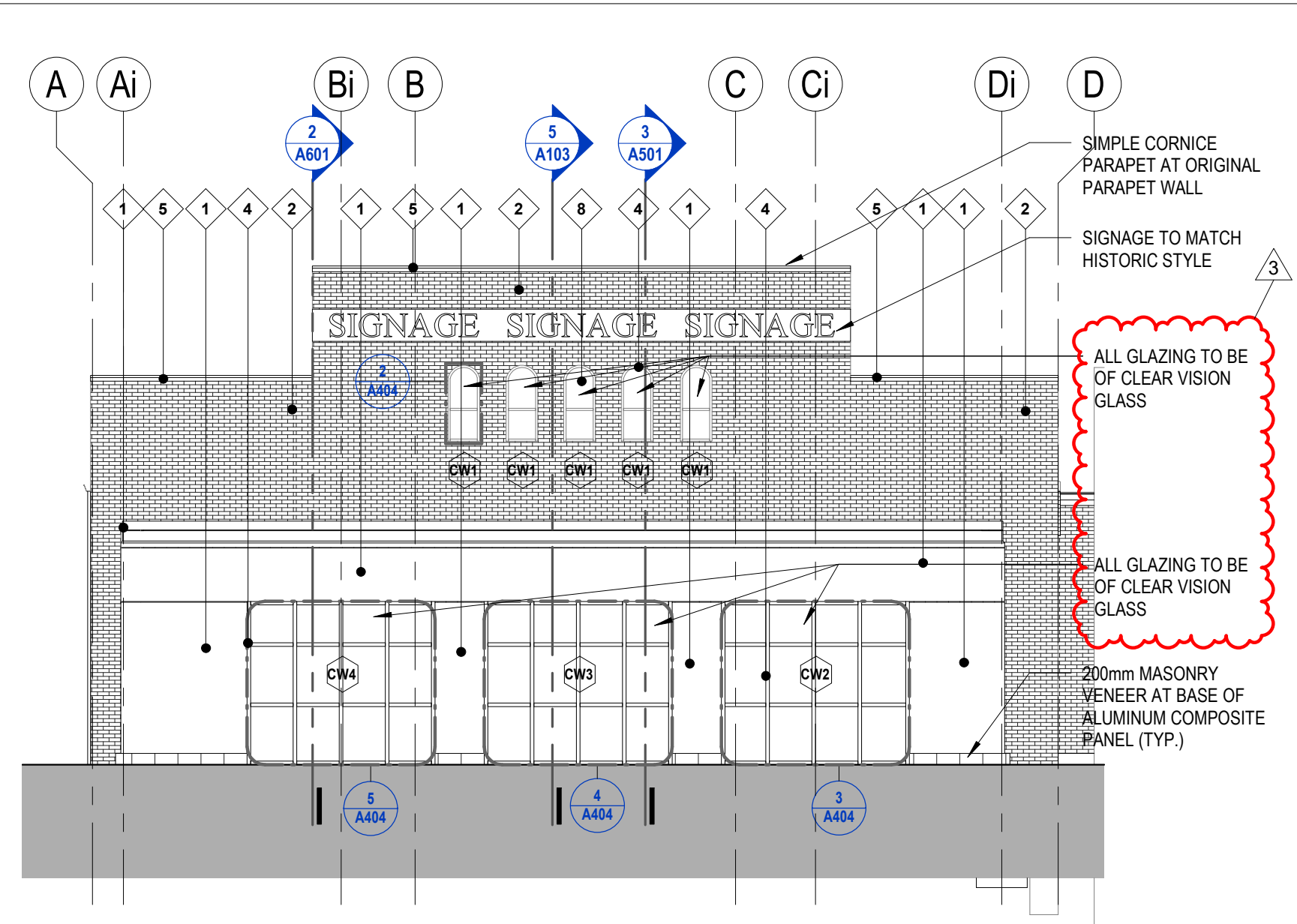
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Checked By: Checker
Project No: 1835
Sheet No:



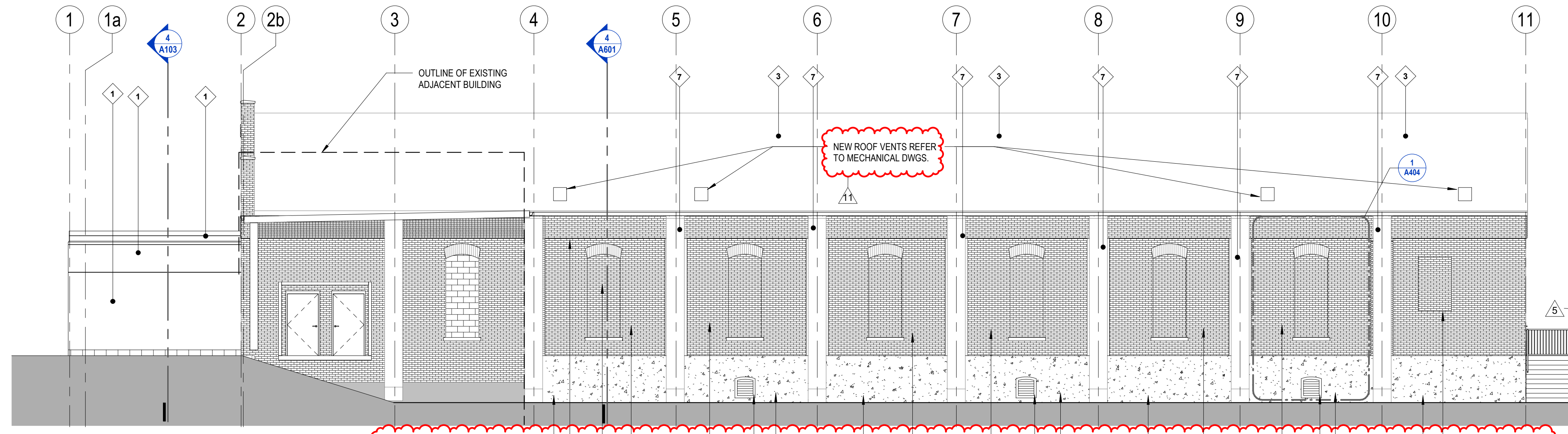
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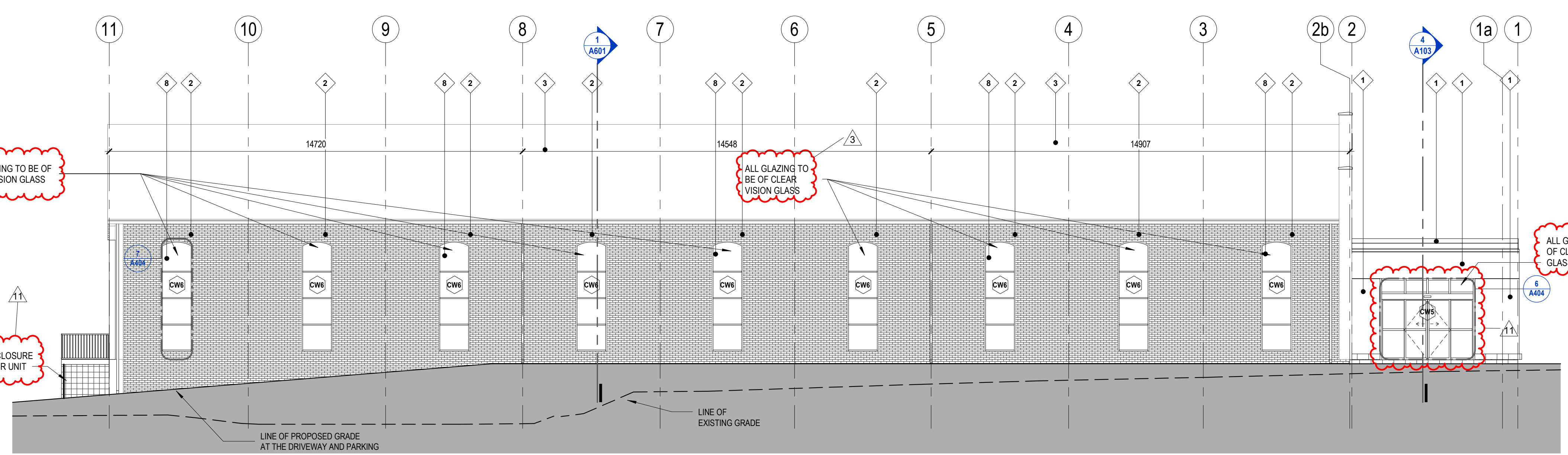
1 NORTH ELEVATION - NEW
SCALE: 1:100



2 SOUTH ELEVATION - NEW
SCALE: 1:100



3 EAST ELEVATION - NEW
SCALE: 1:100



4 WEST ELEVATION - NEW
SCALE: 1:100

MATERIAL LEGEND	
1	AL. COMP. PANELS
2	REMOVE STUCCO AND REPAIR BRICK BEHIND
3	ROOF
4	ALUMINUM STORE FRONT
5	COPING
6	STAIR
7	BUTTRESS TO BE PRESERVED
8	CLEAR VISION GLAZING
9	BRICK - SEE RESTORATION NOTES
10	CONCRETE BLOCK

* ALL GLAZING TO BE OF CLEAR VISION GLASS

NOTE:
SECTIONS AND COLOUR SAMPLES OF ALUMINUM COMPOSITE PANELS, WINDOWS AND STOREFRONT FRAMES MUST BE REVIEWED, APPROVED AND VERIFIED BY THE ARCHITECT PRIOR TO INSTALLATION.

- BRICK RESTORATION NOTES:**
- REMOVE EIFS SYSTEM FROM THE EXISTING BRICK WALLS.
 - REPLACE ALL MODERN MASONRY UNITS. INSPECT EACH EXISTING CLAY BRICK ON THE HERITAGE WALLS. ON WALL AREAS WITH SPALLING OR FAILED BRICKS DISMANTLE AND REBUILD EXTERIOR WYTHE. WORKING SECTIONS SIZES TO BE DETERMINED ENSURING THE STRUCTURAL INTEGRITY OF THE WALLS (UP TO 15' X 15'). REPLACE ALL CRITICALLY DETERIORATED MASONRY UNITS. REPLACEMENT MASONRY UNITS TO MATCH IN SIZE, COLOUR AND TEXTURE THE EXISTING HERITAGE BRICK (I.E. CLAY BRICK). REUSE ANY BRICK SPALLING AT ITS EXTERIOR FACE, AFTER MAKING SURE THAT MATERIAL INTEGRITY IS NOT COMPROMISED. CLEAN THEM AND TURN/INVERT DURING REBUILDING. DAMPEN UNITS AND CAVITIES IMMEDIATELY PRIOR TO INSTALLATION MATCHING THE EXISTING BOND PATTERN AND COURSING. REBUILD TO FOLLOW THE EXISTING COMMON BOND PATTERN. ENSURE THAT REMAINING ORIGINAL BRICK, INVERTED ORIGINAL BRICK AND NEW REPLACEMENT BRICK UNITS ARE REBUILT IN A WAY THAT IS EVENLY BLENDED AND WOULD RESULT IN COHESIVE AND BALANCED END APPEARANCE. SAMPLES MUST BE PRESENTED APPROVED AND VERIFIED BY THE HERITAGE PLANNER AND SENIOR URBAN DESIGNER PRIOR TO INSTALLATION.
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 - PREPARE JOINT BY REMOVING DETERIORATED MORTAR. RAKING OUT PROCEDURE:
- SAWCUT ALONG CENTER OF JOINT, TO A DEPTH OF MAX 20MM.
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- GRINDERS OR SAW BLADES MUST NOT TOUCH MASONRY UNITS FACE. CUT CENTRE OF JOINT CAREFULLY, WITHOUT MARKING BRICK. REMOVE REMAINDER OF MORTAR USING HAND TOOLS.
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- REMOVE ALL CAULKING, WHERE PRESENT IN JOINTS.
- CLEAN OUT JOINT USING COMPRESSED AIR, OR WASH OUT JOINTS USING PRESSURIZED WATER, PRIOR TO REPOINTING.
- WHERE BRICK BECOMES LOOSE, REMOVE AND RESET BRICK.
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 - PREPARE MORTAR PROPORTION BY MEASURING DRY INGREDIENTS BY VOLUME AND MIXING THOROUGHLY BEFORE ADDING WATER. USE WITHIN 30 MINUTES. PROPORTIONS TO BE TRADITIONAL TYPE O MEANING PROPORTION OF MORTAR VOLUMES OF CEMENT: HYDRATED LIME OR LIME PUTTY: SAND IS TO BE 1:2:8-9. PRE-MIXED TYPE O MORTAR MAY ALSO BE PERMITTED WITH MATCHING COLOUR, FOLLOWING MANUFACTURER'S SPECIFICATIONS.
 - CONDUCT TEST PANEL AT AN INCONSPICUOUS SPOT (3' BY 3') TO BE APPROVED BY ARCHITECT.
 - FILL JOINT WITH COMPACTED SUCCESSIVE LAYERS (1/4" OR 1CM) TO CONTROL RATE OF DRYING AND STRENGTHEN BOND. FINISH WITH A CONCAVE JOINT STYLE, OR AN ALTERNATE IF IT CAN BE DEMONSTRATED TO BE THE ORIGINAL POINTING STYLE.
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 - CLEAN EXCESS MORTAR WITH NATURAL BRISTLE NYLON BRUSH. NEVER USE METAL BRISTLE BRUSHES ON HISTORIC MASONRY. THE MORTAR ON FRESHLY REPOINTED WALL SHOULD BE FULLY HARDENED BEFORE CLEANING. EFFLORESCENCE MAY BE REMOVED BY BRUSHING WITH STIFF-BRISTLE BRUSH (NOT METAL).
 - ABOVE-ROOF (IE. CHIMNEY AND PARAPET) REPAIRS SHOULD BE DONE BEFORE ROOF REPAIRS ARE UNDERTAKEN.
 - PROTECT WORK FROM RAIN AND FREEZING FOR THE FIRST 72 HOURS OR IN HOT WEATHER, PROTECT FROM SUN AND WIND TO AVOID RAPID WATER EVAPORATION FROM MORTAR.
 - APPLICATION OF SEALANTS ARE NOT PERMITTED.
 - WHERE NEEDED, APPLY LOCALLY "KING BIOLOGICAL SOLUTION" FOR HERITAGE SENSITIVE CLEANING. FOLLOW MANUFACTURER'S SPECIFICATIONS.
 - CLEANING IS TO BE CONDUCTED IN THE GENTLEST MEANS POSSIBLE. START WITH LOW PRESSURE, PROGRESSING AS NEEDED TO SLIGHTLY HIGHER PRESSURE NO HIGHER THAN 200 PSI.

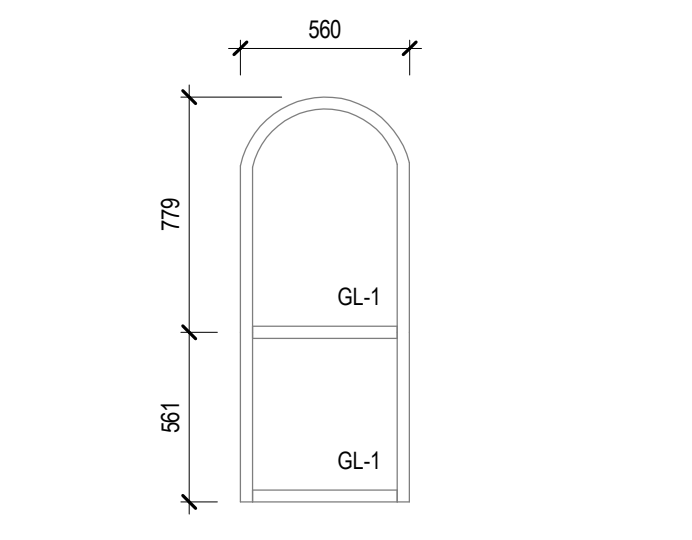
NEW WALL SECTIONS NOTES:
- REUSE EXISTING BRICK AND STONE SILLS FOR EXTERIOR LAYER OF VENEER MASONRY WALL.
- USE BRICKS FROM THE EXTERIOR WYTHE OF THE ORIGINAL WALL ONLY.
- FOLLOW BRICK RESTORATION NOTES FOR MORTAR AND JOINT STYLE.
- REPLICATE ALL BRICK FEATURES SUCH AS COMMON BOND, TRIPLE ROW ROWLOCK BRICK LINTELS, SHADOWLINE, STONE SILLS, AS PER EXISTING PHOTO DOCUMENTATION A402 AND ENLARGED EASE ELEVATION BRICK PATTERN FROM A404.
- AT EXISTING WINDOWS REPLACE CONCRETE BLOCK WITH BRICK (NOT TOOTHED-IN), RECESSED BY 13mm TO SHOW THE TRACES OF ORIGINAL WINDOWS.

~~REPAIR BRICK RETAINING ALL BRICK PATTERN/DETAILS. REPAIR SPALLED AND MISSING BRICK. REPOINT AS NECESSARY.~~
~~FORMER WINDOW OPENINGS. CONCRETE BLOCK INFILL TO BE CLEANED AND PAINTED TO MATCH EXISTING RED BRICK.~~
~~RESTORE TRIPLE ROW ROWLOCK BRICK LINTELS. FOLLOW BRICK RESTORATION NOTES. CLEAN AND PRESERVE STONE.~~

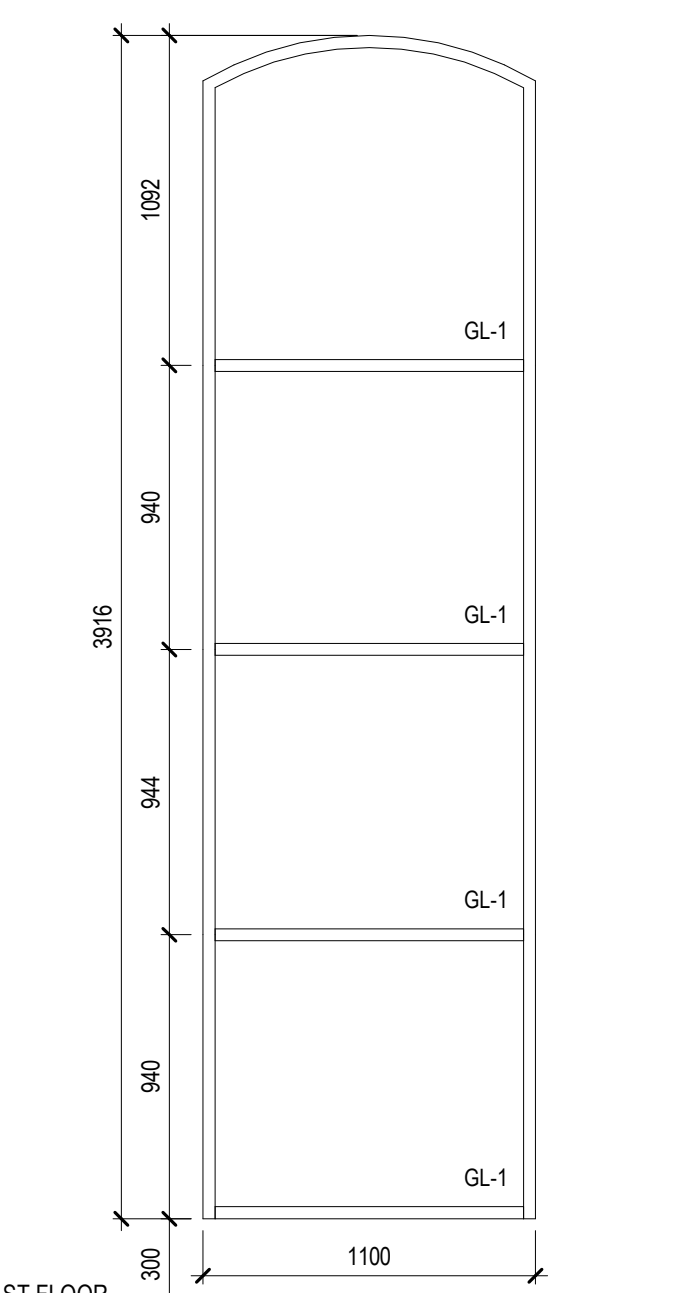
No.	Revision Schedule	Description	Date
3	Rev 3 - Ph2 - Draft SPC Approval Report		2021.03.25
5	Comments	Draft SPC Approval Report	2021.04.14
7	Comments	Draft SPC Approval Report	2021.05.17
9	Comments	Rev 7 - Ph2 - Draft SPC Approval Report	2021.05.28
11	Rev 11 - Coordination	Rev 9 - Heritage Notes	2021.09.23
12	Rev 12 - East Walls Structural Repair	Rev 11 - Coordination	2021.10.26

NEW EXTERIOR ELEVATIONS

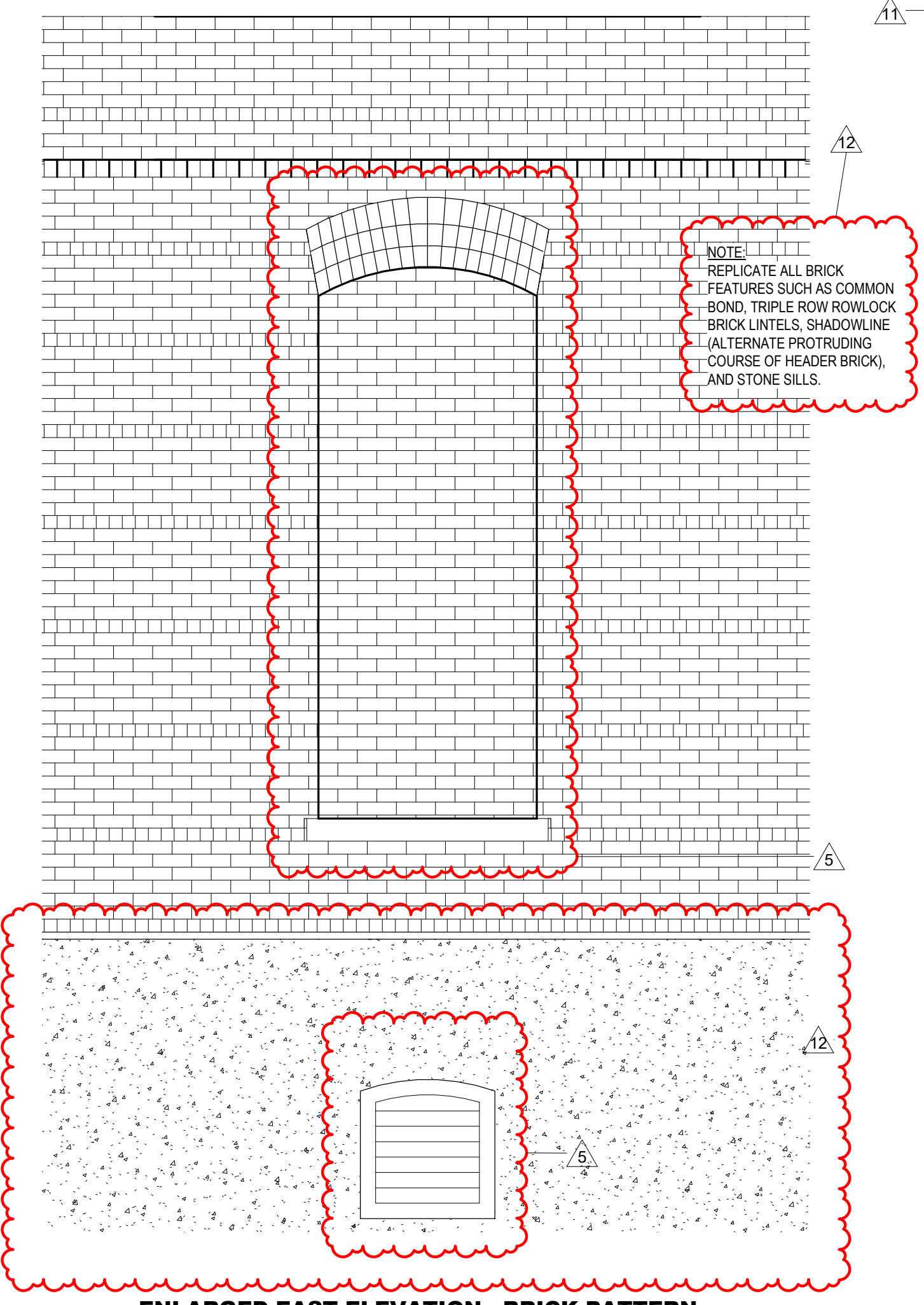
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CW1 - HERITAGE ARCHED WINDOW
SCALE: 1:25



CW6 - HERITAGE WINDOW
SCALE: 1:25

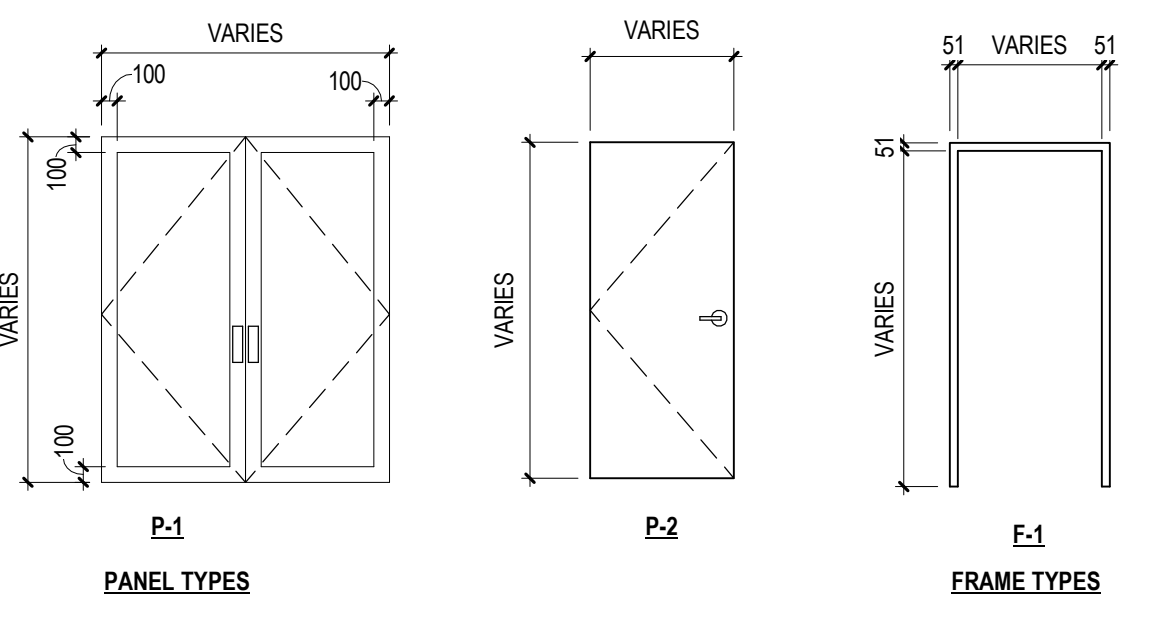


ENLARGED EAST ELEVATION - BRICK PATTERN
SCALE: 1:25

DOOR SCHEDULE

NO.	PANEL			FRAME			GLAZING	CLOSER	EXIT DEVICE	F.R.R.	HARDWARE	REMARKS	
	TYPE	QTY.	WIDTH	HEIGHT	MAT.	FINISH							TYPE
D1	P1	1	1524	2111	CL, TP, IN	CL		AL	AN				
D2	P2	1	914	2134	HM	PAINT	F1	HM	PAINT				
D4	P2	2	1067	2134	HM	PAINT	F1	HM	PAINT			3/4 HR	ELECTRIFIED DOOR CLOSER/HOLDER TO AUTOMATICALLY CLOSE THE DOOR IN CASE OF SMOKE OR FIRE

DOOR & FRAME TYPES

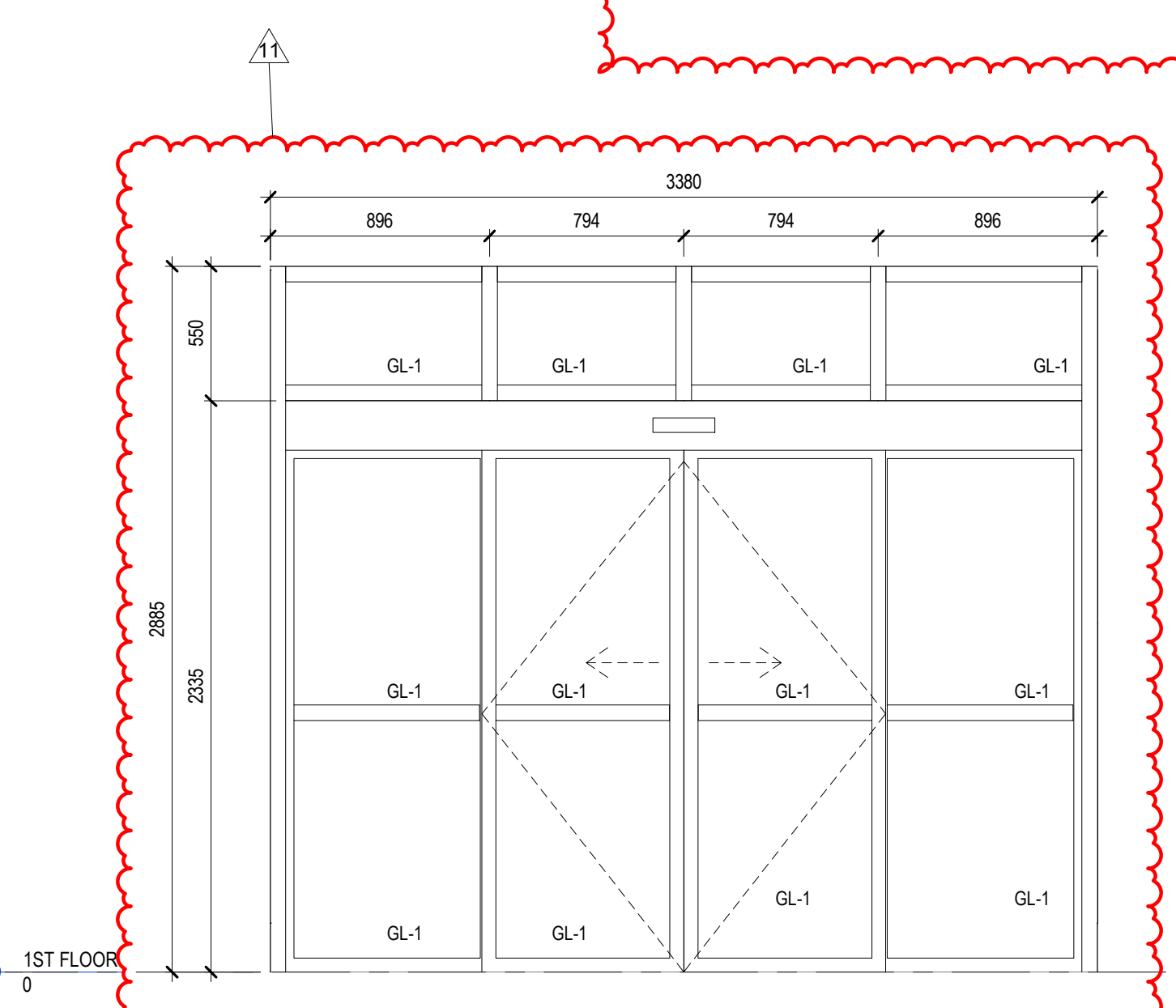


- MATERIAL LEGEND:**
- ADO AUTOMATIC DOOR OPERATOR
 - AL ALUMINUM
 - AN ANODIZED
 - CL CLEAR GLASS
 - CR CARD READER
 - EX EXISTING
 - HM HOLLOW METAL
 - IM INSULATED METAL
 - IG INSULATED GLASS
 - OH OVERHEAD
 - PT PAINT
 - SCW SOLID CORE WOOD
 - ST STAIN
 - TP TEMPERED GLASS
 - TG TINTED GLASS
 - WI WIRED GLASS
 - WD WOOD

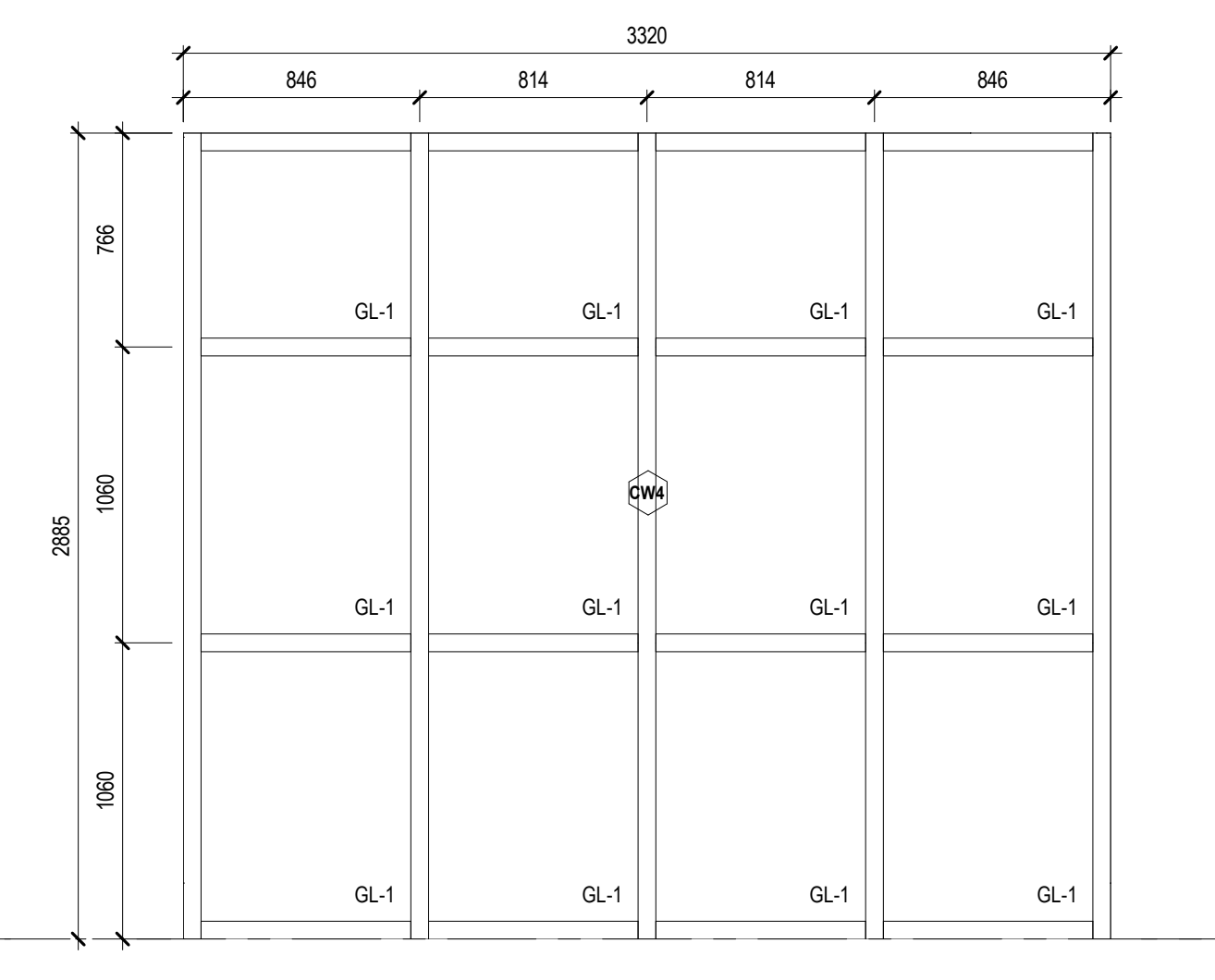
GLAZING TYPES

- GL-1 - CLEAR VISION GLASS

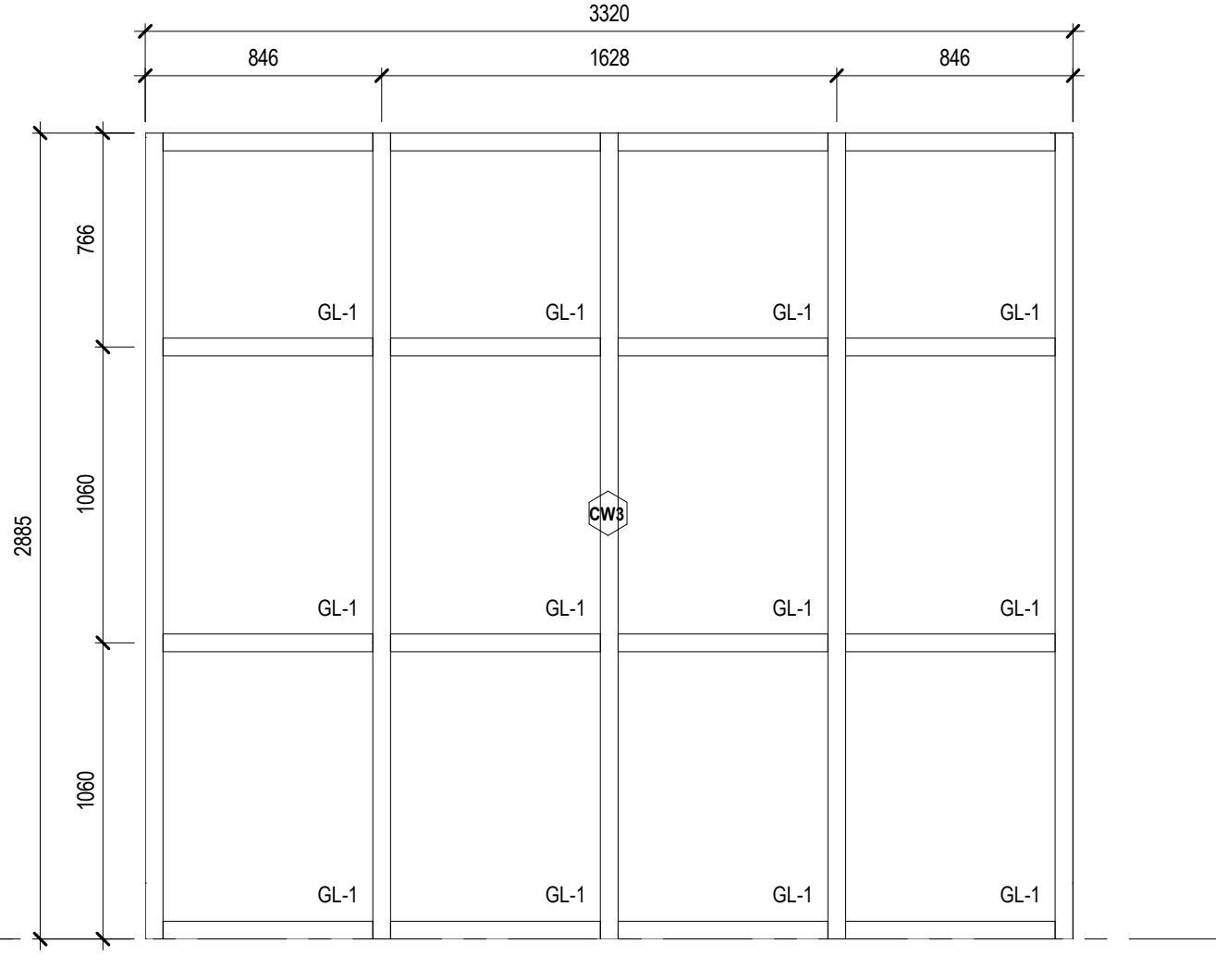
- DOOR NOTES:**
1. ALL GLAZING IN DOORS & SIDELIGHTS SHALL BE TEMPERED.
 2. PROVIDE WEATHERSTRIPPING FOR ALL EXTERIOR DOORS.
 3. REFER TO MECHANICAL DRAWINGS FOR ALL DOOR LOUVRE SIZES AND TYPES - LOUVRE SHALL BE PRE-FINISHED w/ COLOUR TO MATCH DOOR AND / OR FRAME.
 4. ALL DOOR HARDWARE TO BE REVIEWED BY ARCHITECT FOR APPROVAL.
 5. DOOR FRAME INFORMATION INDICATED WITH * ON THE DOOR SCHEDULE REQUIRES COORDINATION WITH THE WINDOWTYPE LEGEND.
 6. REFER TO SCHEDULE FOR DIMENSIONS INDICATED AS "VARIES"
 7. REFURBISH EXISTING DOORS AS NOTED IN SCHEDULE:
 - A) REMOVE EXISTING DOOR HARDWARE AND REPAIR HOLES AND SCRATCHES, SAND, CLEAN, PAINT EXISTING WOOD DOORS.
 - B) REMOVE EXISTING HINGES FROM FRAMES, CLEAN AND PAINT EXISTING FRAMES.



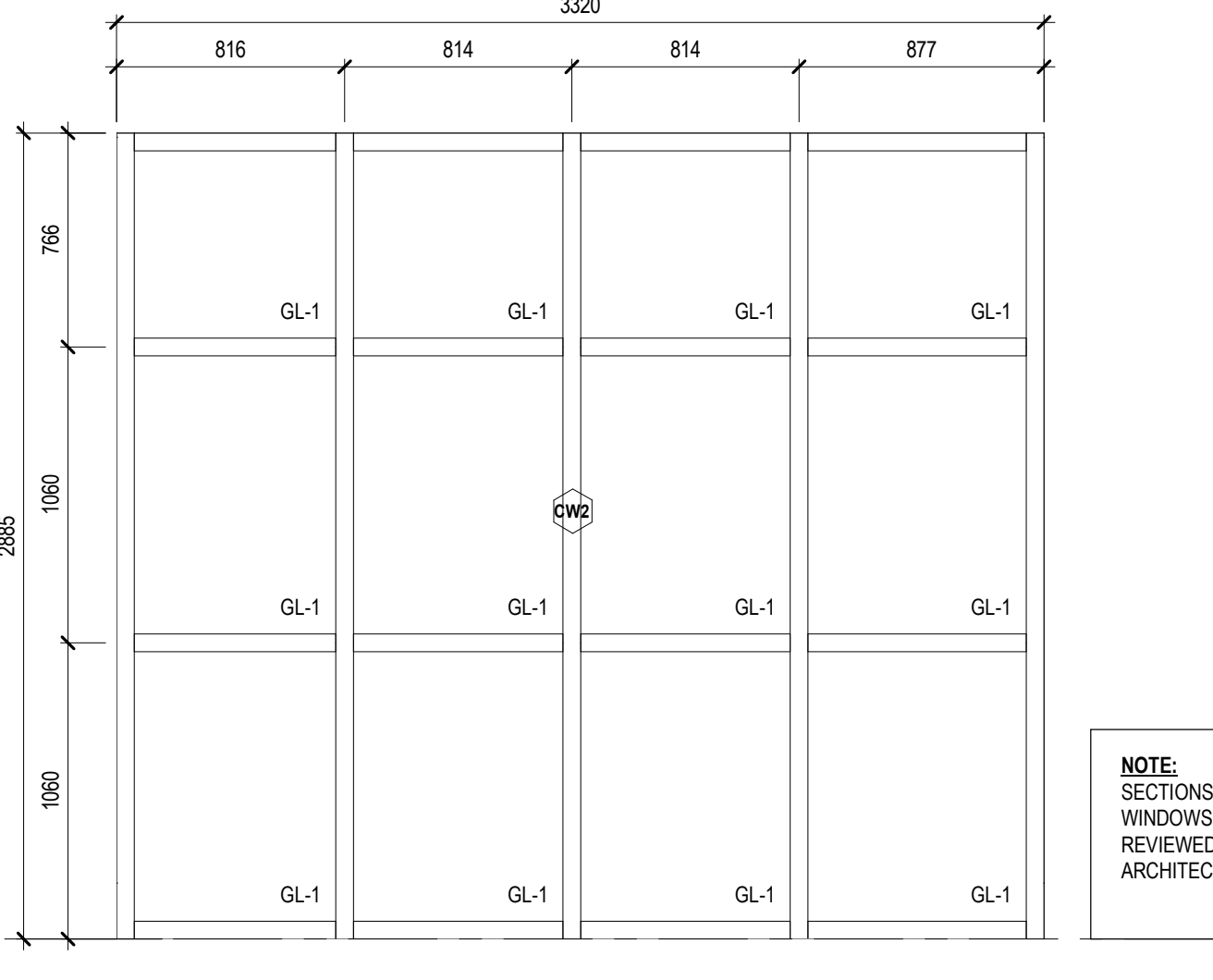
CW5 - STOREFRONT
SCALE: 1:25



CW4 - STOREFRONT
SCALE: 1:25



CW3 - STOREFRONT
SCALE: 1:25



CW2 - STOREFRONT
SCALE: 1:25

NOTE: SECTIONS AND COLOUR SAMPLES OF WINDOWS AND STOREFRONT FRAMES MUST BE REVIEWED, APPROVED AND VERIFIED BY THE ARCHITECT PRIOR TO INSTALLATION.

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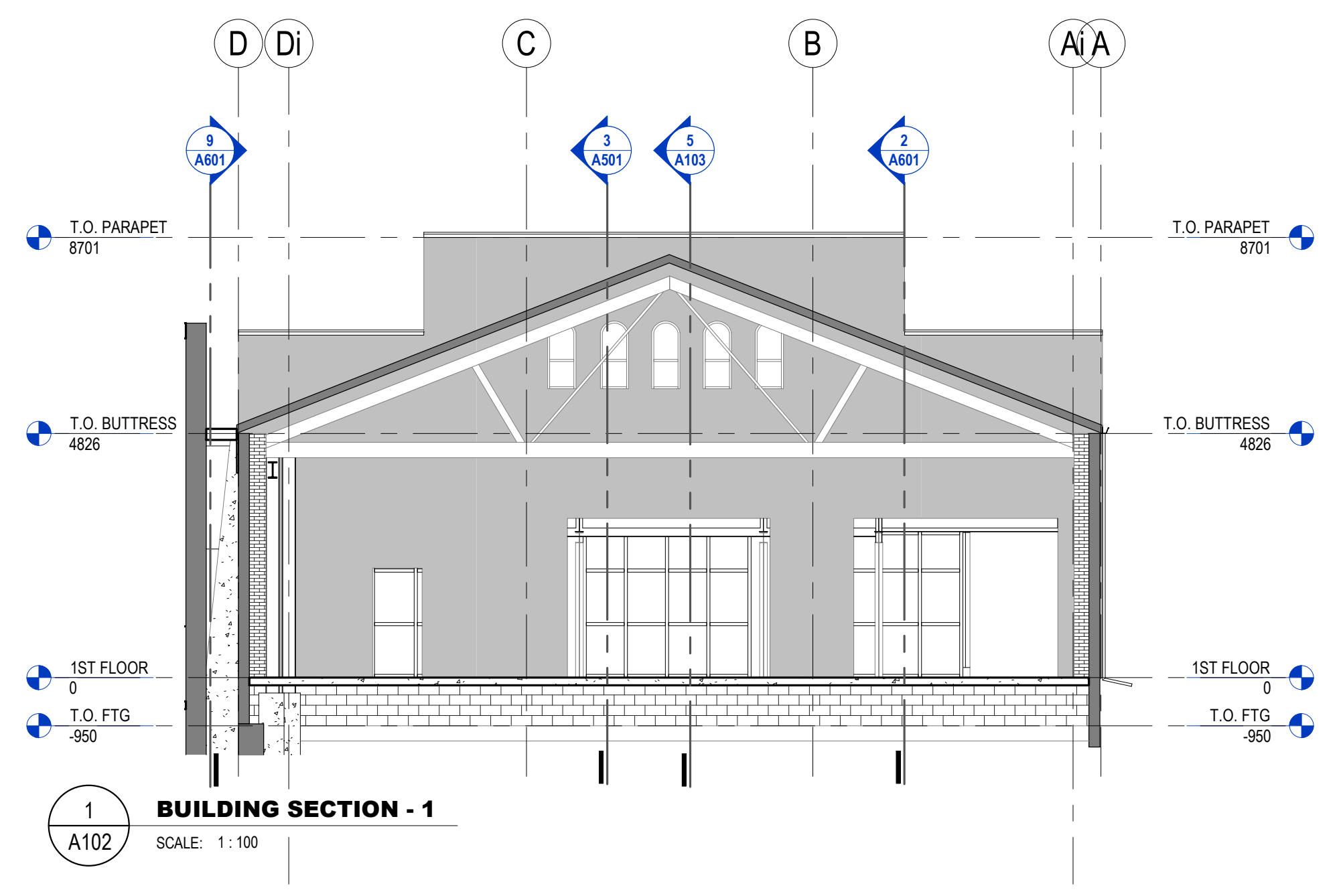
Issued For (YMMMO)
PERMIT-SHELL 21.01.05
PERMIT UPDATE & 21.09.23
CONSTRUCTION

No.	Revision Schedule	Description	Date
5	Rev 5 - Ph2 - Draft SPC Approval Report	Comments	2021.04.14
8	Rev 8 - Door Schedule	Comments	2021.05.17
9	Rev 9 - Change Notes	Change Notes	2021.05.28
11	Rev 11 - Change Notes	Change Notes	2021.09.23
12	Rev 12 - East Walls Structural Repair	Change Notes	2021.10.26

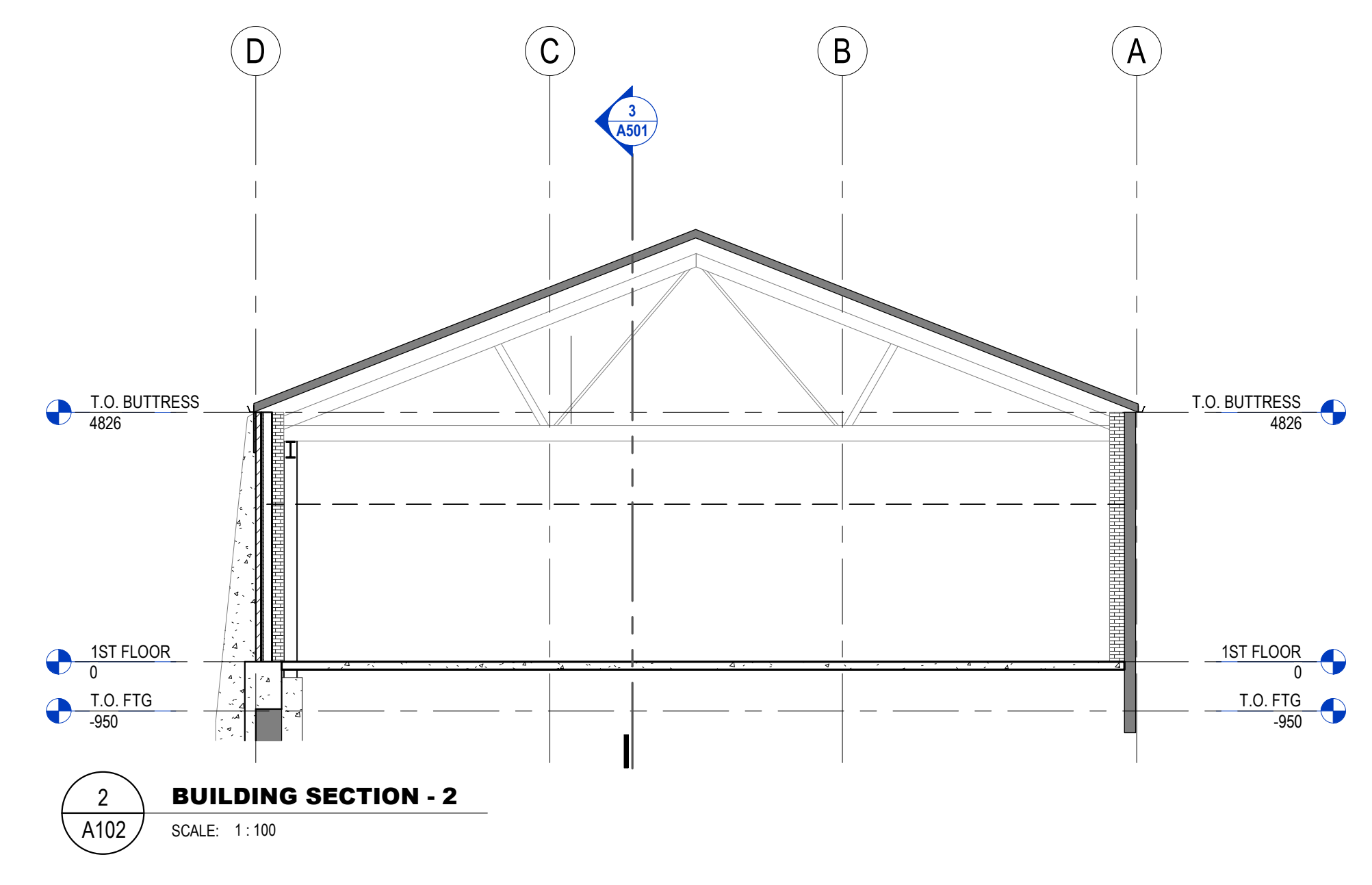
WINDOW / CURTAIN WALL ELEVATIONS

AIPL CANADA
Mixed-Use Development: BLD B
1100 & 1200-1220 University Ave. W. Windsor, ON

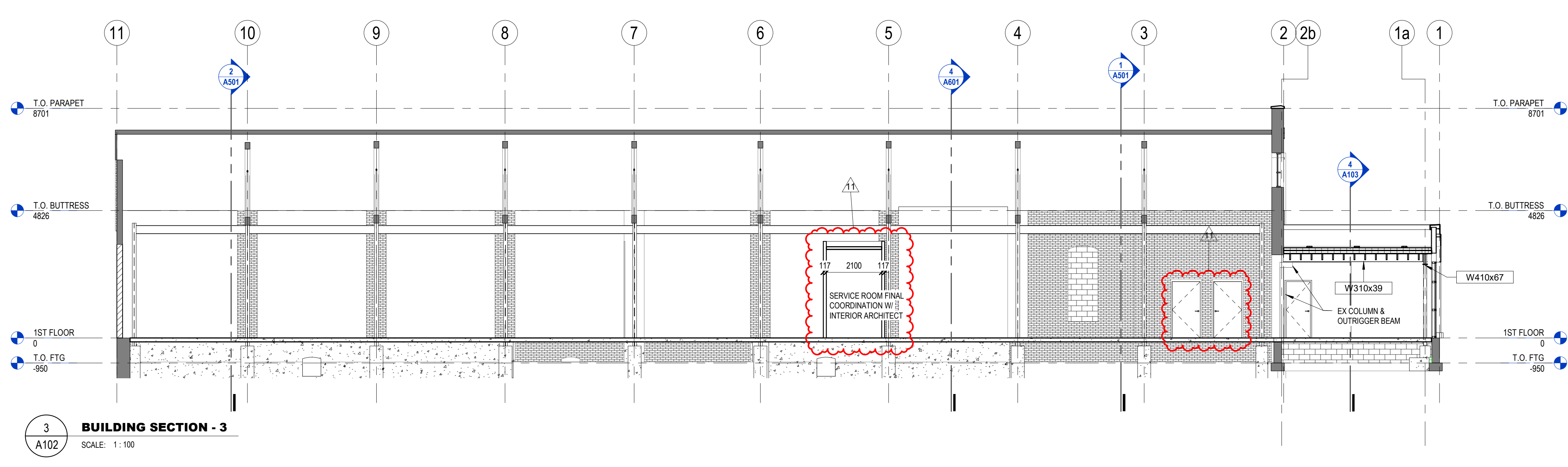
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Checked By Checker
Project No 1835
Sheet No



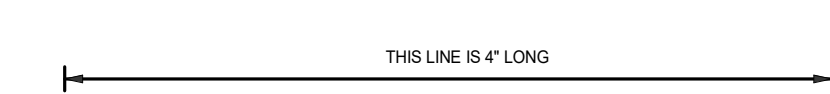
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A102 SCALE: 1:100



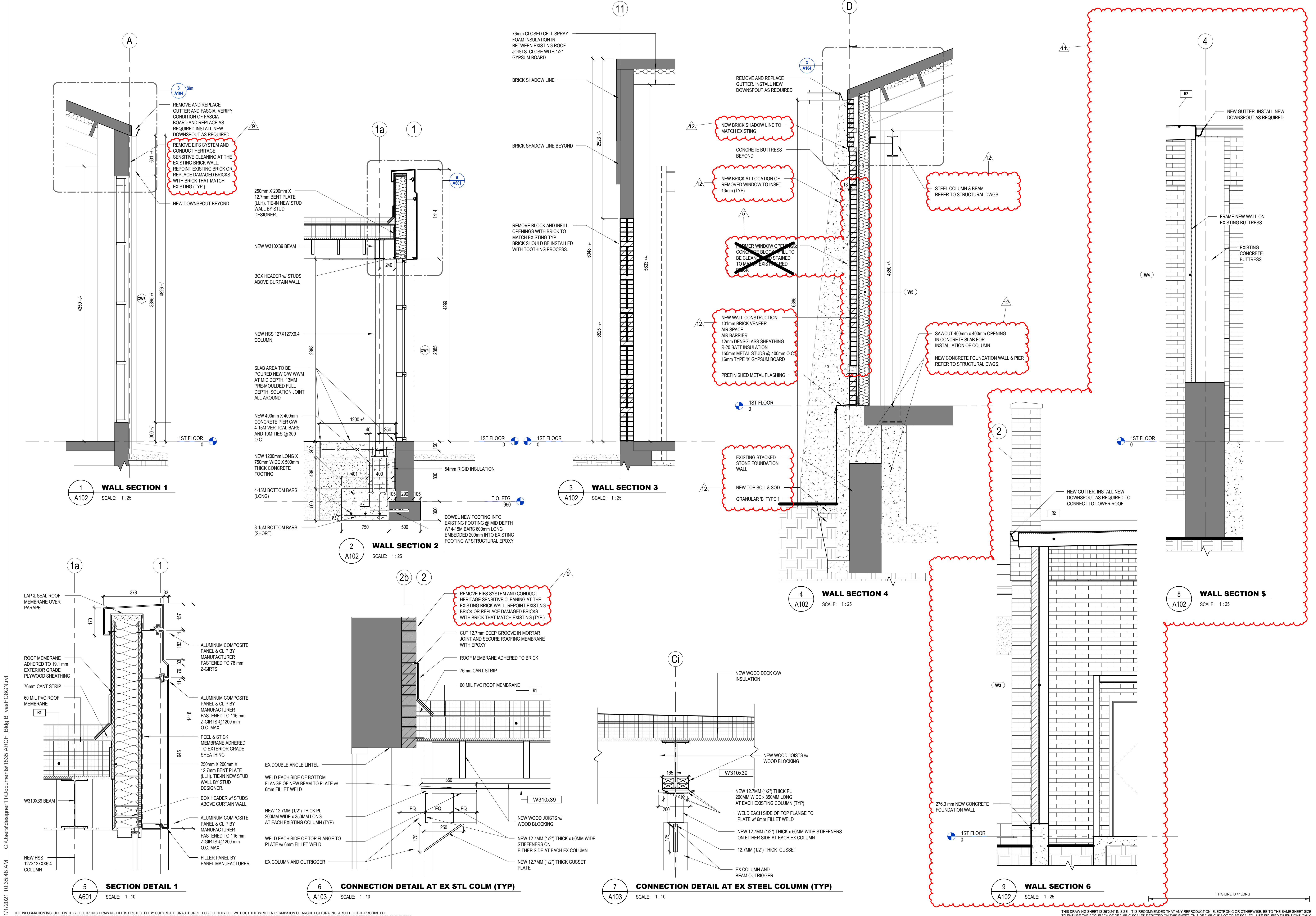
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A102 SCALE: 1:100



3 BUILDING SECTION - 3
A102 SCALE: 1:100



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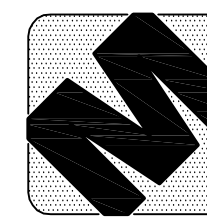
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Development & Heritage Standing Committee - January 10, 2022
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No.	Revision Schedule	Description	Date
5	Rev 5 - Ph2 - Draft SPC Approval Report		2021.04.14
9	Rev 9 - Heritage Notes		2021.05.28
11	Rev 11 - Coordination		2021.09.23
12	Rev 12 - East Walls Structural Repair		2021.10.26

WALL SECTIONS & DETAILS

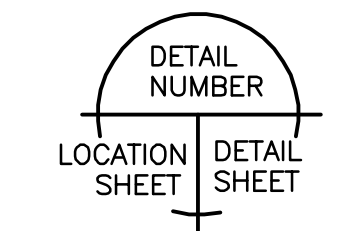


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DATE (dd/mm/yy)	ISSUED FOR
08/10/21	TENDER
25/10/21	REVISED FOR TENDER
27/10/21	BUILDING PERMIT

PROJECT
MIXED-USE DEVELOPMENT

1200 UNIVERSITY AVE WEST
WINDSOR, ONTARIO

CLIENT
AIPL CANADA

DRAWING TITLE
EX. FLOOR PLAN

DATE :	AUG 2021
SCALE :	AS NOTED
DRAWN BY :	TM/JLD
CHECKED BY :	MEM
PROJECT FILE NO.	M21-186
DRAWING NO.	S1.1

CONCRETE

ALL CONCRETE TO HAVE THE FOLLOWING STRENGTH AT 28 DAYS AND BE AIR ENTRAINED 5% MINIMUM TO 8% MAXIMUM UNLESS NOTED OTHERWISE:
FOOTINGS -20 MPa (HIGH EARLY) -NOT AIR ENTRAINED
PIERS & FOUNDATION WALLS -30 MPa (HIGH EARLY)

CLEAR CONCRETE COVER TO REBAR TO BE 3" FOR CONCRETE CAST AGAINST THE GROUND AND 2" IN ALL OTHER CASES.

CONCRETE TO BE MOIST CURED FOR 72 HOURS AFTER FINISHING.

TAKE ALL COLD OR HOT WEATHER PRECAUTIONS AS REQUIRED.

REINFORCING STEEL TO BE DEFORMED BARS WITH A YIELD STRENGTH OF 400 MPa IN ACCORDANCE WITH THE LATEST EDITION OF CSA G30.18-M92 (R2019).

ALL SLAB REINFORCING STEEL SHALL HAVE THE FOLLOWING MIN. SPLICES UNLESS NOTED OTHERWISE:
10M - 18"
15M - 24"
20M - 30"
25M - 40"

DO NOT TACK WELD REBAR.

BEFORE CONCRETE IS PLACED, THE CONTRACTOR SHALL CO-ORDINATE AND CHECK WITH ALL TRADES TO ENSURE THE PROPER PLACEMENT OF ALL SLEEVES, INSERTS, CURBS, ETC. RELATING TO THE WORK AS SHOWN ON THE DRAWINGS.

ALL EXTERIOR EXPOSED CONCRETE SURFACES TO BE CURED WITH WHITE PIGMENTED CURING COMPOUND (SEAL-TIGHT WP-45 OR APPROVED EQUAL) APPLIED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.

ALL HORIZONTAL REINFORCING STEEL BARS IN CONCRETE WALLS AND GRADE BEAMS SHALL BE CONTINUOUS THROUGH PIERS. BEND AT ALL CORNERS AND INTERSECTIONS OR PROVIDE SEPARATE CORNER BARS OF THE SAME SIZES AND SPACING. LAP ALL BARS WITH 24 BAR DIAMETER OR 12" WHICHEVER IS GREATER.

ALL EXPOSED EDGES OF BEAMS, WALLS, PIERS AND COLUMNS SHALL HAVE 3/4" CHAMFER.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS, SUCH AS UNDERGROUND AND/OR ABOVEGROUND UTILITIES, SEWERS, CAISSONS ETC. ON SITE. ALL PRECAUTIONS SHALL BE TAKEN TO PREVENT ANY DAMAGE. CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

FOUNDATIONS
FOUNDATION IS DESIGNED BASED ON AN ALLOWABLE BEARING PRESSURE OF 2000 PSF. IF ACTUAL SOIL CONDITIONS CANNOT SUPPORT THIS LOAD, CONTACT ENGINEER IMMEDIATELY.

INSTALL FOUNDATIONS ON UNDISTURBED SOIL AT THE ELEVATIONS NOTED. IF SOIL IS DISTURBED, IT SHALL BE REMOVED AND REPLACED WITH EITHER GRANULAR 'A' MATERIAL COMPACTED TO 100% SP100 OR LEAN CONCRETE (15 MPa).

DO NOT PLACE FOUNDATION CONCRETE UNTIL ENGINEER HAS INSPECTED FOUNDATION EXCAVATION.

ALL COLUMNS TO HAVE 1.1/2" HIGH STRENGTH, NON-SHRINK LEVELING GROUT UNDER BASE PLATES.

ALL PIER DOWELS TO HAVE 12" HOOK.

MASONRY

ALL MASONRY TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF CSA STANDARD A165.1-04 AND CSA A371-14 (R2019)

CONCRETE MASONRY UNITS TO BE MANUFACTURED TO C.S.A. A165.1-04 (BLOCK COMPRESSIVE STRENGTH TO BE 15MPa).

USE FACE SHELL MORTAR BED AND RUNNING BOND.

GROUT SOLID ALL CELLS CONTAINING REINFORCING STEEL AND ANCHORS.

GROUT COMPRESSIVE STRENGTH TO BE 20 MPa UNLESS OTHERWISE NOTED.

ALL JOINTS TO BE TOOLED TO A DENSE, SLIGHTLY CONCAVE SHADE.

MASONRY TO BE ANCHORED TO ALL STRUCTURAL STEEL BACK-UP AT 16" ON CENTRE VERTICALLY AND 32" ON CENTRE HORIZONTALLY UNLESS NOTED OTHERWISE.

BRICK MASONRY TO HAVE FERRO SLOTTED STUD TIES (TYPE 1) (OR APPROVED EQUAL) AT 16" O.C. VERTICALLY AND 32" HORIZONTALLY. INSTALL TIES AT 16" O.C. HORIZONTALLY WITHIN 5 FEET OF ALL BUILDING CORNERS.

ALL MASONRY CONNECTORS SHALL BE IN CONFORMANCE WITH CAN/CSA A370-14 (R2018).

GROUT TWO BLOCKS SOLID BELOW ALL BEAMS BEARING ON MASONRY FOR A WIDTH OF 16" MIN. ALL LINTELS AND BEAMS TO HAVE 8" MIN. BEARING ON MASONRY UNLESS NOTED OTHERWISE.

STRUCTURAL STEEL

THE ONTARIO BUILDING CODE 2012 AND CAN/C.S.A. S16-19 LATEST EDITION SHALL BE THE BASIS FOR DESIGN, FABRICATION AND ERECTION OF ALL WORK FOR THIS PROJECT.

ALL STRUCTURAL STEEL SHALL CONFORM TO CSA-G40.20-13/G40.21-13, (R2018) GRADE 355W.

UNLESS OTHERWISE NOTED ALL PRINCIPLE CONNECTIONS FOR STRUCTURAL JOINTS SHALL BE MADE WITH 3/4" DIAMETER A.S.T.M. F3125 / F3125M - 19 HIGH TENSILE BEARING TYPE BOLTS.

ALL SHOP AND FIELD WELDED CONNECTIONS INCLUDING TRUSSES SHALL BE WELDED WITH E70 ELECTRODES.

ALL BEAM CONNECTIONS ARE TO C.I.S.C. HANDBOOK OF STEEL CONSTRUCTION. TWO ANGLE WELDED CONNECTIONS CAPABLE OF SUPPORTING 1.5 TIMES THE DESIGN REACTION FORCES OR THE STRENGTH OF THE MEMBER WHICHEVER IS SMALLER.

ALL CONNECTIONS SHALL BE DESIGNED AND CERTIFIED BY A PROFESSIONAL ENGINEER OF THE PROVINCE OF ONTARIO. USE BEARING TYPE CONNECTIONS. ALL BRACING CONNECTIONS TO BE SLIP RESISTANT (FRICTIONS-TYPE).

STEEL ERECTOR SHALL PROVIDE TEMPORARY BRACING DURING CONSTRUCTION FOR ALIGNMENT, WIND, DEAD LOAD AND CONSTRUCTION AND SUBSEQUENT REMOVAL OF THE SAME.

VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE PROCEEDING. DETAILED SHOP DRAWINGS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES. DO NOT COMMENCE FABRICATION UNTIL CERTIFIED SHOP DRAWINGS HAVE BEEN REVIEWED BY THE ENGINEER.

WHERE NEW STRUCTURAL STEEL MEMBERS FRAME INTO EXISTING STRUCTURAL STEEL, THE CONTRACTORS SHALL REWORK THE EXISTING STRUCTURE AS NECESSARY.

GUSSET PLATES SHALL HAVE A MINIMUM THICKNESS OF 3/8" AT CENTRE OF COLUMNS.

HOLLOW STRUCTURAL SECTIONS TO MEET REQUIREMENTS OF CSA-G40.20-13/G40.21-13 (R2018), GRADE 355W, CLASS C.

COLD FORMED STEEL SECTIONS TO MEET REQUIREMENTS OF CAN/CSA S136-01 INCLUDING SUPPLEMENT CAN/CSA S136-01-04.

WELDING TO BE DONE BY COMPANIES WITH CANADIAN WELDING BUREAU DIVISION 1 OR DIVISION 2 STANDING. WELDING TO BE DONE BY OPERATORS FULLY APPROVED BY CANADIAN WELDING BUREAU CSA W47-2001. ALL WELDING TO DEVELOP FULL STRENGTH OF MEMBER UNLESS NOTED OTHERWISE. USE E70XX ELECTRODES.

ALL STRUCTURAL STEEL TO RECEIVE ONE COAT OF SHOP PRIMER TO CSB 1-GP-40M UNLESS NOTED OTHERWISE. TOUCH UP AFTER ERECTION VERIFY PRIMER COLOUR WITH OWNER.

VERIFY ALL DIMENSION ON SITE BEFORE FABRICATION.

COLUMNS TO BE FULLY WELDED TO BASE PLATES.

ALL BEAMS, COLUMNS AND GIRTS ADJACENT TO MASONRY WALLS ARE TO BE ANCHORED AT 32" HORIZONTALLY OR 16" VERTICALLY ON CENTRE UNLESS NOTED OTHERWISE.

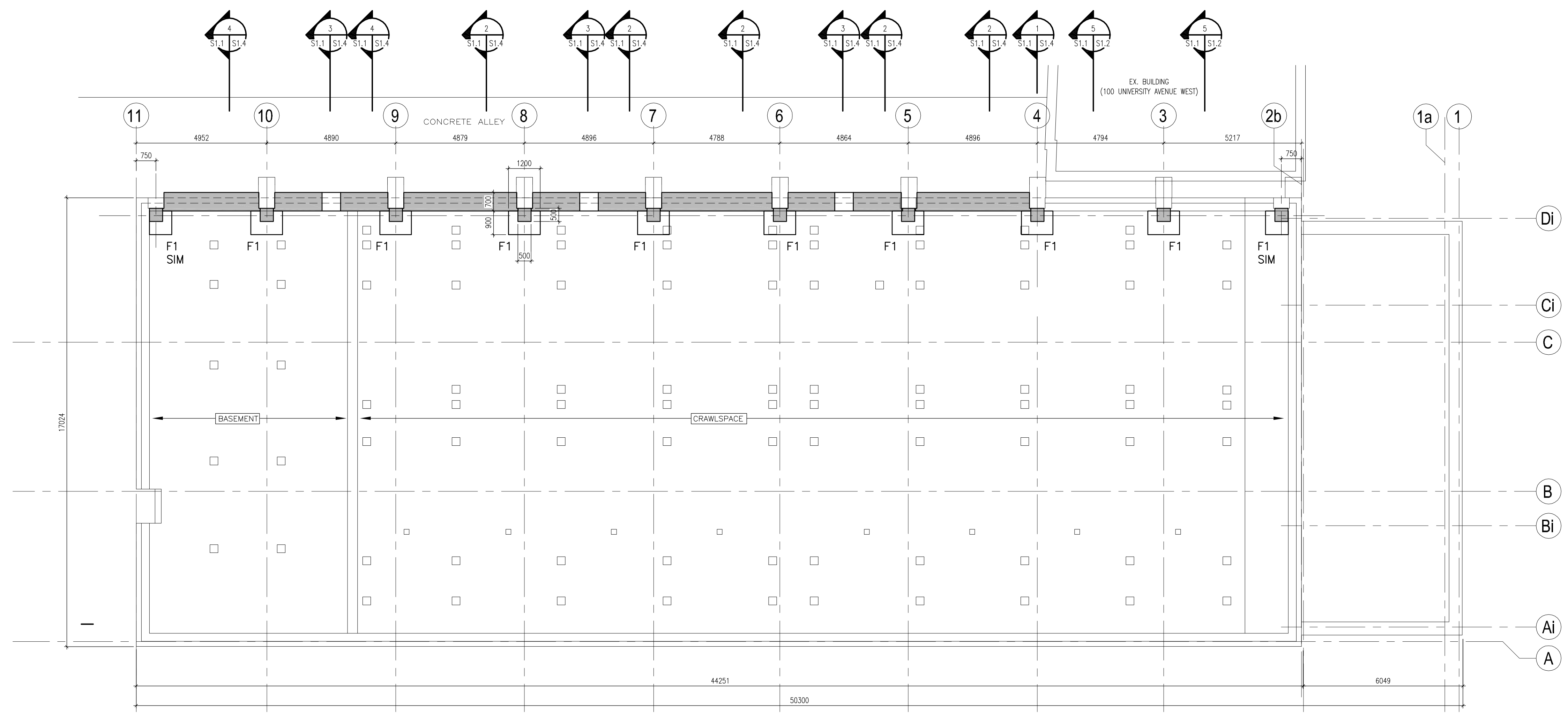
SHOP DRAWINGS:

- GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS SEALED BY LICENSED PROFESSIONAL ENGINEER IN ONTARIO FOR THE FOLLOWING:
- STRUCTURAL STEEL
 - FOUNDATION REBAR
 - STRUCTURAL STEEL STUDS
 - BRICK MORTAR SPECIFICATIONS TO BE REVIEWED BY ARCHITECT

NOTIFICATION OF INSPECTING ENGINEER

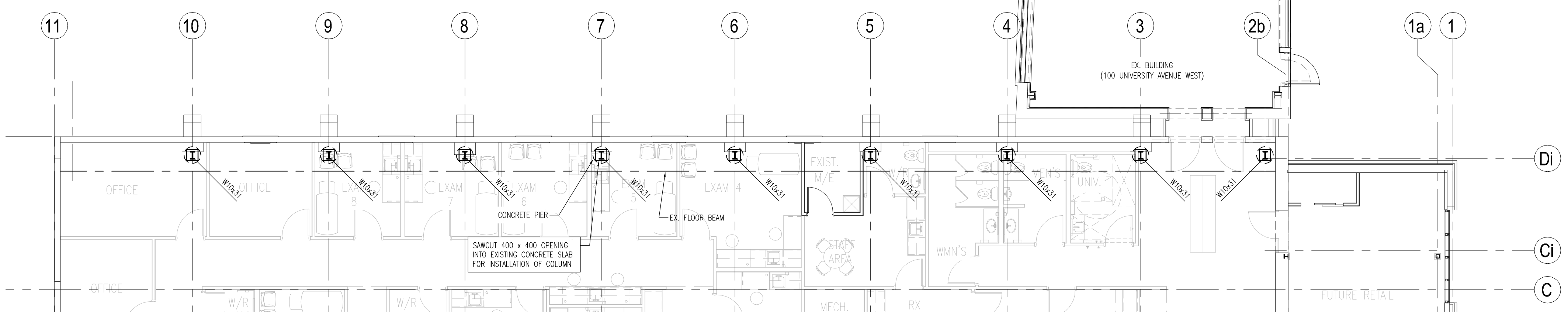
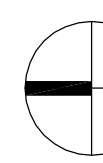
IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, CURRENT EDITION, THE ENGINEER WILL BE REQUIRED TO PERFORM GENERAL REVIEW OF THE BUILDING DURING CONSTRUCTION. THE CONTRACTORS SHALL NOTIFY THE ENGINEER 24 HOURS PREVIOUS TO COMMENCEMENT OF THE FOLLOWING ITEMS:

- PLACING FOOTING CONCRETE
- PLACING RETAINING WALLS, ETC.
- BACKFILLING OF MASONRY OR CONCRETE WALL BELOW GRADE
- INSTALLATION OF STRUCTURAL STEEL, JOISTS, BEAMS, LINTELS, ETC. OR STRUCTURAL WOOD MEMBERS
- PLACEMENT OF WALL OR CEILING INSULATION
- INSTALLATION OF MASONRY BEARING OR CURTAIN WALLS
- PRIOR TO PLACING OF CONCRETE FLOORS
- PRIOR TO INSTALLATION OF ROOFING MATERIALS.
- COMPLETION OF ROOF STRUCTURE BEFORE ROOFING AND INTERIOR FINISHES



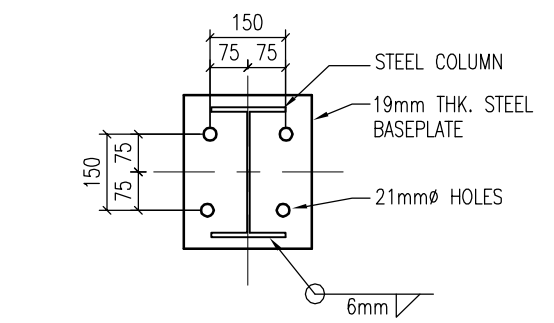
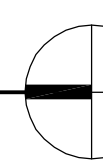
CRAWLSPACE FLOOR PLAN AND FOUNDATION PLAN

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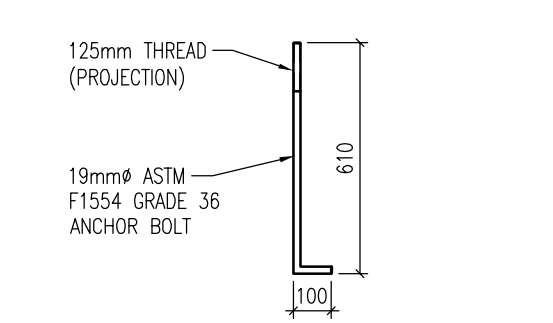
PARTIAL GROUND FLOOR PLAN

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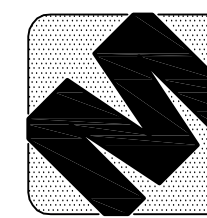
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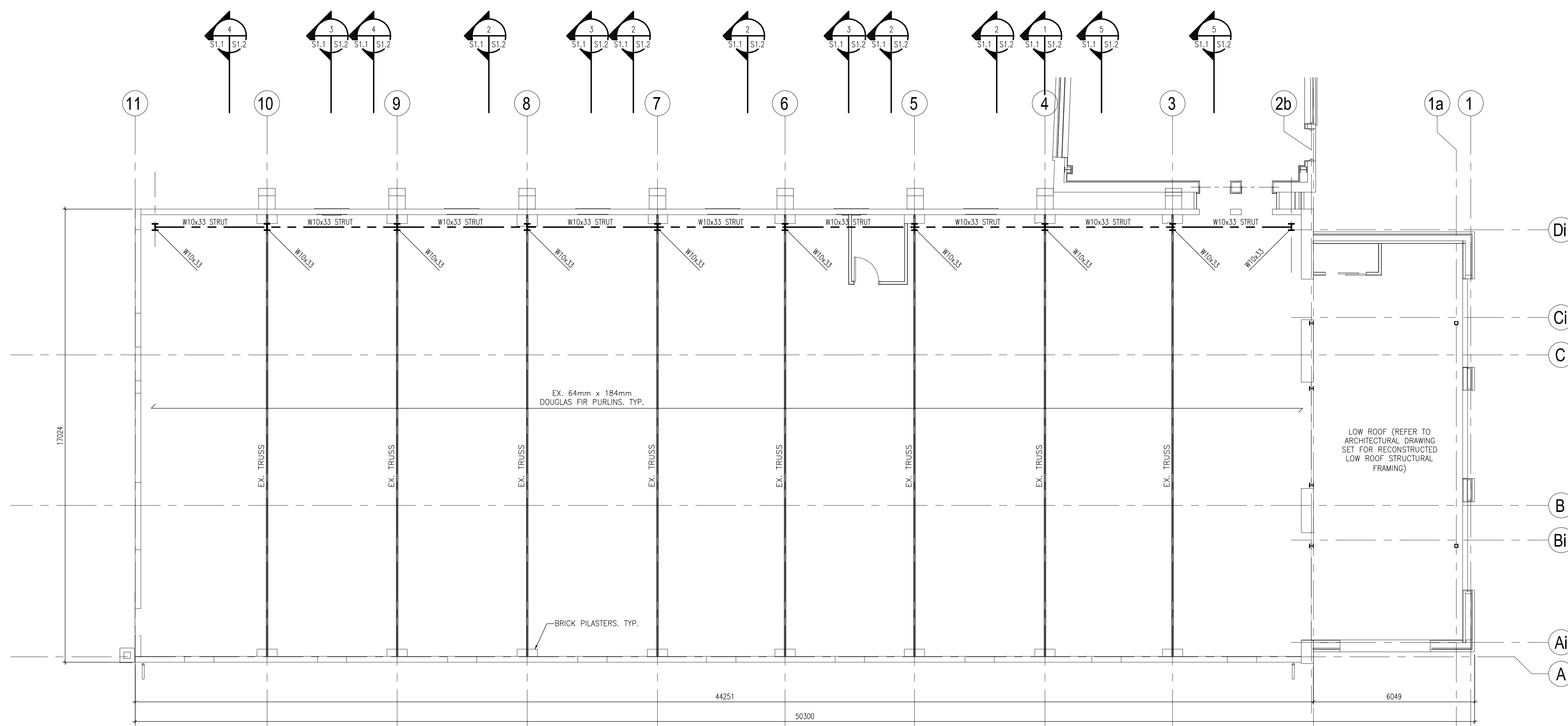


ANCHOR BOLT

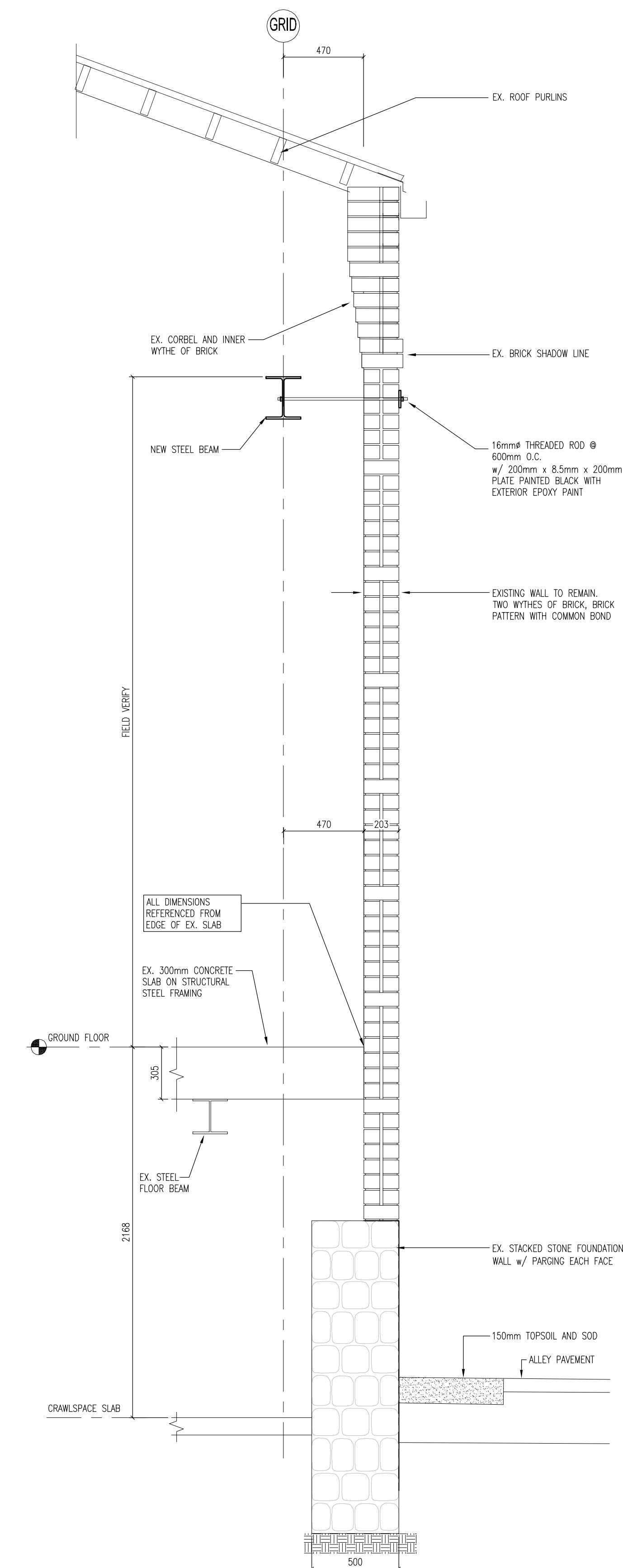
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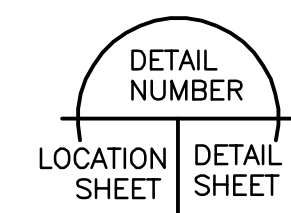
ROOF FRAMING PLAN
SCALE : 1:100



SECTION 5
SCALE : 1:20

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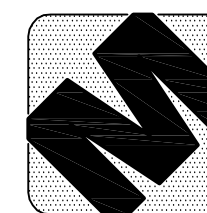
PROJECT
MIXED-USE DEVELOPMENT

1200 UNIVERSITY AVE WEST
WINDSOR, ONTARIO

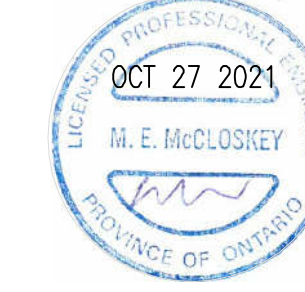
CLIENT
AIPL CANADA

DRAWING TITLE
ROOF FRAMING PLAN

DATE :	AUG 2021
SCALE :	AS NOTED
DRAWN BY :	TM/JLD
CHECKED BY :	MEM
PROJECT FILE NO.	M21-186
DRAWING NO.	S1.2

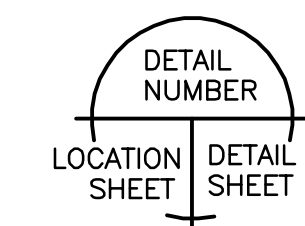


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PROJECT
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AIPL CANADA

DRAWING TITLE
EAST BUILDING ELEVATIONS - EXISTING AND NEW

DATE : AUG 2021

SCALE : AS NOTED

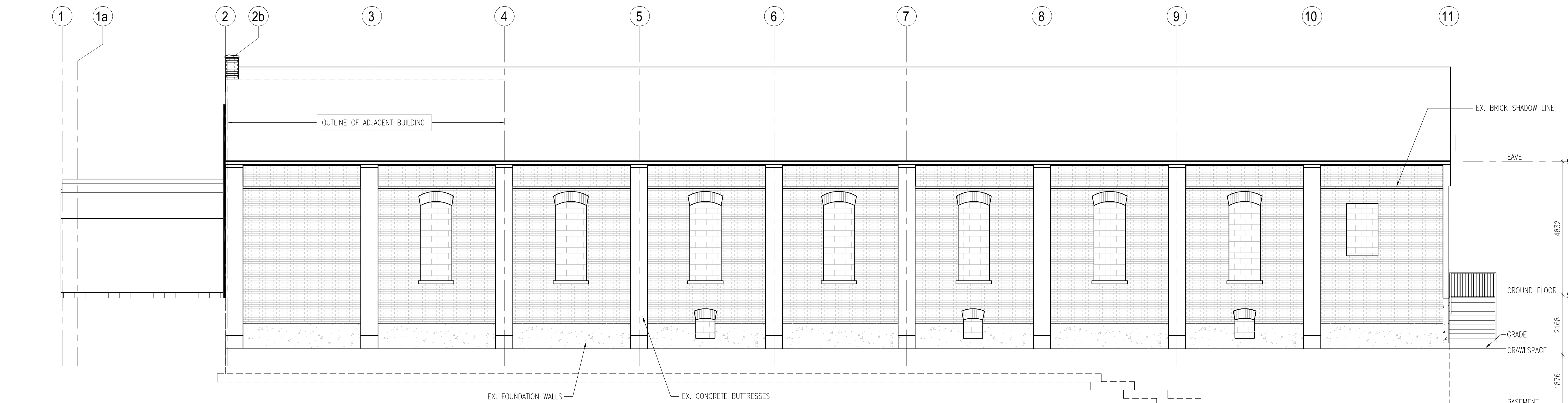
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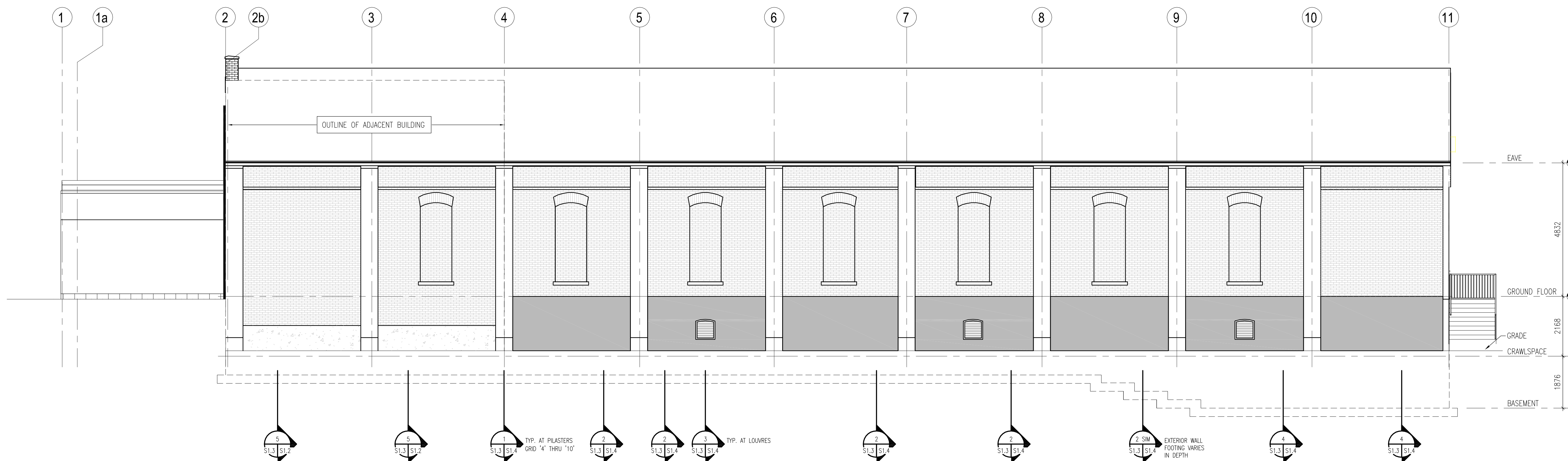
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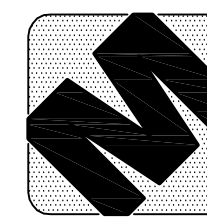
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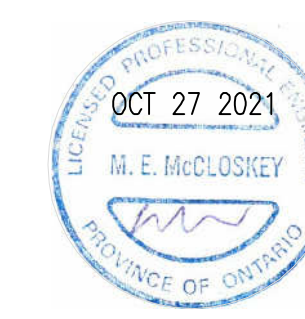


EAST ELEVATION - NEW

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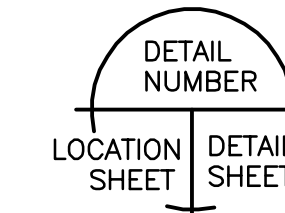


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PROJECT
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WINDSOR, ONTARIO

CLIENT
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DRAWING TITLE
SECTIONS AND DETAILS

DATE : AUG 2021

SCALE : AS NOTED

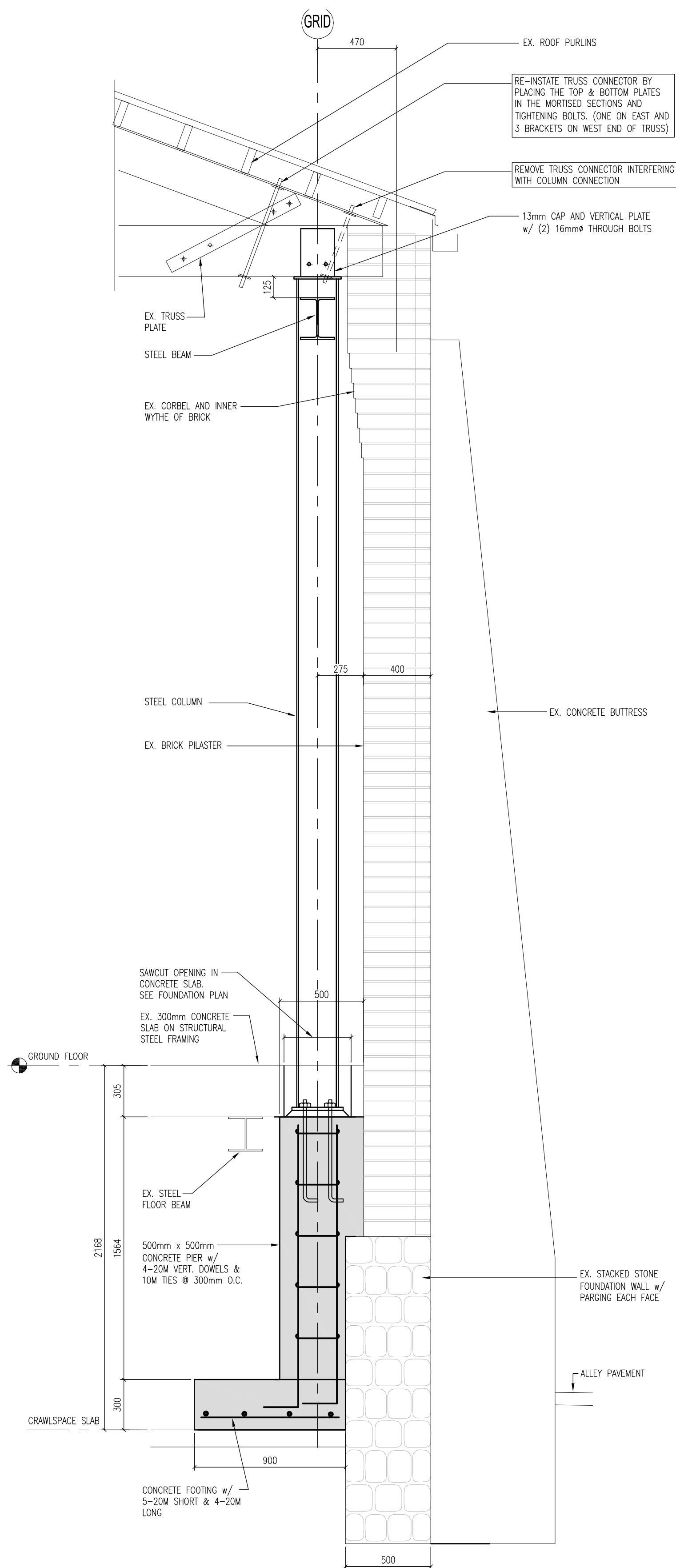
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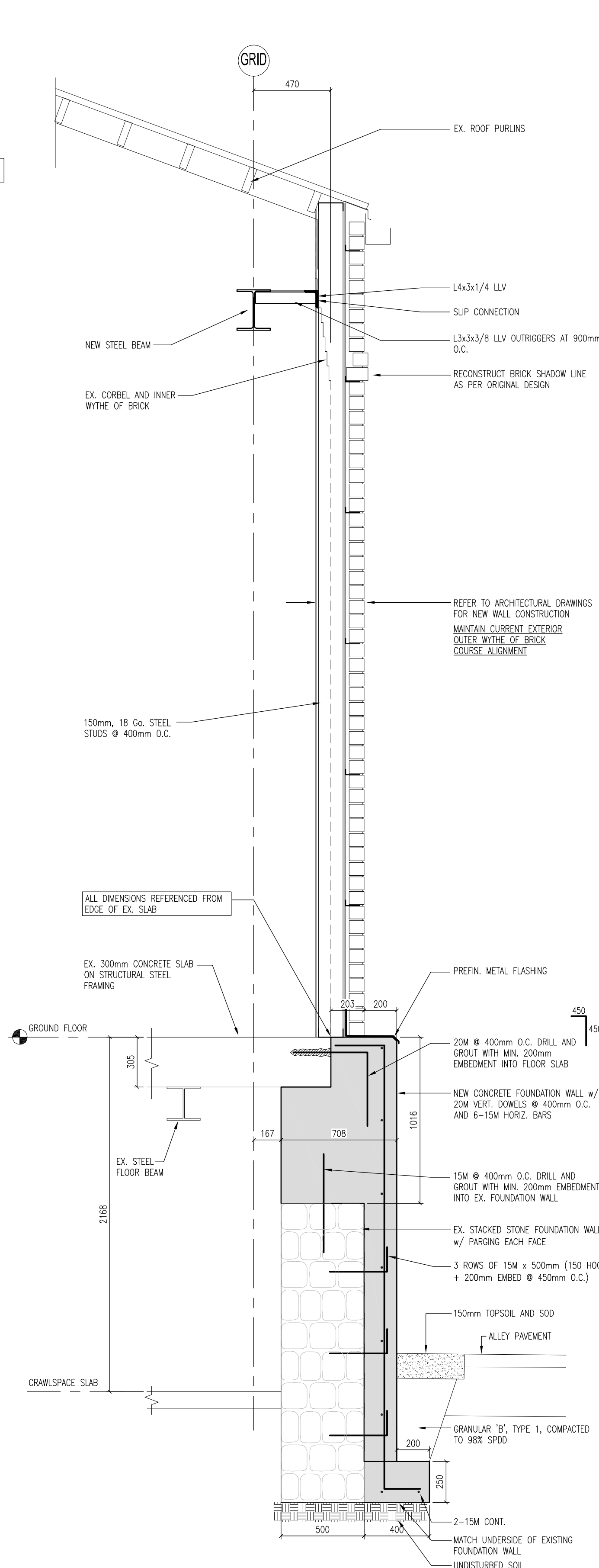
PROJECT FILE NO. M21-186

DRAWING NO.

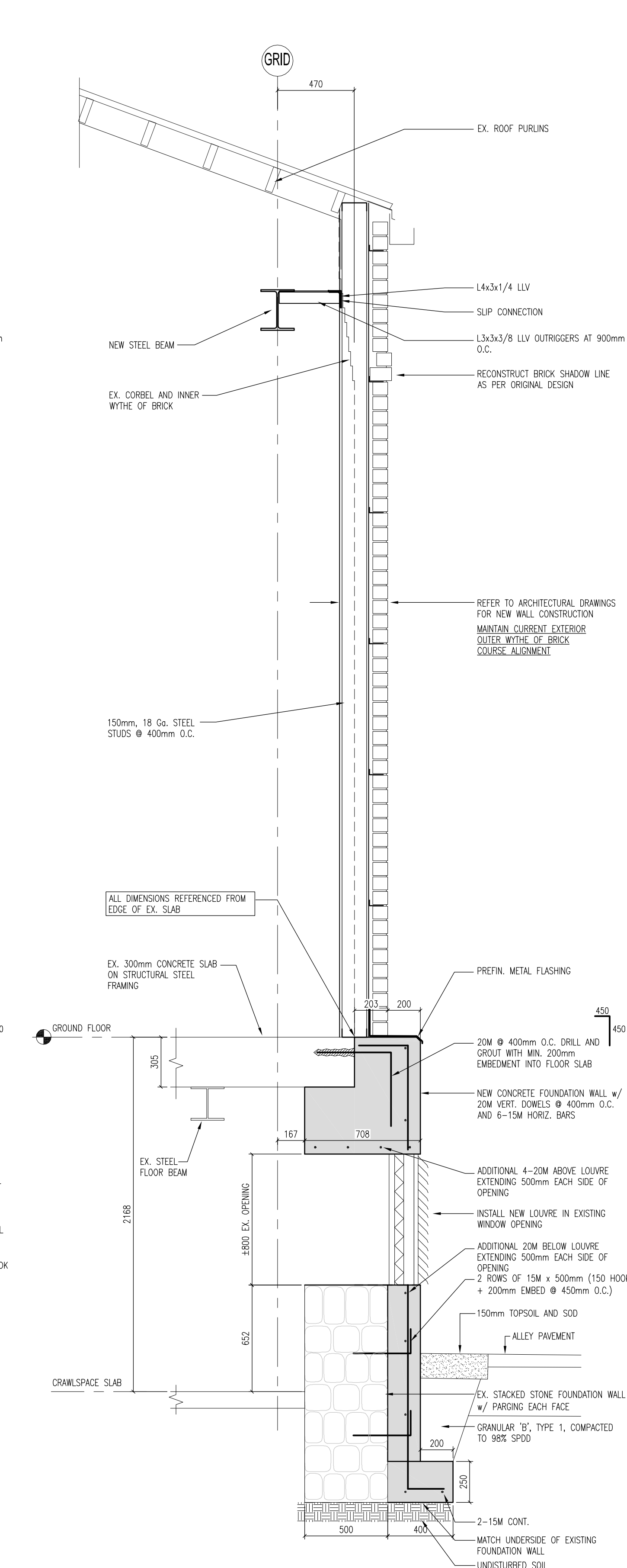
S1.4



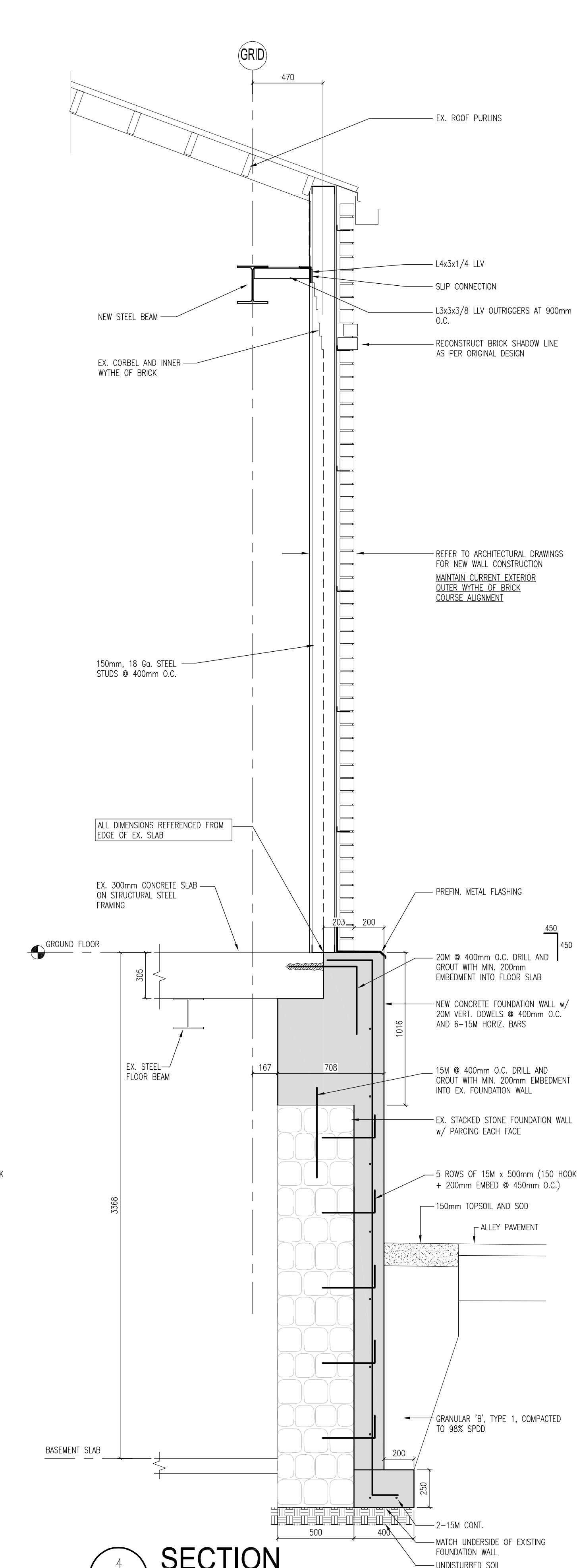
SECTION 1
S1.1 | S1.1 SCALE : 1:20



SECTION 2
S1.1 | S1.1 SCALE : 1:20



SECTION 3
S1.1 | S1.1 SCALE : 1:20



SECTION 4
S1.1 | S1.1 SCALE : 1:20

Appendix C – Existing Building Condition



Front (south) and side (west) facades



Interior photograph



Interior photograph

Description of Existing Improvements

The following descriptions are based on observations and assumptions made by the writer. This is not a complete or accurate building detail. It contains typical descriptions consistent with this type of construction. It is meant to assist the reader and provide minimal information for the application of the Cost Approach.

- i) General: The subject site is improved with two older commercial buildings that were constructed circa 1890. They are both currently vacant and in poor condition.

The total square footage of the east structure is 9,200±sf, with a mezzanine.

The total square footage of the west structure is 14,407±sf. The structure was vacant at the time of inspection and no interior inspection was conducted for safety reasons.

The current structure (A) is going to be redeveloped for one commercial tenant. The value of the existing structure is the current foundation, frame and structural components that have proved useable after inspection.

Front View of Building A



East Side View of Building A



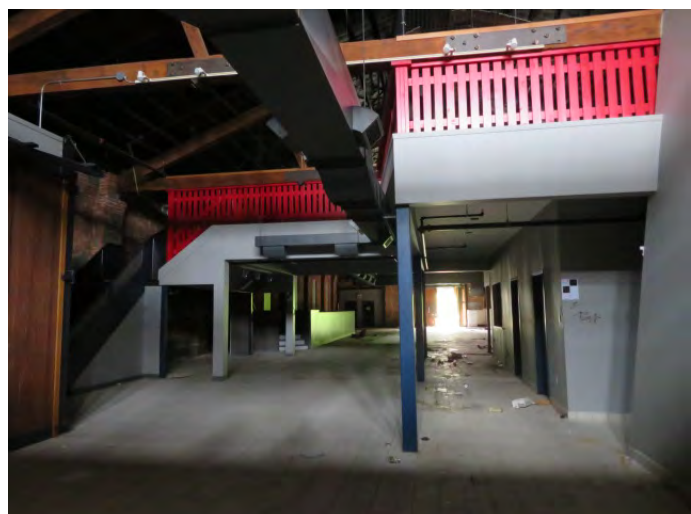
West Side View of Building A



Interior View



Interior View



Interior View



Area for construction of 133 residential unit building



Building B





Council Report: S 170/2021

Subject: Ford City/Building Facade Improvement CIP Application for 1093 Drouillard Road. Owner: Kyle McDonald – Ward 5

Reference:

Date to Council: January 10, 2022
Author: Kevin Alexander, Senior Planner Special Projects
519-255-6543 x6732
kalexander@citywindsor.ca

Steven Payne, Community Development Planning Assistant
519-255-6543 x 6396
spayne@citywindsor.ca

Report Date: December 7, 2021
Clerk's File #: Z/13251

To: Mayor and Members of City Council

Recommendation:

- I. **THAT** the request for incentives under the Ford City CIP Financial Incentive Programs made by 2156567 Ontario Ltd., (c/o Kyle McDonald), owner of the property located at 1093 Drouillard Road **BE APPROVED**, for the following incentive programs:
 - i. Retail Investment Grant in the amount of \$15,000 for one (1) ground floor retail unit;
 - ii. Municipal Development Fees Grant Program in the amount of \$3,902;
 - iii. Building/Property Improvement Tax Increment Grant Program for 100% of the municipal portion of the tax increment for up to 10 years in the amount of +/- 1,040 per year.
- II. **THAT** subject to completion and review satisfactory to the City Planner, the request made by 2156567 Ontario Ltd., (c/o Kyle McDonald), owner of the property located at 1093 Drouillard Road **BE APPROVED** for grants totalling a maximum of \$15,000 in principle under the *Building Facade Improvement Program and Urban Design Guidelines for Main Streets Community Improvement Plan*;
- III. **THAT** Administration **BE AUTHORIZED** to prepare the agreement between the City and 2156567 Ontario Ltd. (c/o Kyle McDonald) to implement the

Building/Property Improvement Tax Increment Grant Program (only) in accordance with all applicable policies, requirements to the satisfaction of the City Planner as to content, the City Solicitor as to legal form, and the CFO/City Treasurer as to financial implications;

- IV. **THAT** the CAO and City Clerk **BE AUTHORIZED** to sign the Grant Agreement(s) in content satisfactory to the City Planner, in financial content to the satisfaction of the City Treasurer and in form satisfactory to the City Solicitor;
- V. **THAT** funds in the amount of \$15,000 for the *Retail Investment Grant Program* and \$3,902 for the *Municipal Development Fees Grant Program* **BE TRANSFERRED** from the CIP Reserve Fund to the Ford City CIP Fund (Project #7181046);
- VI. **THAT** funds in the amount of \$15,000 under the *Building Facade Improvement Program and Urban Design Guidelines for Main Streets CIP* **BE TRANSFERRED** from the CIP Reserve Fund to the new Building Facade Improvement Program – Main Streets CIP project fund;
- VII. **THAT** grants **BE PAID** to 2156567 Ontario Ltd. (c/o Kyle McDonald) upon completion of improvements to the interior/exterior of the Ford City CIP Fund (Project #7181046) and facade improvements through the new Building Facade Improvement Program – Main Streets CIP project fund to the satisfaction of the City Planner and Chief Building Official; and

THAT grants approved **SHALL LAPSE** and be **UNCOMMITTED** if the applicant has not completed the work and fulfilled the conditions within 3 years of the approval date.

Executive Summary:

N/A

Background:

On January 8th, 2018, City Council approved the Building Facade Improvement Program and Urban Design Guidelines for Main Streets Community Improvement Plan (CIP) (CR9/2018 PHED 533) adopted through By-law 26-2018.

On November 19, 2018, City Council approved the Ford City Community Improvement Area and Ford City Community Improvement Plan (CIP) (CR625/2018 PHED 603) adopted through by-laws 171-2018 and 172-2018. These By-laws came into effect in January of 2019. In addition, on November 19, 2018, City Council activated the following financial incentive programs from the Ford City CIP:

1. Municipal Development Fees Grant Program
2. Retail Investment Grant Program
3. Building/Property Improvement Tax Increment Grant Program

On July 6th, 2021, 2156567 Ontario Ltd., (c/o Kyle McDonald), owner of the property located at 1093 Drouillard Road, submitted an application for grants under the *Ford City CIP* Financial Incentive Programs and the *Building Facade Improvement Program and Urban Design Guidelines for Main Streets CIP*. The property is located in the Ford City Business Improvement Area (BIA) and CIP Area.

Discussion:

Ford City CIP Financial Incentive Programs

The applicant is eligible for the following programs under the Ford City CIP Financial Incentive Programs:

Retail Investment Grant Program—the design and first impression made of a retail store is critical when appealing to its intended market and it can influence a consumer's perception of the quality of the store and visually communicate value. The grant offers up to 50% of eligible costs for improvements to a maximum amount of \$15,000 per retail unit in a building that has had a vacant ground floor retail or commercial storefront(s) for at least 6 months immediately prior to submission of an application to the program and will be occupied by a new retail business. The applicant is proposing one (1) new retail unit on the ground floor.

The following Interior improvements are proposed:

- New electrical
- New ceiling
- Replacement of existing uneven floor
- New HVAC equipment
- Restructuring of support beams and columns
- Removal and replacement of portions of the CMU on the north and west walls

The applicant is eligible for a \$15,000 grant for the one (1) ground floor retail unit.

Municipal Development Fees Grant Program—intended to encourage development within Ford City by providing an incentive to offset the costs associated with seeking the appropriate planning approvals and building permits for a project. Property owners will be eligible to receive a grant for 100% of the specified *Municipal Development Fees*, up to a maximum of \$50,000 per property. The applicant is eligible for \$3,902 under this program for Building Permit Application fees.

Building/Property Improvement Tax Increment Grant—intended to provide financial incentive for the physical improvements to properties whereby registered property owners and/or assignees would be eligible to receive a grant for 100% of the municipal portion of the tax increment generated from the improvements made to the building or property for up to 10 years.

To be eligible for the *Building/Property Improvement Tax Increment Grant*, improvements to the building/property must result in an annual grant (or tax increment) of at least \$500 for properties that are taxed at the “residential” tax rate; and \$1000 for properties taxed at all other tax rates. Once the property is redevelopment (as proposed), it will be considered mixed-use and therefore the annual grant (or tax increment) would have to increase by \$1000 to be eligible for the program.

The confirmed current value assessment of the property located at 1093 Drouillard Road is \$69,000 based on the 2021 Commercial Tax rate. The owner currently pays annual property taxes of \$2,922 (\$2,315 for the municipal portion) based on the commercial tax rate only.

Based on the information and drawings provided by the applicant, Administration estimates the post project assessment value to be \$100,000 based on the 2021 Commercial Tax rate. However, the actual amount of the new assessment will be dependent upon a full review of the building after the completion of renovations as determined by the Municipal Property Assessment Corporation (MPAC).

As identified in the table below, the estimated annual value of the grant is \$1,040. Over 10 years, this grant amounts to \$10,400.

The applicant indicates that the estimated eligible costs for the project is \$397,447.02. The *Planning Act* stipulates that the grants under a CIP cannot be more than the eligible costs. The total grant amount of \$44,302 is less than the estimate eligible costs.

Estimated Building/Property Improvement Tax Increment Grant for 1093 Drouillard Road		
Annual Pre Development Municipal Taxes	Annual Estimate Post Development Municipal Taxes	Annual Estimate Value of Grant
\$ 2,315	\$ 3,355	\$ 1,040

Assumptions

Current Property Value Assessment (2020 – Residential)	\$69,000
Estimate Post Development Property Assessment	\$100,000

Because the Grant Program does not exempt the property from taxes, the owner must pay the full amount of property taxes annually and will subsequently receive a grant for the difference between the pre and post-development municipal taxes. The City will retain the amount of pre-development (base) municipal taxes throughout the lifespan of

the grant program; however will be foregoing any incremental property taxes which could otherwise be used to offset future budget pressures.

Building Facade Improvement Grant Program

The City of Windsor Building Facade Improvement Program and Urban Design Guidelines for Main Streets CIP offers financial incentives to encourage property owners and businesses to make investments to improve the exterior appearance of their buildings and storefronts along Main Streets. Such improvements provide a benefit to the community as a whole, by preserving heritage features, protecting Main Streets, and reconnecting storefronts with the public realm. The CIP is applicable to the Ford City BIA Main Streets and within all the BIAs in the City of Windsor, except for the Sandwich Town and Downtown Windsor BIAs, which are under separate CIPs. Funding for the Building Facade Improvement Grant Program is broken down into three categories:



Category A (Beautification) —aesthetic and minor functional improvements aimed at making the building facade and storefront more attractive and welcoming to tenants and customers



Category B (Restoration)—aesthetic, functional, and restoration improvements made to restore key features of the building facade



Category C (Replacement)— encourage work that will replace or reinstate key features that have been lost or deteriorated beyond repair or are of a style that is no longer consistent with the building design.

Applicants can receive a grant for 50% of the costs for eligible building facade and storefront improvements up to a maximum of \$15,000 per project. The amount can be increased up to \$60,000 per project for larger buildings with multiple storefronts. The grant also applies to the side(s) and rear of buildings provided the building facade is visible from an adjacent street or public right-of-way or park, and as long as the storefront/facade facing the main street is improved at the same time.

The applicant is proposing extensive replacement, restoration, and beautification changes to the exterior of the building. The applicant is proposing to demolish portions of the existing Drouillard Road and Richmond Street facing facade and to reinstate the facade with the following:

- Installation/improvement of signage (as permitted by the Sign By-law)
- Cleaning of masonry buildings for preservation
- Repair and repointing of facade masonry
- Storefront Glazing
- Building code and structural improvements to the building facade
- Removal of features that are inconsistent to the building

- Installing Gooseneck lighting

The project is eligible for a maximum grant of \$15,000 for improvements to facades facing Drouillard Road and Richmond Street.

Risk Analysis:

The approval of these grants does not carry significant risk, as there are sufficient funds within the new CIP reserve fund approved by Council on February 22, 2021. The applicant will not receive any grants until all work is completed and inspected to the satisfaction of the Planning and Building Department. As a requirement of Section 28 (7.3) of the Planning Act, Administration has confirmed that the grant amount does not exceed the total cost of the project.

Climate Change Risks

Climate Change Mitigation:

The rehabilitation of the existing building will have a low impact on how the project affects climate change, because improvements are largely contained to the existing building footprint where modern building methods will be utilized.

The rehabilitation of the existing building contributes to the revitalization of an existing Main Street that services the surrounding Ford City Neighbourhood limiting vehicular travel and promoting walking and other alternative modes of transportation, thereby contributing to a complete community. The rehabilitation of the building will utilize modern building methods, which will conform to the Ontario Building Code concerning safety and energy efficiency. New doors and windows are also proposed that will be more energy efficient than what is existing.

Utilizing an existing building and infrastructure in an existing built-up area of the City also promotes efficiency on the existing infrastructure network by not promoting development on greenfield land.

Climate Change Adaptation:

As temperatures increase and when considering the Urban Heat Island effect for the City of Windsor, the property appears to be located within a Heat Vulnerability area. However, the rehabilitation of the building will utilize modern building methods, which will conform to the Ontario Building Code concerning energy efficiency. New doors and windows are also proposed that will be more energy efficient than what is existing.

Financial Matters:

On February 22, 2021, Council approved the 2021 budget, which included a new reserve fund for all active CIPs in the City. As CIP grant applications are approved, the *approved grant amount will be transferred to the capital project account to be kept as committed funds, until the grant is ready to be paid out.* The current uncommitted balance of the CIP reserve fund is \$682,341.62 however this balance does not account for other CIP grant requests that are currently being considered by the standing committee or have been endorsed by the standing committee and are not yet approved by City Council

If approved, funds will be transferred from the CIP reserve fund to the Ford City CIP Fund (Project #7181046) to disperse the maximum amount of \$18,902 for the *Retail Investment* grant and *Municipal Development Fees Grant Program* (if necessary) identified in this report.

Also, if approved funds will be transferred from the CIP reserve fund to the new Building Facade Improvement – Main Streets CIP project fund in the maximum amount of \$15,000.

The *Building/Property Improvement Tax Increment Grant* would be based upon the municipal tax increase and will be calculated by the Finance Department in consultation with the Municipal Property Assessment Corporation (MPAC) once the project is completed.

If this report is approved the applicant will receive \$44,302 in grants. According to the application, the owner will invest approximately \$397,447.02 on improvements to the exterior of this building. Therefore, the grant to investment ratio will be \$8.97 for every municipal dollar granted to this project.

Consultations:

The owner and architect for the property located at 1093 Drouillard Road have been consulted regarding grants related to the improvements outlined in this report. Carolyn Nelson, Manager of Property Valuation & Administration, Taxation & Financial Projects was consulted with respect to the Ford City CIP *Building/Property Improvement Tax Increment Grant*. Josie Gualtieri, Financial Planning Administrator was also consulted regarding the Ford City CIP and Building Facade Improvement CIP grants, and related capital project/reserve fund balances.

Conclusion:

The improvements to 1093 Drouillard Road meet all eligibility criteria identified in this report, for the for *Retail Investment*, *Building/Property Improvement Tax Increment*, *Municipal Development Fees Grant Programs* (if necessary), and the Building Facade Improvement Program grants, through the *Ford City CIP* and *Building Facade Improvement Program and Urban Design Guidelines for Main Streets CIP*.

The improvements will contribute to the Revitalization of Ford City and a vibrant main street through the indoor-outdoor connection created through improvements to the building facades and interior retail space.

There are sufficient funds in the CIP reserve fund to provide grants for the proposed improvements. Administration recommends approval of the grants identified in this report.

Planning Act Matters:

N/A

Approvals:

Name	Title
Kevin Alexander	Planner III – Special Projects
Josie Gualtieri	Financial Planning Administrator
Neil Robertson	Manager of Urban Design / Deputy City Planner
Thom Hunt	City Planner/Executive Director of Planning and Building Services
Wira Vendrasco	Deputy City Solicitor, Legal Services & Real Estate
Shelby Askin Hager	Commissioner, Legal & Legislative Services
Janice Guthrie	Deputy Treasurer Taxation & Financial Planning
Dan Seguin	On behalf of Commissioner, Corporate Services Chief Financial Officer / City Treasurer
Jason Reynar	Chief Administrative Officer

Notifications:

Name	Address	Email
2156567 Ontario Ltd. c/o Kyle McDonald	1008 Drouillard Road, Windsor, ON N8Y 2P8	kyle@mcdpi.com
Settimo Vilardi		svilardi@archonarchitect.com
Bridget Scheuerman Ford City BIA		bscheuerman@cogeco.ca

Appendices:

- 1 LOCATION MAP
- 2 PROPOSED IMPROVEMENTS

APPENDIX 'A'

LOCATION MAP



LOCATION MAP



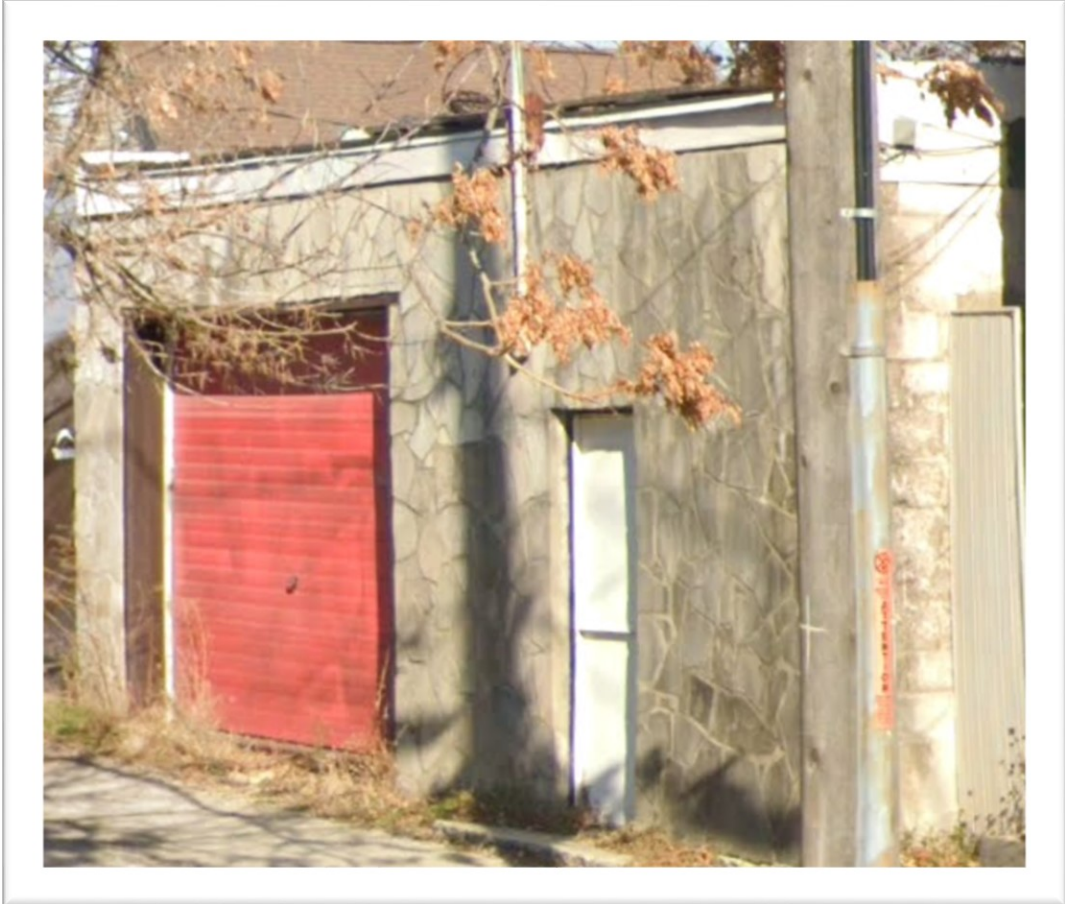
SUBJECT PROPERTY : 1093 DROUILLARD ROAD



APPENDIX 'A'

EXISTING FACADE

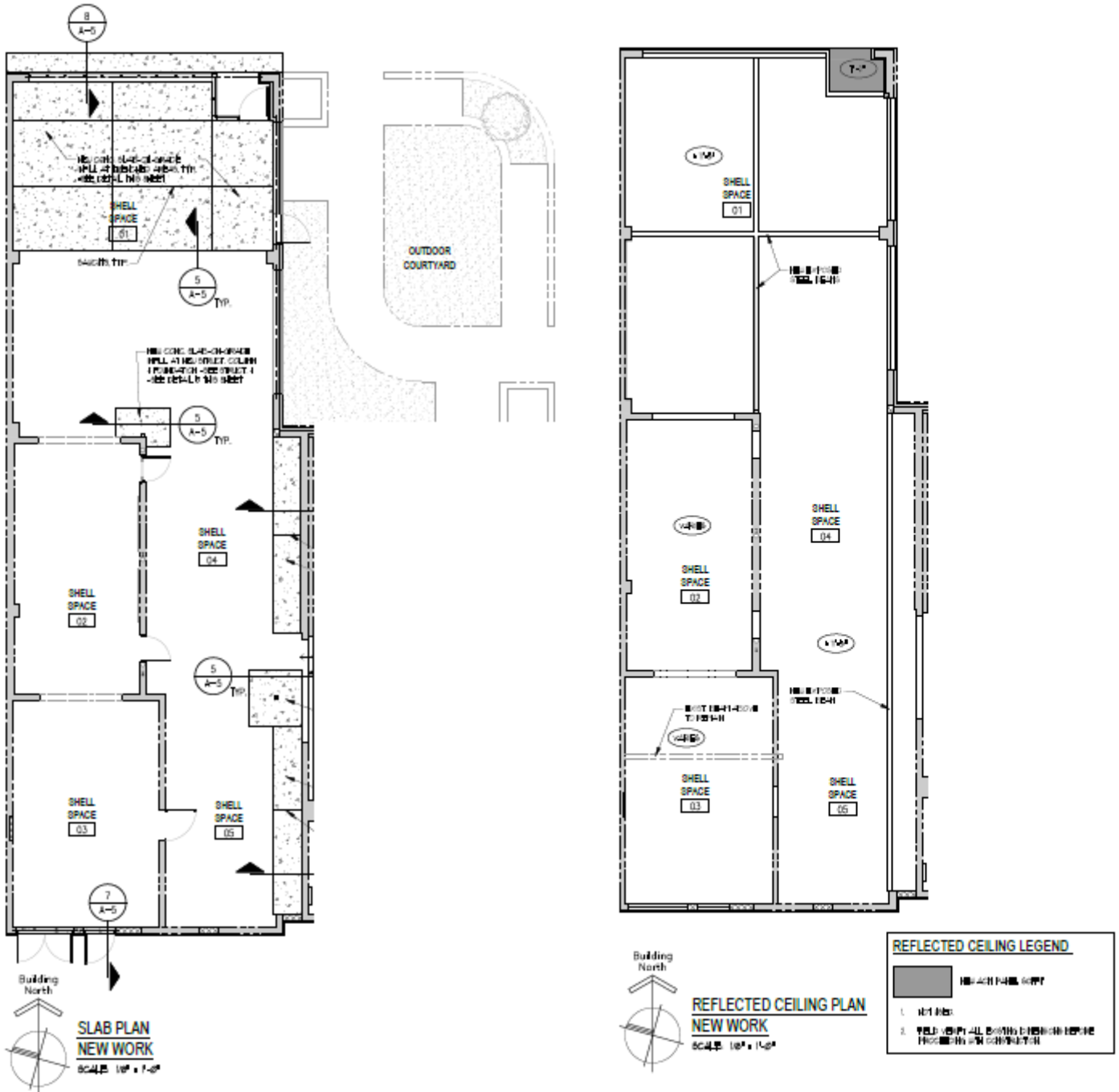


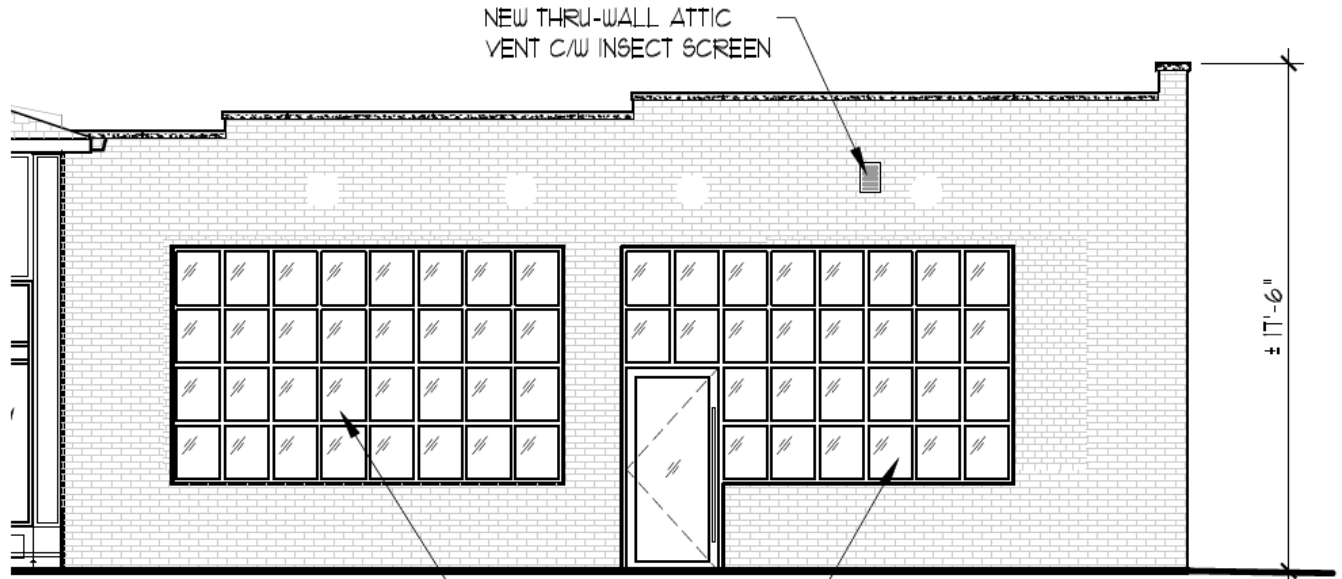


Google Images Nov 2020

APPENDIX 'B'

PROPOSED IMPROVEMENTS

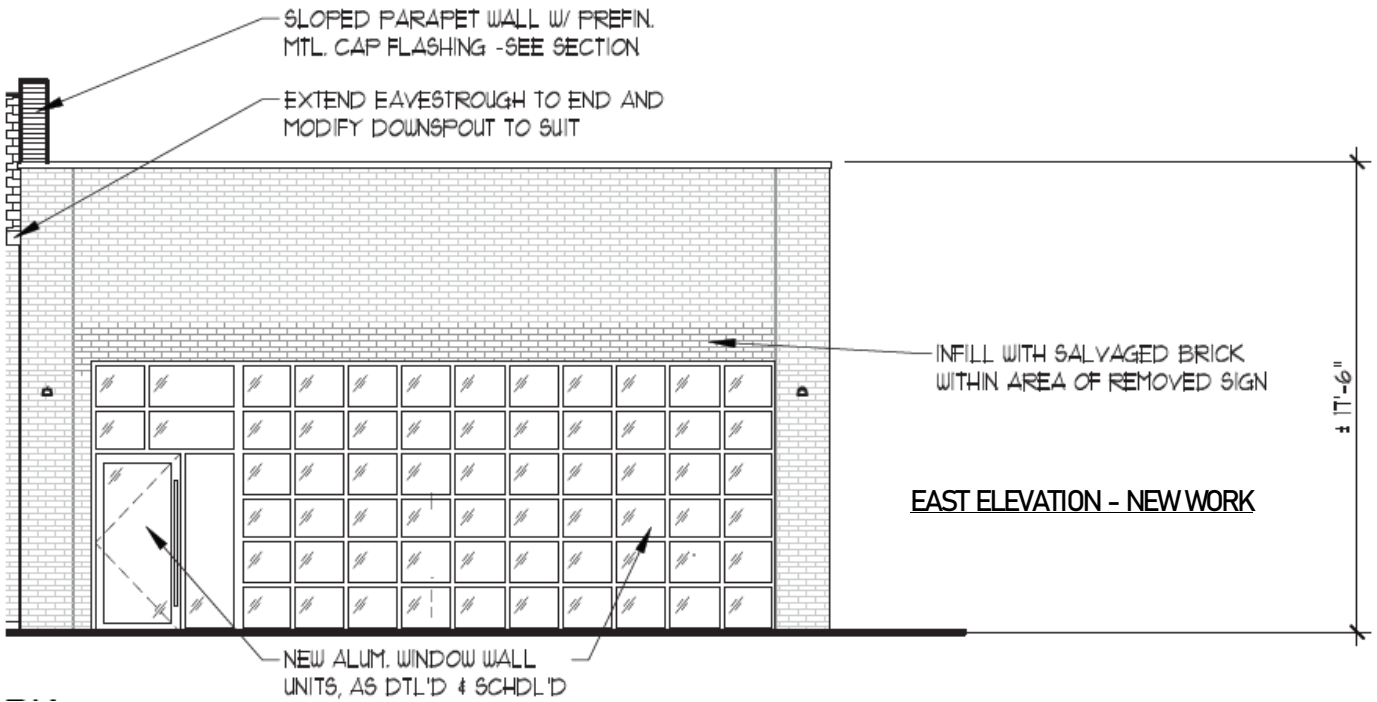




1 SOUTH ELEVATION - NEW WORK
A-4 SCALE: 1/8" = 1'-0"

NEW THRU-WALL ATTIC VENT C/W INSECT SCREEN

NEW ALUM. WINDOW WALL UNITS, AS DTL'D & SCHDL'D



SLOPED PARAPET WALL W/ PREFIN. MTL. CAP FLASHING - SEE SECTION

EXTEND EAVESTROUGH TO END AND MODIFY DOWNSPOUT TO SUIT

INFILL WITH SALVAGED BRICK WITHIN AREA OF REMOVED SIGN

EAST ELEVATION - NEW WORK

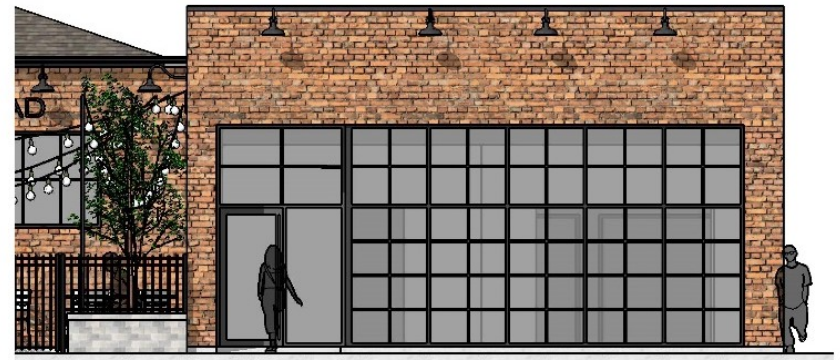
NEW ALUM. WINDOW WALL UNITS, AS DTL'D & SCHDL'D

APPENDIX 'B'

PROPOSED IMPROVEMENTS



SOUTH ELEVATION



EAST ELEVATION



PERSPECTIVE VIEW



Council Report: S 169/2021

Subject: Ford City/Building Facade Improvement CIP Application for 2778 Richmond Street. Owner: Kyle McDonald – Ward 5

Reference:

Date to Council: January 10, 2022
 Author: Kevin Alexander, Senior Planner Special Projects
 519-255-6543 x6732
 kalexander@citywindsor.ca

Steven Payne, Community Development Planning Assistant
 519-255-6543 x 6396
 spayne@citywindsor.ca

Report Date: December 7, 2021
 Clerk's File #: Z/13251

To: Mayor and Members of City Council

Recommendation:

- I. **THAT** the request for incentives under the Ford City CIP Financial Incentive Programs made by 2156567 Ontario Ltd., (c/o Kyle McDonald), owner of the property located at 2778 Richmond Street **BE APPROVED**, for the following incentive programs:
 - i. Retail Investment Grant in the amount of \$15,000 for one (1) ground floor retail unit;
 - ii. Municipal Development Fees Grant Program in the amount of \$40.00
 - iii. Building/Property Improvement Tax Increment Grant Program for 100% of the municipal portion of the tax increment for up to 10 years in the amount of +/- 1,275 per year.
- II. **THAT** subject to completion and review satisfactory to the City Planner, the request made by 2156567 Ontario Ltd., (c/o Kyle McDonald), owner of the property located at 2778 Richmond Street **BE APPROVED** for grants totalling a maximum of \$15,000 in principle under the *Building Facade Improvement Program and Urban Design Guidelines for Main Streets Community Improvement Plan*;
- III. **THAT** Administration **BE AUTHORIZED** to prepare the agreement between the City and 2156567 Ontario Ltd. (c/o Kyle McDonald) to implement the

Building/Property Improvement Tax Increment Grant Program (only) in accordance with all applicable policies, requirements to the satisfaction of the City Planner as to content, the City Solicitor as to legal form, and the CFO/City Treasurer as to financial implications;

- IV. **THAT** the CAO and City Clerk **BE AUTHORIZED** to sign the Grant Agreement(s) in content satisfactory to the City Planner, in financial content to the satisfaction of the City Treasurer and in form satisfactory to the City Solicitor;
- V. **THAT** funds in the amount of \$15,000 under the *Retail Investment Grant* Program and funds in the amount of \$40.00 under the *Municipal Development Fees Grant Program* **BE TRANSFERRED** from the CIP Reserve Fund to the Ford City CIP Fund (Project #7181046);
- VI. **THAT** funds in the amount of \$15,000 under the *Building Facade Improvement Program and Urban Design Guidelines for Main Streets CIP* **BE TRANSFERRED** from the CIP Reserve Fund to the new Building Facade Improvement Program – Main Streets CIP project fund;
- VII. **THAT** grants **BE PAID** to 2156567 Ontario Ltd. (c/o Kyle McDonald) upon completion of improvements to the interior/exterior of the Ford City CIP Fund (Project #7181046) and facade improvements through the Building Facade Improvement Program – Main Streets CIP project fund to the satisfaction of the City Planner and Chief Building Official; and

THAT grants approved **SHALL LAPSE** and **BE UNCOMMITTED** if the applicant has not completed the work and fulfilled the conditions within 3 years of the approval date.

Executive Summary:

N/A

Background:

On January 8th, 2018, City Council approved the Building Facade Improvement Program and Urban Design Guidelines for Main Streets Community Improvement Plan (CIP) (CR9/2018 PHED 533) adopted through By-law 26-2018.

On November 19, 2018, City Council approved the Ford City Community Improvement Area and Ford City Community Improvement Plan (CIP) (CR625/2018 PHED 603) adopted through by-laws 171-2018 and 172-2018. These By-laws came into effect in January of 2019. In addition, on November 19, 2018, City Council activated the following financial incentive programs from the Ford City CIP:

1. Municipal Development Fees Grant Program
2. Retail Investment Grant Program
3. Building/Property Improvement Tax Increment Grant Program

On July 6th, 2021, 2156567 Ontario Ltd., (c/o Kyle McDonald), owner of the property located at 2778 Richmond Street, submitted an application for grants under the *Ford City CIP* Financial Incentive Programs and the *Building Facade Improvement Program and Urban Design Guidelines for Main Streets CIP*. The property is located in the Ford City Business Improvement Area (BIA) and CIP Area.

Discussion:

Ford City CIP Financial Incentive Programs

The applicant is eligible for the following programs under the Ford City CIP Financial Incentive Programs:

Retail Investment Grant Program—the design and first impression made of a retail store is critical when appealing to its intended market and it can influence a consumer's perception of the quality of the store and visually communicate value. The grant offers up to 50% of eligible costs for improvements to a maximum amount of \$15,000 per retail unit in a building that has had a vacant ground floor retail or commercial storefront(s) for at least 6 months immediately prior to submission of an application to the program and will be occupied by a new retail business. The applicant is proposing one (1) new retail unit on the ground floor.

The following Interior improvements are proposed:

- New electrical
- New ceiling
- Replacement of existing uneven floor
- New HVAC equipment
- Restructuring of support beams and columns
- Removal and replacement of portions of the CMU on the north and west walls

The applicant is eligible for a \$15,000 grant for the one (1) ground floor retail unit.

Municipal Development Fees Grant Program—intended to encourage development within Ford City by providing an incentive to offset the costs associated with seeking the appropriate planning approvals and building permits for a project. Property owners will be eligible to receive a grant for 100% of the specified *Municipal Development Fees*, up to a maximum of \$50,000 per property. The applicant is eligible to receive \$40.00 through this program for Building permit related fees.

Building/Property Improvement Tax Increment Grant—intended to provide financial incentive for the physical improvements to properties whereby registered property owners and/or assignees would be eligible to receive a grant for 100% of the municipal portion of the tax increment generated from the improvements made to the building or property for up to 10 years.

To be eligible for the *Building/Property Improvement Tax Increment Grant*, improvements to the building/property must result in an annual grant (or tax increment) of at least \$500 for properties that are taxed at the “residential” tax rate; and \$1000 for properties taxed at all other tax rates. Once the property is redeveloped (as proposed), it will be considered commercial and therefore the annual grant (or tax increment) would have to increase by \$1000 to be eligible for the program.

The confirmed current value assessment of the property located at 2778 Richmond Street is \$37,000 based on the 2021 Commercial Tax rate. The owner currently pays annual property taxes of \$1,966.82 (\$1,228.43 for the municipal portion) based on the residential tax rate only.

Based on the information and drawings provided by the applicant, Administration estimates the post project assessment value to be \$75,000 based on the 2020 Commercial Tax rate. However, the actual amount of the new assessment will be dependent upon a full review of the building after the completion of renovations as determined by the Municipal Property Assessment Corporation (MPAC).

As identified in the table below, the estimated annual value of the grant is \$1,275. Over 10 years, this grant amounts to \$12,750.

The applicant indicates that the estimated eligible costs for the project is \$264,964.68. The *Planning Act* stipulates that the grants under a CIP cannot be more than the eligible costs. The total grant amount of \$42,790 is less than the estimate eligible costs.

Estimated Building/Property Improvement Tax Increment Grant for 2778 Richmond Street		
Annual Pre Development Municipal Taxes	Annual Estimate Post Development Municipal Taxes	Annual Estimate Value of Grant
\$ 1,241	\$ 2,516	\$ 1,275

Assumptions

Current Property Value Assessment (2020 – Residential)	\$37,000
Estimate Total Post Development Assessment	\$75,000

Because the Grant Program does not exempt the property from taxes, the owner must pay the full amount of property taxes annually and will subsequently receive a grant for the difference between the pre and post-development municipal taxes. The City will retain the amount of pre-development (base) municipal taxes throughout the lifespan of the grant program; however will be foregoing any incremental property taxes, which could otherwise be used to offset future budget pressures.

Building Facade Improvement Grant Program

The City of Windsor Building Facade Improvement Program and Urban Design Guidelines for Main Streets CIP offers financial incentives to encourage property owners and businesses to make investments to improve the exterior appearance of their buildings and storefronts along Main Streets. Such improvements provide a benefit to the community as a whole, by preserving heritage features, protecting Main Streets, and reconnecting storefronts with the public realm. The CIP is applicable to the Ford City BIA Main Streets and within all the BIAs in the City of Windsor, except for the Sandwich Town and Downtown Windsor BIAs, which are under separate CIPs. Funding for the Building Facade Improvement Grant Program is broken down into three categories:



Category A (Beautification) —aesthetic and minor functional improvements aimed at making the building facade and storefront more attractive and welcoming to tenants and customers



Category B (Restoration)—aesthetic, functional, and restoration improvements made to restore key features of the building facade



Category C (Replacement)— encourage work that will replace or reinstate key features that have been lost or deteriorated beyond repair or are of a style that is no longer consistent with the building design.

Applicants can receive a grant for 50% of the costs for eligible building facade and storefront improvements up to a maximum of \$30,000 per project. The amount can be increased up to \$60,000 per project for larger buildings with multiple storefronts. The grant also applies to the side(s) and rear of buildings provided the building facade is visible from an adjacent street or public right-of-way or park, and as long as the storefront/facade facing the main street is improved at the same time. However, since this particular building is only one (1) storey it is only eligible for \$7,500 per facade.

The applicant is proposing extensive replacement, restoration, and beautification changes to the exterior of the building, including the following:

- Installation/improvement of signage (as permitted by the Sign By-law)
- Cleaning of masonry for preservation
- Repair and repointing of facade masonry
- Storefront Glazing
- Building code and structural improvements to the building facade
- Removal of features that are inconsistent to the building
- Installation of new exterior lighting fixtures

The project is eligible for a \$15,000 grant for improvements to the one (1) storey facades facing Richmond Street and Drouillard Road.

Risk Analysis:

The approval of these grants does not carry significant risk, as there are sufficient funds within the new CIP reserve fund approved by Council on February 22, 2021. The applicant will not receive any grants until all work is completed and inspected to the satisfaction of the Planning and Building Department. As a requirement of Section 28 (7.3) of the Planning Act, Administration has confirmed that the grant amount does not exceed the total cost of the project.

Climate Change Risks

Climate Change Mitigation:

The rehabilitation of the existing building will have a low impact on how the project affects climate change, because improvements are largely contained to the existing building footprint where modern building methods will be utilized.

The rehabilitation of the existing building contributes to the revitalization of an existing Main Street that services the surrounding Ford City Neighbourhood limiting vehicular travel and promoting walking and other alternative modes of transportation, thereby contributing to a complete community. The rehabilitation of the building will utilize modern building methods, which will conform to the Ontario Building Code concerning safety and energy efficiency. New doors and windows are also proposed that will be more energy efficient than what is existing.

Utilizing an existing building and infrastructure in an existing built-up area of the City also promotes efficiency on the existing infrastructure network by not promoting development on greenfield land.

Climate Change Adaptation:

As temperatures increase and when considering the Urban Heat Island effect for the City of Windsor, the property appears to be located within a Heat Vulnerability area. However, the rehabilitation of the building will utilize modern building methods, which will conform to the Ontario Building Code concerning energy efficiency. New doors and windows are also proposed that will be more energy efficient than what is existing.

Financial Matters:

On February 22, 2021, Council approved the 2021 budget, which included a new reserve fund for all active CIPs in the City. As CIP grant applications are approved, the *approved grant amount will be transferred to the capital project account to be kept as committed funds, until the grant is ready to be paid out.* The current uncommitted balance of the CIP reserve fund is \$682,341.62 however this balance does not account for other CIP grant requests that are currently being considered by the standing committee or have been endorsed by the standing committee and are not yet approved by City Council

If approved, funds will be transferred from the CIP reserve fund to the Ford City CIP Fund (Project #7181046) to disperse the maximum amount of \$15,040 for the *Retail Investment* grant and *Municipal Development Fees Grant Program* (if necessary) identified in this report.

Also, if approved funds will be transferred from the CIP reserve fund to the new Building Facade Improvement – Main Streets CIP project fund in the maximum amount of \$15,000.

The *Building/Property Improvement Tax Increment Grant* would be based upon the municipal tax increase and will be calculated by the Finance Department in consultation with the Municipal Property Assessment Corporation (MPAC) once the project is completed.

If this report is approved the applicant will receive \$42,790 in grants. According to the application, the owner will invest approximately \$264,965 on improvements to the exterior of this building. Therefore, the grant to investment ratio will be \$6.19 for every municipal dollar granted to this project.

Consultations:

The owner and architect for the property located at 2778 Richmond Street have been consulted regarding grants related to the improvements outlined in this report. Carolyn Nelson, Manager of Property Valuation & Administration, Taxation & Financial Projects was consulted with respect to the Ford City CIP *Building/Property Improvement Tax Increment Grant*. Josie Gualtieri, Financial Planning Administrator and Emilie Dunnigan, Manager Development Revenue & Financial Administration were also consulted regarding the Ford City CIP and Building Facade Improvement CIP grants, and related capital project/reserve fund balances.

Conclusion:

The improvements to 2778 Richmond Street meet all eligibility criteria identified in this report, for the *Retail Investment, Building/Property Improvement Tax Increment, Municipal Development Fees Grant Programs*, and the Building Facade Improvement Program grants, through the *Ford City CIP and Building Facade Improvement Program and Urban Design Guidelines for Main Streets CIP*.

The improvements will contribute to the Revitalization of Ford City and a vibrant main street through the indoor-outdoor connection created through improvements to the building facades and interior retail space.

There are sufficient funds in the CIP reserve fund to provide grants for the proposed improvements. Administration recommends approval of the grants identified in this report.

Planning Act Matters:

N/A

Approvals:

Name	Title
Kevin Alexander	Planner III – Special Projects
Josie Gualtieri	Financial Planning Administrator
Neil Robertson	Manager of Urban Design / Deputy City Planner
Thom Hunt	City Planner/Executive Director of Planning and Building Services
Wira Vendrasco	Deputy City Solicitor, Legal Services & Real Estate
Shelby Askin Hager	Commissioner, Legal & Legislative Services
Janice Guthrie	Deputy Treasurer Taxation & Financial Planning
Joe Mancina	Commissioner, Corporate Services Chief Financial Officer / City Treasurer
Jason Reynar	Chief Administrative Officer

Notifications:

Name	Address	Email
2156567 Ontario Ltd. c/o Kyle McDonald	1008 Drouillard Road, Windsor, ON N8Y 2P8	kyle@mcdpi.com
Settimo Vilardi		svilardi@archonarchitect.com
Bridget Scheuerman Ford City BIA		bscheuerman@cogeco.ca

Appendices:

Appendix A - LOCATION MAP

Appendix B - PROPOSED IMPROVEMENTS

APPENDIX 'A'

LOCATION MAP



LOCATION MAP



SUBJECT PROPERTY : 2778 RICHMOND STREET

APPENDIX 'A'

EXISTING FACADE

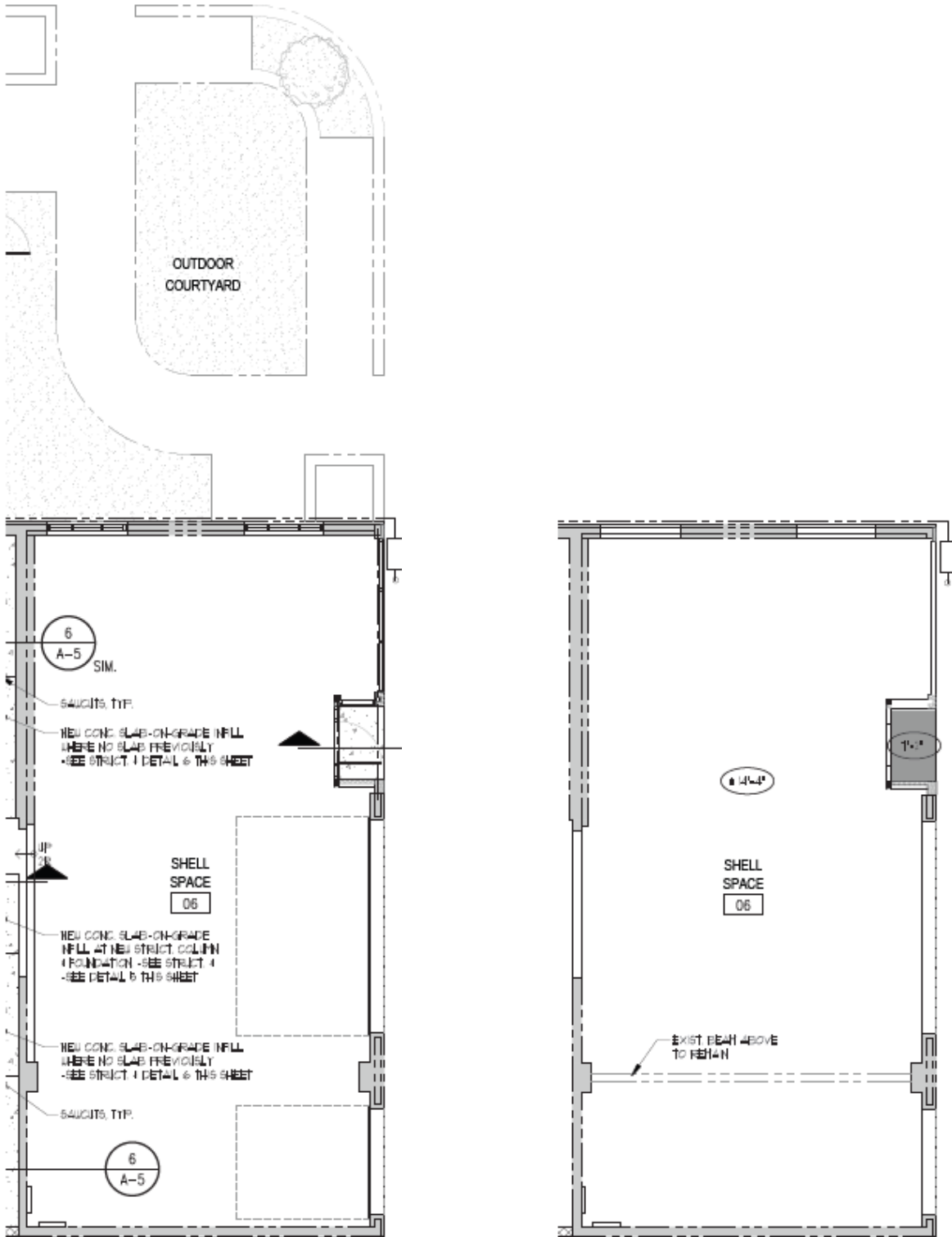


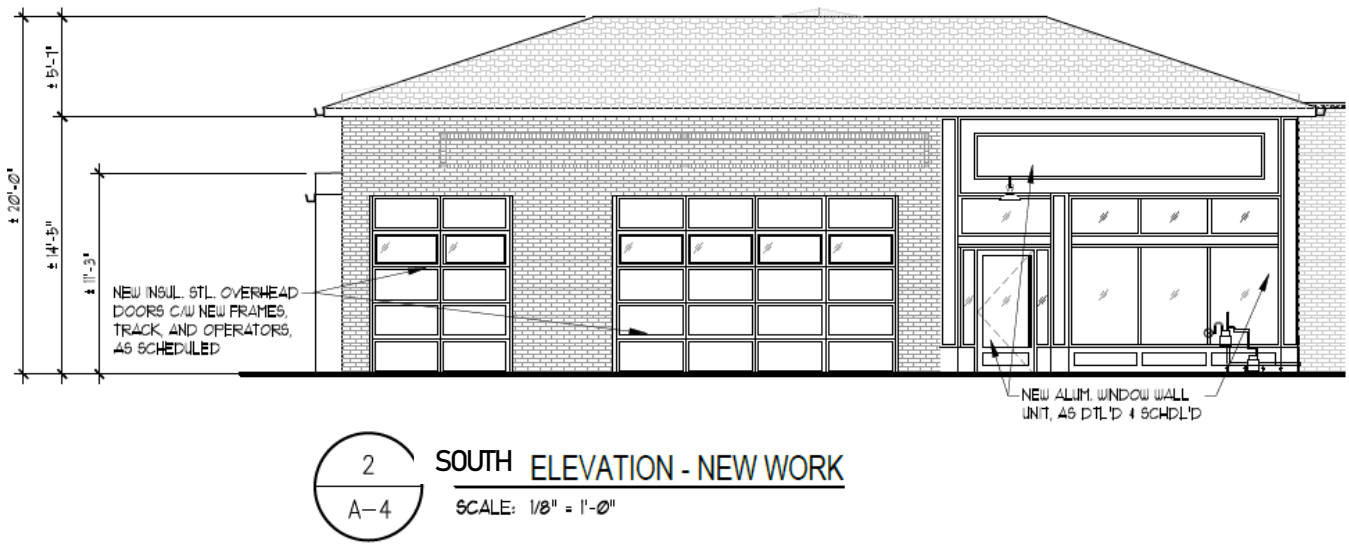
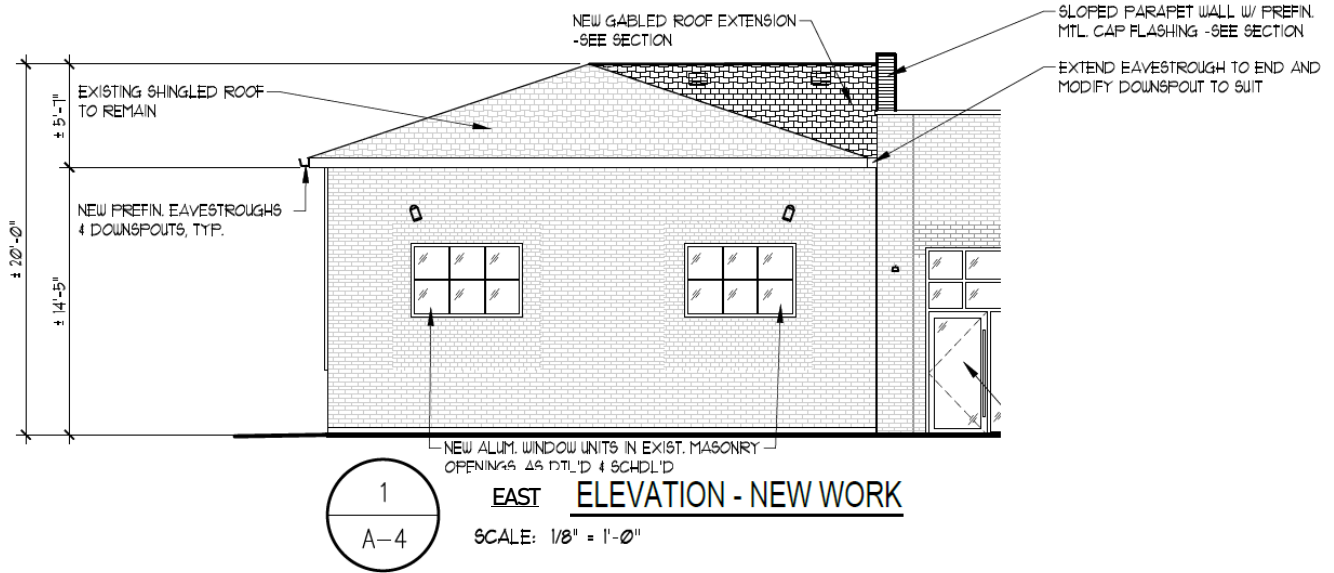


Google Images Nov 2020

APPENDIX 'B'

PROPOSED IMPROVEMENTS





APPENDIX 'B'
PROPOSED IMPROVEMENTS



SOUTH ELEVATION



EAST ELEVATION



PERSPECTIVE VIEW

Item No. 12.1



Committee Matters: SCM 378/2021

**Subject: Minutes of the Property Standards Committee of its meeting held
October 6, 2021**

Property Standards Committee

Meeting held October 6, 2021

A meeting of the Property Standards Committee is held this day commencing at 3:30 o'clock p.m. via Zoom video conference, there being present the following members:

Councillor Rino Bortolin, Chair
Councillor Ed Sleiman
Darrel Laurendeau
Matthew Wachna

Regrets received from:

Councillor Chris Holt (due to a work conflict)

Delegation in attendance:

Robert Brown, on behalf of MEDDCO Properties Inc., *regarding Item 5.1*

Also present are the following resource personnel:

Kevin Alexander, Planner III
Rob Vani, Manager Inspections, Deputy Chief Building Official
Nicole Brush, Building Bylaw Enforcement Officer
Jay McGuire, Building Bylaw Enforcement Officer
Karen Kadour, Committee Coordinator

1. Call to Order

The Chair calls the meeting to order at 3:32 o'clock p.m. and the Committee considers the Agenda being Schedule A attached hereto, matters which are dealt with as follows:

2. Disclosure of Interest

None disclosed.

3. Adoption of the Minutes

Moved by Councillor Sleiman, seconded by D. Laurendeau,
That the minutes of the Property Standards Committee of its meeting held
September 4, 2020 **BE ADOPTED** as presented.
Carried.

4. Request for Deferral, Referral or Withdrawal

None.

5. Appeals

5.1 Meddco Property Inc. -325 Giles Boulevard West – VY 21-316155

Robert Brown, on behalf of MEDDCO Properties Inc. appears before the Property Standards Committee via Zoom video conference regarding property at 325 Giles Boulevard West,

Jay McGuire, Building Bylaw Enforcement Officer provides a Presentation entitled “325 Giles Boulevard West – OTR 21-316155”, **attached** as Appendix “A”.

- **Order to Repair key dates:**
- August 19, 2021 – to submit Engineer’s report/scope of work per compliance requirements outlined in the Order to Repair.
- September 18, 2021 – to obtain city permits.
- November 17, 2021 – to complete repairs (and associated required permit inspections)

- **Current compliance status NO ACTION TAKEN as of September 30, 2021 on the following:**
- Water infiltration throughout building
- Deteriorated concrete structure in underground parking garage and associated areas
- Deteriorated balconies throughout building
- Masonry facade cracking
- Damaged/defective exterior wall finishes throughout building
- Missing/defective exterior wall vent grilles
- Issues with poorly installed A/C units and missing/defective A/C sleeve cap panels
- Missing/deteriorated concrete window sills
- Repair/replace defective exterior doors
- Obtain permits for repairs to defective underground garage mechanical exhaust system

- Repair defective interior cladding
- Repair defective piping in underground garage for surface drainage noted above

Robert Brown refers to the correction in the Order to Repair that states to “obtain at owner’s expense an indoor air quality assessment report by a certified air quality assessment professional. Owner to undertake the recommendations provided within the report and follow up/repeat as required to ensure indoor air quality levels are qualified as “healthy” per qualified professional’s opinion and to Officer’s satisfaction.” He indicates that the issue noted as water infiltration was found in the basement. He asks Administration to comment on if actual mould was identified or if only water was present.

J. McGuire responds that he is not a qualified mould professional so what is seen as mildew may be mistaken for mould. There was a combination of water infiltration that was left unaddressed; as well as a lack of natural and mechanical intervention that would encourage actively exhausting the wet dank air from that area in the parking garage. He adds he did observe mildew that may be of concern.

R. Brown indicates that J. McGuire cannot specifically state that mould was found.

J. McGuire responds that he is unable to qualify mildew for mould, as a professional is required to make that assessment.

R. Brown asks if the photographs and detailed report outlined in the presentation were provided to the property owner.

J. McGuire responds that the property owner was supplied with a copy of the Order to Repair via Registered Mail.

The Chair remarks that the basis of the Notice of Appeal are the corrective measures and the timelines for completion.

R. Brown responds that the property owner is taking this seriously. At this time, three engineering firms have been involved who expressed some of issues, i.e. water infiltration is beyond their scope. He adds that shortly after receipt of this order, engineering firms have been engaged to begin work on the defects noted in the report. He expresses concern with the timelines and requests an additional six to eight months to complete the corrections outlined in the Order. He adds that the air quality matter is based on speculation and not fact; and requests that this matter be removed from the Order.

D. Laurendeau remarks that several engineering firms have been engaged to do an analysis, which was not communicated to the Building Department. He states that mould was not directly identified; however, there is moisture and poor air movement. He recommends that the request for a mould sample based on potential mould should remain on the Order based on the observations of the Building Inspector. He notes that Mr.

Brown is requesting a six to eight month extension of time to undertake all of the work identified.

R. Brown responds that eight months to complete his work is preferable.

J. McGuire indicates that no reports from the property owner have been received.

M. Wachna asks if the air quality issue is due to mould or to carbon monoxide emissions.

Councillor Sleiman remarks that when mould is evident, something is happening which may impact the health of residents. He asks why the repairs were not undertaken immediately.

R. Brown states that the property owner has been working on this but has been waiting on the engineering report to see what can be done. He notes that air quality and water infiltration will be addressed by the engineering report.

The Chair states that the Order to Repair has three main tiers – submitting engineering reports, acquiring permits and completion of the repairs. He asks if six to seven months is a timeline that the Building Department can work with and if the deficiencies are serious enough that it warrants a more expedited time. He suggests that the engineering reports be submitted now or within the next week.

R. Vani responds that Administration prefers a three-tiered approach for deadlines as noted in the Order and adds their position is that the preliminary report should be provided to the Building Department around November 15, 2021. He estimates that compliance should be around May 2022.

The Chair suggests that the engineering reports should be provided by the end of October 2021; permits by the end of January 2022 and the work completed by the end of April 2022. He asks Administration if this timetable will allow for sufficient time.

R. Vani defers to the appellant to determine if they are amenable to that schedule.

Moved by D. Laurendeau, seconded by Councillor Sleiman,
That the Order to Repair VY 21-316155 regarding property at 325 Giles Boulevard West **BE CONFIRMED**, and that the timetable to provide the following **BE APPROVED**:

- Engineering reports to be provided by the end of October 2021
- City Permits to be provided by the end of January 2022
- Work to be completed by the end of April 2022.

Carried.

R. Brown asks if the Committee is amendable to an extension of time if required.

The Chair responds that if it is a reasonable extension and efforts have been demonstrated, the Building Department will be willing to work with the appellant. He adds that many of these deficiencies are serious and the work needs to be done.

Councillor Sleiman suggests that the appellant continue to work with the Building Department and to provide updates on the progress of the work undertaken.

6. Business Arising from the Minutes

6.1 Alberto and Maria Folino – 280 Aylmer – Violation Number VY 20-240559

No one is present to speak to this matter.

R. Vani on behalf of Nicole Brush, Building Bylaw Enforcement Officer provides a Presentation entitled “280 Aylmer Avenue – OTR 20-240559”, **attached** as Appendix “B” which shows various photographs denoting the condition of the building.

R. Vani provides the following comments relating to the property at 280 Aylmer:

- N. Brush attended this property on January 13, 2020 due to a complaint regarding a vacant building that was not being kept.
- An Order to Repair was prepared on January 24, 2020 and the original Order was appealed on May 19, 2020.
- There were some efforts as noted in K. Alexander’s report to try to develop this property so that a report could be brought to Council for a debate on the development application and to decide to waive the demolition control bylaw so the Chief Building Official could issue an order based on that development.
- This matter was deferred to allow the property owner to seek a redevelopment approval in order to demolish the building as this building is in a demolition control area. The requirements of that particular bylaw is provided in the information provided by K. Alexander as part of the agenda.
- This is a single-family frame one storey dwelling in the core area of the city.
- The photographs depict unlawful entry to the building and deteriorated building envelope which has caused a lot of damage to the interior.
- The owner attempted to demolish the building several years ago and decommissioned the services at that time prior to obtaining a permit.
- This is a typical home, which has not been maintained.
- There has been some activity but no meaningful efforts to bring an acceptable development application forward to develop this property.

K. Alexander indicates Administration has been working with the appellant since 2018.

R. Vani advises that there is demolition control bylaw that prohibits the issuance of a building permit; the building is in poor condition as noted by a structural engineer however, this does not meet the threshold of an emergency order to circumvent the bylaw.

D. Laurendeau asks is the appellant is attempting to “back door” a demolition without any other plans and asks by issuing the demolition, is there risk to the city.

R. Vani responds that there are legal risks to the city if we are not consistent in how the Demolition Control Bylaw is applied. The *Building Code Act* is very specific about when a building is deemed an emergency condition and cannot be used to circumvent the bylaw.

Moved by Councillor Sleiman, seconded by D. Laurendeau,
That the Order to Repair VY 20-240559 regarding property at 280 Aylmer Avenue
BE CONFIRMED.
Carried.

7. Adjournment

There being no further business, the meeting is adjourned at 4:21 o'clock p.m.

CHAIR

COMMITTEE COORDINATOR



325 GILES BLVD W – OTR 21-316155

Building By-law Officer: Jay McGuire

Date of Inspection: July 14, 2021

Date OTR Issued: July 20, 2021

Date of Follow Up Inspection: September 30, 2021

SUMMARY OF EVENTS

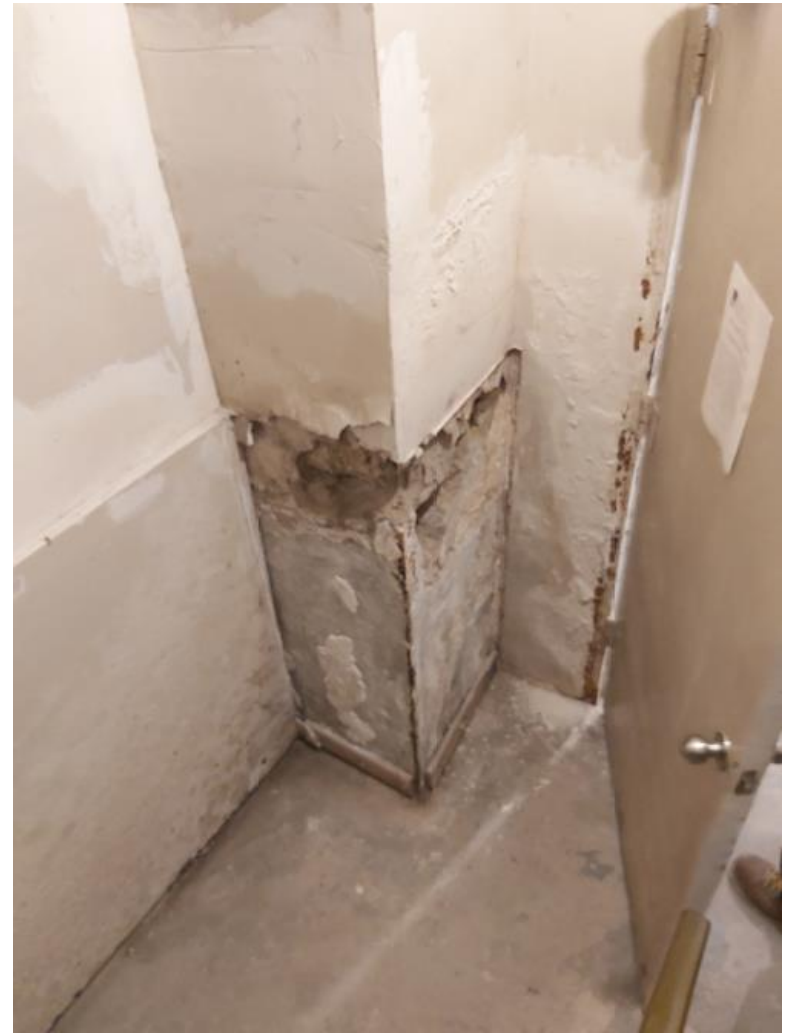
July 12, 2021 - Received call from Building Department management requesting immediate response to investigate urgent concerns brought to awareness by Windsor Fire. Attended and reviewed concerns with Windsor Fire onsite. Scheduled inspection with building inspector for later in the week to complete joint assessment for property standards issues as well as unsafe conditions due to structural concerns from apparent water infiltration affecting the underground parking garage.

July 14, 2021 – Reattended property with building inspector and YORK maintenance coordinator. Site review commenced at the front door. From the main lobby we descended stairs at the west side of the building, through a lower corridor and into the secured U/G garage (currently empty and locked to prevent access). Once the garage was reviewed a perimeter walkthrough of the building's exterior conditions was executed. Photos were taken and a list of defects per Property Standards Bylaw was developed that required the action of property ownership or someone on their behalf. Steps taken to prepare for issuance of an Order to Repair in an effort to gain compliance at the subject property.

July 20, 2021 – Order to Repair preparation was completed and the order issued to property ownership at address on file. YORK maintenance coordinator was provided a copy upon issuance via email address provided.



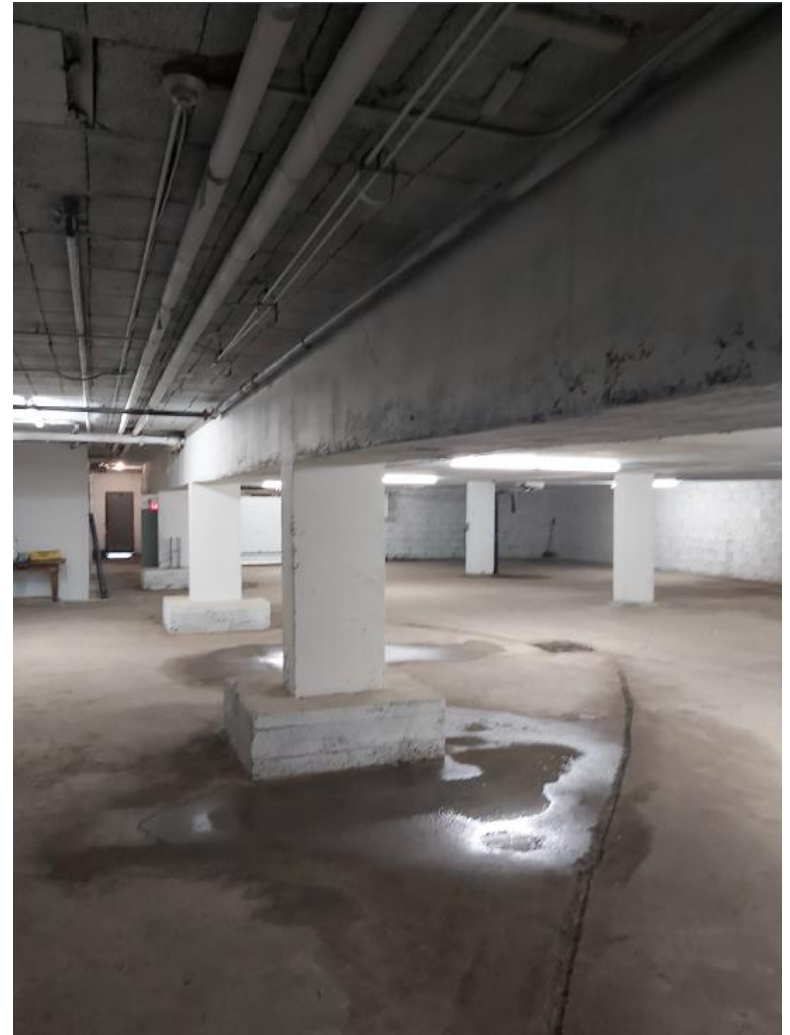
1. Water infiltration in lobby.



2. Concrete column delamination in stair well.



3. Condition of underground parking garage.



4. Condition of underground parking garage.



5. Water infiltration in underground parking garage.



6. Water infiltration in underground parking garage.



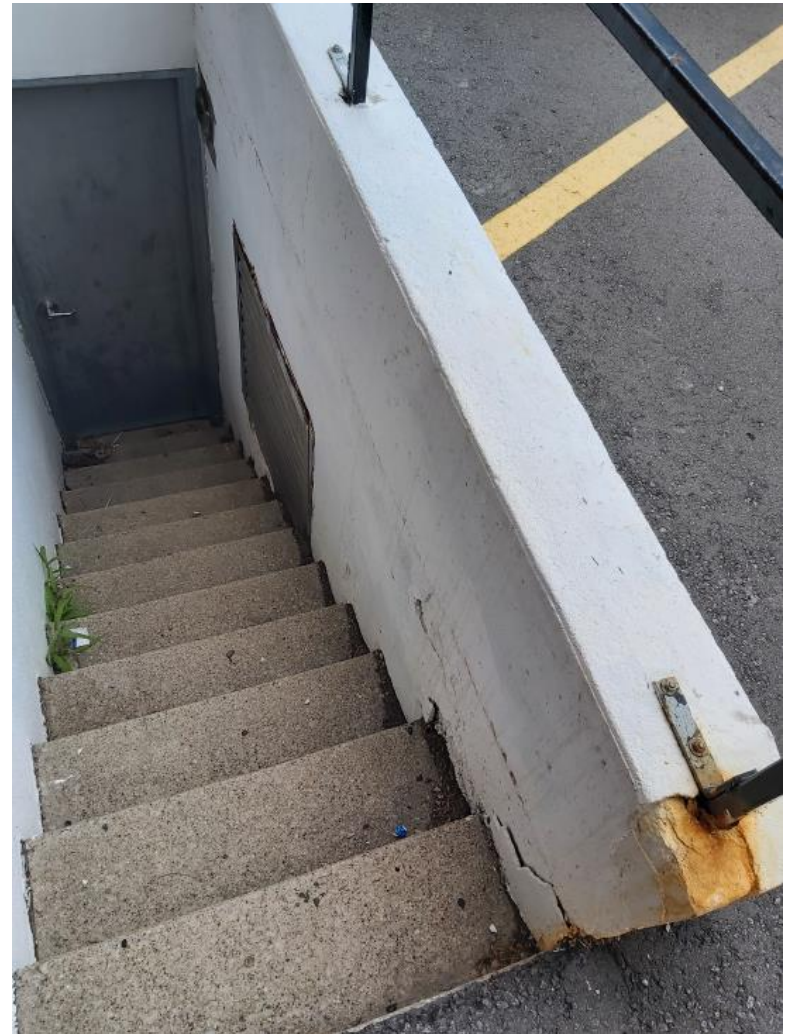
7. Close up of affected concrete structure.



8. Close up of affected concrete structure.



9. Defective exhaust system and defective door from interior.



10. Defective exhaust system and defective door from exterior. Also wall cladding issues.



11. Defective exhaust system.



12. Missing concrete window sill.



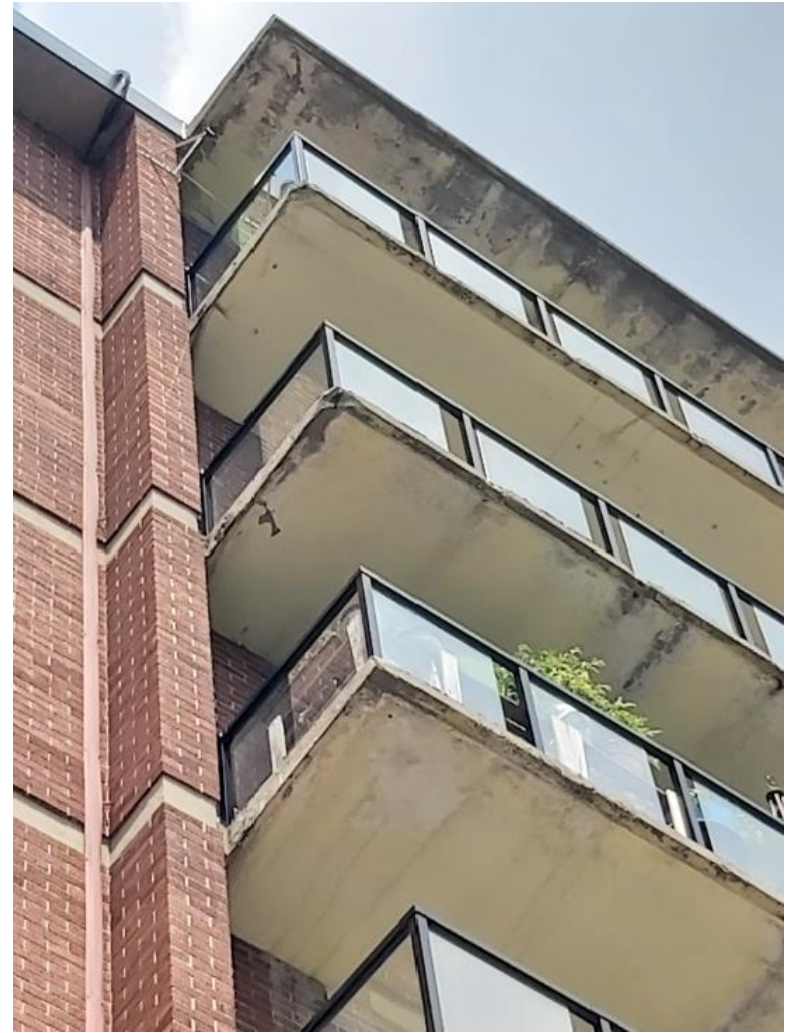
13. Missing / defective grilles.



14. Missing / defective grilles. Defective boarding material and defective door.



15. Defective balcony slabs and missing air conditioner sleeve cap panels.



16. Defective balcony slabs.

KEY DATES PER ORDER TO REPAIR

August 19, 2021 – to submit engineer's reports / scope of work per compliance requirements outlined in Order to Repair.

September 18, 2021 – to obtain permits with City of Windsor to follow through with permitted repairs as outlined in qualified engineer's report / scope of work.

November 17, 2021 – to complete repairs (and associated required permit inspections) as outlined in qualified engineer's report / scope of work and obtain compliance with the requirements outlined in the Order to Repair.

CURRENT COMPLIANCE STATUS

Follow up inspection completed on 9/30/2021 at 11:30 AM. Current status of issues listed in Order to Repair (OTR):

Sections 1.1, 1.2, 3.2.2:

- Required indoor air quality assessment by qualified professional due to extensive and unaddressed water infiltration - NO ACTION TAKEN.

Sections 1.4, 1.5, 1.6, 1.9, 1.14:

Engineer's report and permits for repairs due to:

- Water infiltration throughout building - NO ACTION TAKEN.
- Deteriorated concrete structure in underground parking garage and associated areas - NO ACTION TAKEN.
- Deteriorated balconies throughout building - NO ACTION TAKEN.
- Masonry facade cracking observed from exterior - NO ACTION TAKEN.

Section 1.7

- Damaged / defective exterior wall finishes throughout building - NO ACTION TAKEN.
- Missing / defective exterior wall vent grilles - NO ACTION TAKEN.
- Issues with poorly installed A/C units and missing / defective A/C sleeve cap panels - NO ACTION TAKEN.
- Missing / deteriorated concrete window sills - NO ACTION TAKEN.

Section 1.8

- Repair / replace defective exterior doors - NO ACTION TAKEN.

Sections 1.16, 1.40, 1.47, 3.21

- Obtain permits for repairs to defective underground garage mechanical exhaust system - NO ACTION TAKEN.

Section 3.2.1

- Repair defective interior cladding - NO ACTION TAKEN.

Section 3.13

- Repair defective piping in underground garage for surface drainage above - NO ACTION TAKEN.

Review of current onsite conditions informs that NO apparent action to date has been taken to address the defects called for repair in the OTR. Review of property records indicate that there is NO record of application for any of the required permitted repairs.



280 AYLMER AVE – OTR 20-240559

Building By-law Officer: Nicole Brush

Date of Inspection: January 13, 2020

Date OTR Issued: January 24, 2020

Date of Appeal: May 19, 2020



Front of building (West elevation)



Side of building (North elevation)



Side of building (North elevation)



Side of building (South elevation)



Side of building (South elevation)



Rear of building (East elevation)



Rear yard – multiple sheds