

Issued For	(YYYY.MM.DD)
SITE PLAN CONTROL	2020.03.16
SITE PLAN CONTROL	2020.08.31
PERMIT-SHELL	2021.01.05
PERMIT UPDATE & CONSTRUCTION	2021.09.23

AIPL CANADA
Mixed-Use Development: BLD B

1100 & 1200-1220 University Ave. W, Windsor, ON

Project No. **1835**

ARCHITECTURAL SHEETS

A000	COVER SHEET
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A103	ENLARGED PLANS AND SECTIONS - ADDITION
A104	ROOF PLAN & DETAILS
A105	PLAN DETAILS
A401	EXISTING EXTERIOR ELEVATIONS
A402	EXISTING BRICK ELEVATIONS - IMAGES
A403	NEW EXTERIOR ELEVATIONS
A404	WINDOW / CURTAIN WALL ELEVATIONS
A501	BUILDING SECTIONS
A601	WALL SECTIONS & DETAILS



Date

Revision Schedule
Description

No.

Sheet Name
COVER SHEET

AIPL CANADA
Mixed-Use Development: BLD B
 1100 & 1200-1220 University Ave. W, Windsor,
 ON

Drawn By: AI Checked By: AI
 Project No: 1835

Sheet No

A000

BUILDING CODE MATRIX

Firm Name: Architectura Inc. Architects Certificate of Practice Number: 3267 180 Eugenie St. W. Windsor, ON N9X 2X6 The Certificate of Practice Number of the holder is the holder's BCDN.		Name of Project: Graffiti by AIPL - Junction Building - SHELL Location: 1200 University Ave. W. Windsor Ontario The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCDN.																																																			
Item	Ontario Building Code Data Matrix Parts 3 & 9	OBC Reference																																																			
1	Project Description <input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Alteration Part 11 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3	<input type="checkbox"/> Part 9																																																		
2	Major Occupancy(s) GROUP D - MEDICAL OFFICE	3.1.2.1.(1)	9.10.2																																																		
3	Building Area Existing = 864m ² (9,300 ft ²) New = N/A Total = 864m ² (9,300 ft ²)	1.1.3.2	1.1.3.2																																																		
4	Gross Area Existing = 864m ² (9,300 ft ²) New = N/A Total = 864m ² (9,300 ft ²)	1.1.3.2	1.1.3.2																																																		
5	Number of Storeys Above Grade = 1 Below Grade = Crawl Space	3.2.1.1 & 1.1.3.2	2.1.1.3																																																		
6	Number of Streets/Firefighter Access 2 - out of 135.2m building perimeter, 82.6m (61%) are located within 15m of access route	3.2.2.10 & 3.2.5.	9.10.19																																																		
7	Building Classification 3.2.2.55 - Group D, up to 2 Storeys	3.2.2.20-83	9.10.4																																																		
8	Sprinkler System Proposed <input type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required	3.2.2.20-83 3.2.1.5 3.2.2.17	9.10.8																																																		
9	Standpipe required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9	N/A																																																		
10	Fire Alarm required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4	9.10.17.2																																																		
11	Water Service/Supply is Adequate <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7	N/A																																																		
12	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6	N/A																																																		
13	Permitted Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both	3.2.2.20-83	9.10.6																																																		
14	Mezzanine(s) Area m ² N/A	3.2.1.1.(3)-(8)	9.10.4.1																																																		
15	Occupant load based on: Design Occupancy TBD Load TBD persons	3.1.16	9.9.1.3																																																		
16	Barrier-free Design <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)	3.8	9.5.2																																																		
17	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Hazardous Substances investigation in progress	3.3.1.2 & 3.3.1.19	9.10.1.3(4)																																																		
18	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (Hours) Floors 45min Roof N/A Mezzanine N/A FRR of Supporting Members Floors 45min Roof N/A Mezzanine N/A Listed Design No. or Description (SG-2) Combustible & Non-Combustible Const. Combustible & Non-Combustible Const. Combustible & Non-Combustible Const. Listed Design No. or Description (SG-2) Combustible & Non-Combustible Const. Combustible & Non-Combustible Const. Combustible & Non-Combustible Const.	3.2.2.20-83 & 3.2.1.4	9.10.8 9.10.9																																																		
19	Spatial Separation - Construction of exterior Walls Table 3.2.3.1.B. <table border="1"> <thead> <tr> <th>Wall</th> <th>Area of EBF (m²)</th> <th>L.D. (m)</th> <th>L/H</th> <th>Permitted Max. % of Openings</th> <th>Proposed % of Openings</th> <th>FRR (Hours)</th> <th>Listed Design or Description</th> <th>TYPE OF CONSTRUCTION REQUIRED</th> <th>TYPE OF CLADDING REQUIRED</th> </tr> </thead> <tbody> <tr> <td>North</td> <td>70.1m²</td> <td>131.5m</td> <td>4.0</td> <td>100.0</td> <td>3.1</td> <td>0</td> <td></td> <td>Combustible or Non-Combustible</td> <td>Combustible or Non-Combustible</td> </tr> <tr> <td>South</td> <td>48.1m²</td> <td>35.4m</td> <td>5.1</td> <td>100.0</td> <td>59.5</td> <td>0</td> <td></td> <td>Combustible or Non-Combustible</td> <td>Combustible or Non-Combustible</td> </tr> <tr> <td>East</td> <td>214.5m²</td> <td>0.6m</td> <td>11.8</td> <td>0.0</td> <td>0.0</td> <td>1 HR</td> <td>LOAD BEARING BRICK WALL</td> <td>Non-Combustible</td> <td>Non-Combustible</td> </tr> <tr> <td>West</td> <td>214.5m²</td> <td>11.1m</td> <td>11.8</td> <td>65.0</td> <td>22.3</td> <td>3/4 HR</td> <td>LOAD BEARING BRICK WALL</td> <td>Combustible or Non-Combustible</td> <td>Combustible or Non-Combustible</td> </tr> </tbody> </table>	Wall	Area of EBF (m ²)	L.D. (m)	L/H	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	TYPE OF CONSTRUCTION REQUIRED	TYPE OF CLADDING REQUIRED	North	70.1m ²	131.5m	4.0	100.0	3.1	0		Combustible or Non-Combustible	Combustible or Non-Combustible	South	48.1m ²	35.4m	5.1	100.0	59.5	0		Combustible or Non-Combustible	Combustible or Non-Combustible	East	214.5m ²	0.6m	11.8	0.0	0.0	1 HR	LOAD BEARING BRICK WALL	Non-Combustible	Non-Combustible	West	214.5m ²	11.1m	11.8	65.0	22.3	3/4 HR	LOAD BEARING BRICK WALL	Combustible or Non-Combustible	Combustible or Non-Combustible	3.2.3	9.10.14
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20	Fire Resistance Ratings Construction Type Used Exits N/A - direct exits Floors N/A Service rooms w/ fuel fired appliances N/A Service rooms w/ fuel fired appliances noncombustible w/ 1 HR FRR Electrical rooms noncombustible w/ 2 HR FRR Janitors Room N/A	Required Rating 3/4 HR N/A N/A 1 HR 2 HR N/A	OBC Reference 3.4.4.1. 3.2.2.25. 3.6.2.1.(8) 3.6.2.1. 3.6.2.1.(6) 3.3.1.20.																																																		
21	Plumbing Fixtures: Total occupant load for building: 250 <table border="1"> <thead> <tr> <th>OCCUPANTS</th> <th>LOAD</th> <th>FIXTURE TYPE</th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>MALE</td> <td>TBD</td> <td>WATER CLOSETS</td> <td>TBD</td> <td>TBD</td> </tr> <tr> <td></td> <td></td> <td>LAVATORIES</td> <td>TBD</td> <td>TBD</td> </tr> <tr> <td>FEMALE</td> <td>TBD</td> <td>WATER CLOSETS</td> <td>TBD</td> <td>TBD</td> </tr> <tr> <td></td> <td></td> <td>LAVATORIES</td> <td>TBD</td> <td>TBD</td> </tr> </tbody> </table>	OCCUPANTS	LOAD	FIXTURE TYPE	REQUIRED	PROVIDED	MALE	TBD	WATER CLOSETS	TBD	TBD			LAVATORIES	TBD	TBD	FEMALE	TBD	WATER CLOSETS	TBD	TBD			LAVATORIES	TBD	TBD																											
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CODE COMPLIANCE LEGEND

EXAMPLE: OCCUPANCY CALCULATION
 ROOM DESCRIPTION
 OCCUPANT LOAD (m² / PERSON) OBC 3.1.17.1
 AREA OF ROOM (m²)
 OCCUPANTS (* INDICATES BY AREA DESIGN 3.1.17.1.(1,c))

EXAMPLE: EXIT CALCULATION
 EXIT DESIGNATION
 PROVIDED DOOR WIDTH (mm) OBC 3.4.3.2
 REQUIRED DOOR WIDTH (mm) OBC 3.4.3.2
 PROVIDED STAIR WIDTH (mm)
 REQUIRED STAIR WIDTH (mm) OBC 3.4.3.2
 PROVIDED OCCUPANCY EXIT CAPACITY (PERSONS)

—3/4— NEW FIRE SEPARATIONS - NUMBER INDICATES FIRE-RESISTANCE RATING IN HOURS
 —X-3/4— EXISTING FIRE SEPARATIONS - NUMBER INDICATES FIRE-RESISTANCE RATING IN HOURS

ARCHITECTURAL LEGEND

ABBREVIATIONS	SYMBOLS
ACC AIR CONDITIONING CONDENSING UNIT	N.I.C. NOT IN CONTRACT
ACP ALUMINUM COMPOSITE PANELS	ND SANITARY NAPKIN DISPOSAL
ACT ACoustic CEILING TILE	NV SANITARY NAPKIN VENDOR
ADO AUTOMATIC DOOR OPERATOR	OH OVERHEAD
AL ALUMINUM	OPP OPPOSITE
AN ANODIZED	P.LAM PLASTIC LAMINATE
AFV ABOVE FINISH FLOOR	PT PAINT
ARS ASSISTANCE REQUIRED SIGNAL	PTD PAPER TOWEL DISPENSER/DISPOSAL
AVS AUDIBLE VISUAL SIGNAL	PTL PUSH TO LOCK
AWP ACoustic WALL PANEL	RA ROOF ANCHOR
BL BREAK LINE	RB RESILIENT BASE
CBLK CONCRETE BLOCK	RD ROOF DRAIN
CG CORNER GUARD	RFID RADIO FREQUENCY IDENTIFICATION
CH COAT HOOK	RVL RAIN WATER LEADER
CJ CONTROL JOINT	SCW SOLID CORE WOOD
CL CLEAR GLASS	SD SOAP DISPENSER
CONC CONCRETE	SHWR SHOWER
CPT CARPET TILE	SIM SIMILAR
CR CARD READER	SLR CONCRETE SEALER
CT PORCELAIN TILE	SR SERVER RACK
CUH CABINET UNIT HEATER	S.S STAINLESS STEEL
CV CONVECTOR	SSS STAINLESS STEEL SHELF
CW CURTAIN WALL	SVT SOLID VINYL TILE
DS DOWNSPOUT	TB TACK BOARD
EBP EMERGENCY PUSH BUTTON	TG TINTED GLASS
EP ELECTRICAL PANEL	TM TILTED MIRROR
ES EMERGENCY SIGN	T.O. TOP OF
EX EXISTING	TP TOILET PAPER HOLDER
FB FLOOR BOX - ELECTRICAL	V.I.F. VERIFY IN FIELD
FD FLOOR DRAIN	WFL VINYL FLOOR
FE FIRE EXTINGUISHER	U.N.O. UNLESS NOTED OTHERWISE
FHC FIRE HOSE CABINET	U/S UNDERSIDE
FM FLAT MIRROR	V.F. VERIFY IN FIELD
GB GRAB BAR	VFL VINYL FLOOR
GL GLASS	VCT VINYL COMPOSITE TILE
GYP BD GYPSUM BOARD	WB WHITE BOARD
HM HOLLOW METAL	WD WOOD
IG INSULATED GLASS	WI WIRE GLASS
IM INSULATED METAL	WP WATERPROOFING
INS INSULATION	

ROOM NAME ROOM NUMBER
 101a DOOR NUMBER
 G1 WINDOW TYPE
 W1a WALL TYPE/ CEILING TYPE
 F1 FLOOR TYPE
 R1 ROOF TYPE
 ? MATERIAL TYPE
 ? REVISION NUMBER

No SHEET No EXTERIOR BUILDING ELEVATION INDICATOR
 No SHEET MILLWORK ELEVATION INDICATOR
 No SHEET SECTION INDICATOR

WALL TYPE LEGEND

TYPE	SECTION	DESCRIPTION
W1		-50.8 mm ALUMINUM COMPOSITE PANEL -116 mm GALVANIZED STEEL Z-GIRTS -76 mm CLOSED CELL SPRAY FOAM INSULATION -19.1 mm EXTERIOR GRADE PLYWOOD SHEATHING -152 mm METAL STUD FRAMING SPACED AT 400mm O.C. w/ R-20 BATT INSULATION -12.7 mm GYPSUM BOARD
W2		-50.8 mm ALUMINUM COMPOSITE PANEL CLIPPED TO EXISTING CONCRETE -EXISTING UNREINFORCED CONCRETE WALL -92.1 mm METAL STUD FRAMING SPACED AT 400mm O.C. w/ R-20 BATT INSULATION -12.7 mm GYPSUM BOARD
W3		-92.1 mm BRICK -25.4 mm AIR SPACE -AIR BARRIER -19.1 mm EXTERIOR GRADE PLYWOOD SHEATHING -152.4 mm (2" x 6") WOOD STUD FRAMING
W4		-63.5 mm MET SIDING SYSTEM -AIR BARRIER -19.1 mm EXTERIOR GRADE PLYWOOD SHEATHING -92.1 mm METAL STUD FRAMING
W5		-10 mm BRICK VENEER -AIR SPACE -AIR BARRIER -12mm DENSGLOSS SHEATHING -150mm METAL STUD FRAMING SPACED AT 400mm O.C. w/ R-20 BATT INSULATION -16mm TYPE 'X' GYPSUM BOARD

ROOF TYPE LEGEND

TYPE	SECTION	DESCRIPTION
R1		-60 MIL PVC ROOF MEMBRANE -152 mm R-35 POLYISOCYANURATE INSULATION -19.1 mm EXTERIOR GRADE PLYWOOD SHEATHING
R2		-60 MIL PVC ROOF MEMBRANE -19.1 mm EXTERIOR GRADE PLYWOOD SHEATHING -314.9 mm (2x6") WOOD FRAMING

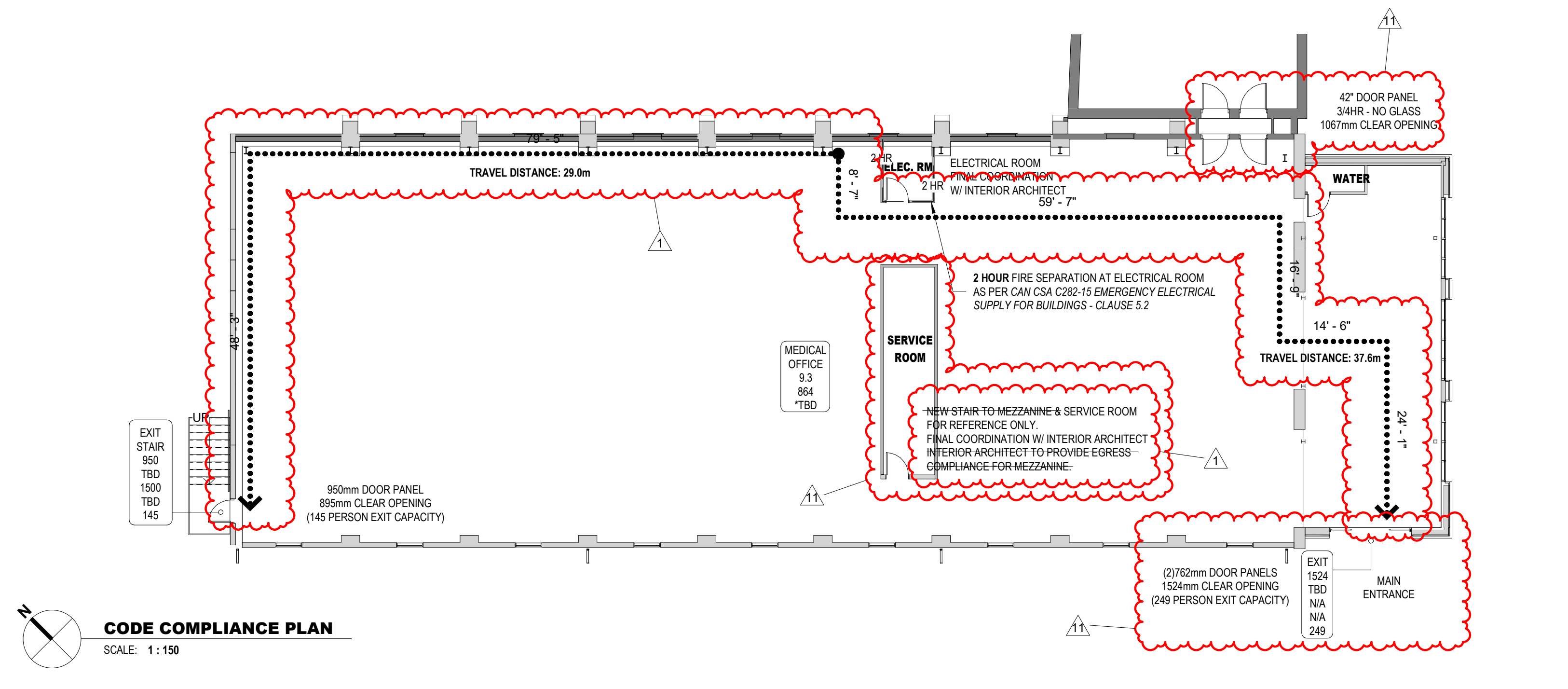
CEILING, SOFFIT & BULKHEAD LEGEND

TYPE	DISPLAY/ GRAPHIC	DESCRIPTION
C-1		GYPSUM BOARD CEILING (C-1) 1/2" Gypsum board w/ suspension system

SHOP DRAWINGS AND SUBMITTALS:

- SUBMIT 5 (FIVE) COPIES OF ALL SHOP DRAWINGS AND SUBMITTALS.
- SHOP DRAWINGS AND/OR SUBMITTALS THAT REQUIRE CERTIFICATION BY QUALIFIED PROFESSIONAL ENGINEER SHALL HAVE ORIGINAL SIGNATURE OF AN ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
- SHOP DRAWINGS THAT REQUIRE CERTIFICATION BY A PROFESSIONAL ENGINEER MUST BE STAMPED AT THE TIME REQUIRING ENGINEERS CERTIFICATION ARE NOT STAMPED AS REQUIRED, THEY WILL BE REJECTED WITHOUT REVIEW.
- THE CONTRACTOR SHALL ALLOW THE CONSULTANT AN MINIMUM OF 10 WORKING DAYS TO REVIEW SHOP DRAWINGS IS REQUIRED, ANOTHER 10 WORKING DAYS SHALL BE ALLOWED.
- NO WORK SHALL BE COMMENCED OR MATERIAL ORDERED FOR WORK REQUIRING SHOP DRAWING SUBMISSION UNTIL THE SUBMISSION HAS BEEN RETURNED TO THE CONTRACTOR BEARING THE STAMP OF THE CONSULTANT.
- THE FOLLOWING ITEMS REQUIRE SHOP DRAWING AND/OR SUBMISSION.

ITEM	ENGINEERS STAMP REQ'D	COMMENTS
REINFORCING STEEL	NO	SUBMIT ERECTION PLANS AND MATERIAL LISTS FOR ALL REBAR SPECIFIED IN CONSTRUCTION DRAWINGS
CONCRETE MIX DESIGNS	NO	SUBMIT ALL CONCRETE MIX DESIGNS TO BE USED
CONCRETE BLOCK MILL REPORT INCL COMPRESSIVE STRENGTH TEST RESULTS	NO	
MASONRY TIES, ANCHORS AND HORIZONTAL JOINT REINF. SPECS	NO	
MORTAR AND GROUT MIX DESIGNS AND SPECIFICATIONS	NO	
STRUCTURAL STEEL SHOP DRAWINGS	YES	SUBMIT ERECTION PLANS AND PIECE DETAIL DWGS. FOR STRUCTURAL STEEL SPECIFIED IN CONSTRUCTION DRAWINGS
COLD FORMED STEEL (CFS) FRAMING	YES	SUBMIT FULL SHOP DWGS. & CALCULATIONS FOR ALL STUD FRAMING SHOWING LAYOUT & CONNECTIONS. BOTH CERTIFIED.
WINDOW & CURTAIN WALL SHOP DRAWINGS	YES	SHOP DRAWINGS SHALL SHOW ELEVATIONS, SECTIONS, MULLION SECTION PROPERTIES AND ALL CONNECTIONS.



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Architectura
 180 Eugenie Street West
 Windsor, ON N9X 2X6
 519.258.1300

ARCHITECTS
 180 Eugenie Street West
 Windsor, ON N9X 2X6
 519.258.1300

This drawing is not to be used for construction unless it is countersigned by the Project Architect

Issued For (YMMMO) 21.01.05
 PERMIT-SHELL 21.01.13
 R1 21.01.13
 PERMIT UPDATE & CONSTRUCTION 21.09.23

Date
 2021.01.13
 2021.09.23
 2021.10.26

Revision Schedule
 Description
 1 Rev 1
 11 Rev 11 - Coordination
 12 Rev 12 - East Walls Structural Repair

GENERAL INFORMATION & CODE COMPLIANCE

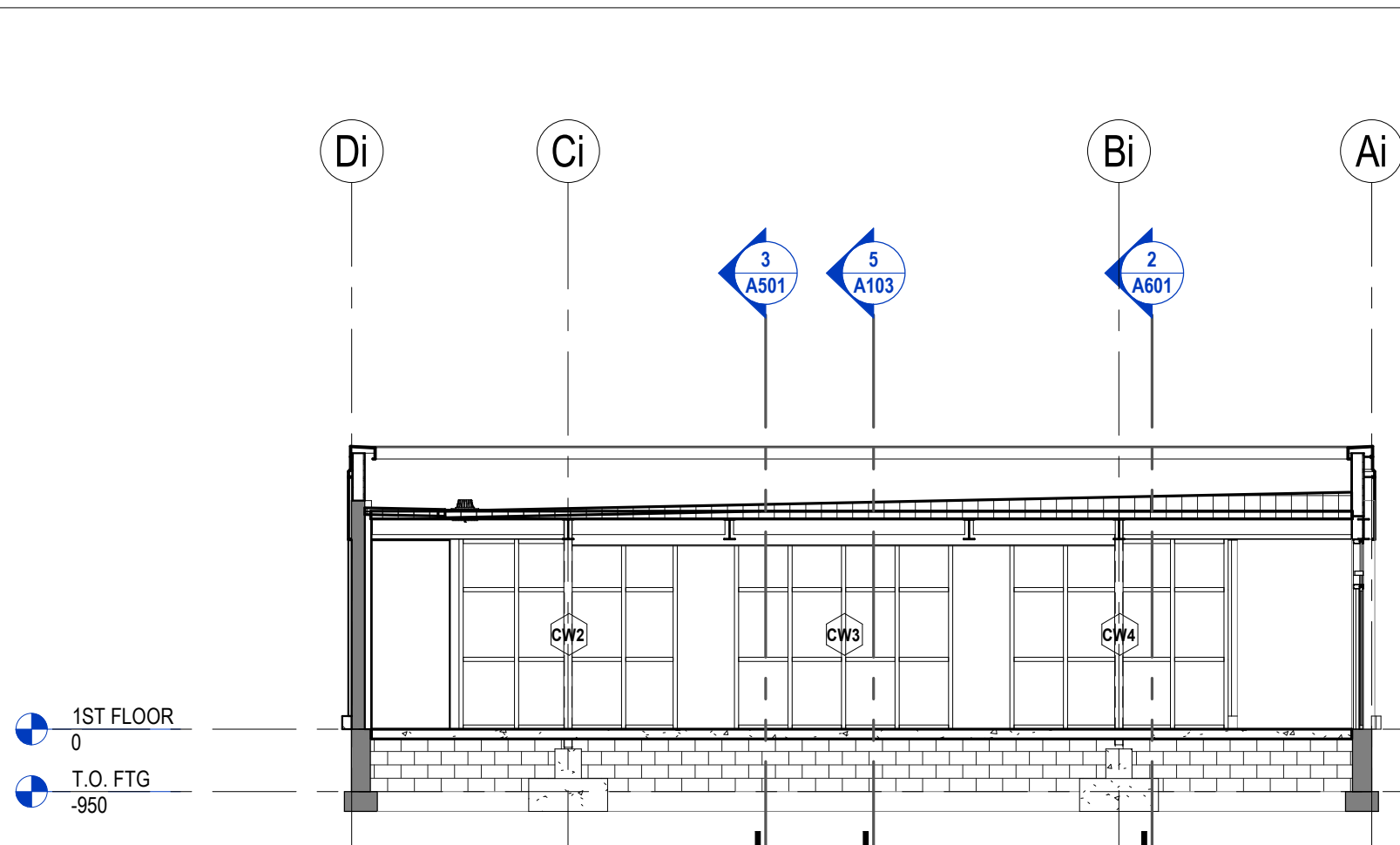
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 Mixed-Use Development: BLD B
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Drawn By Checked By
 Ai Ai

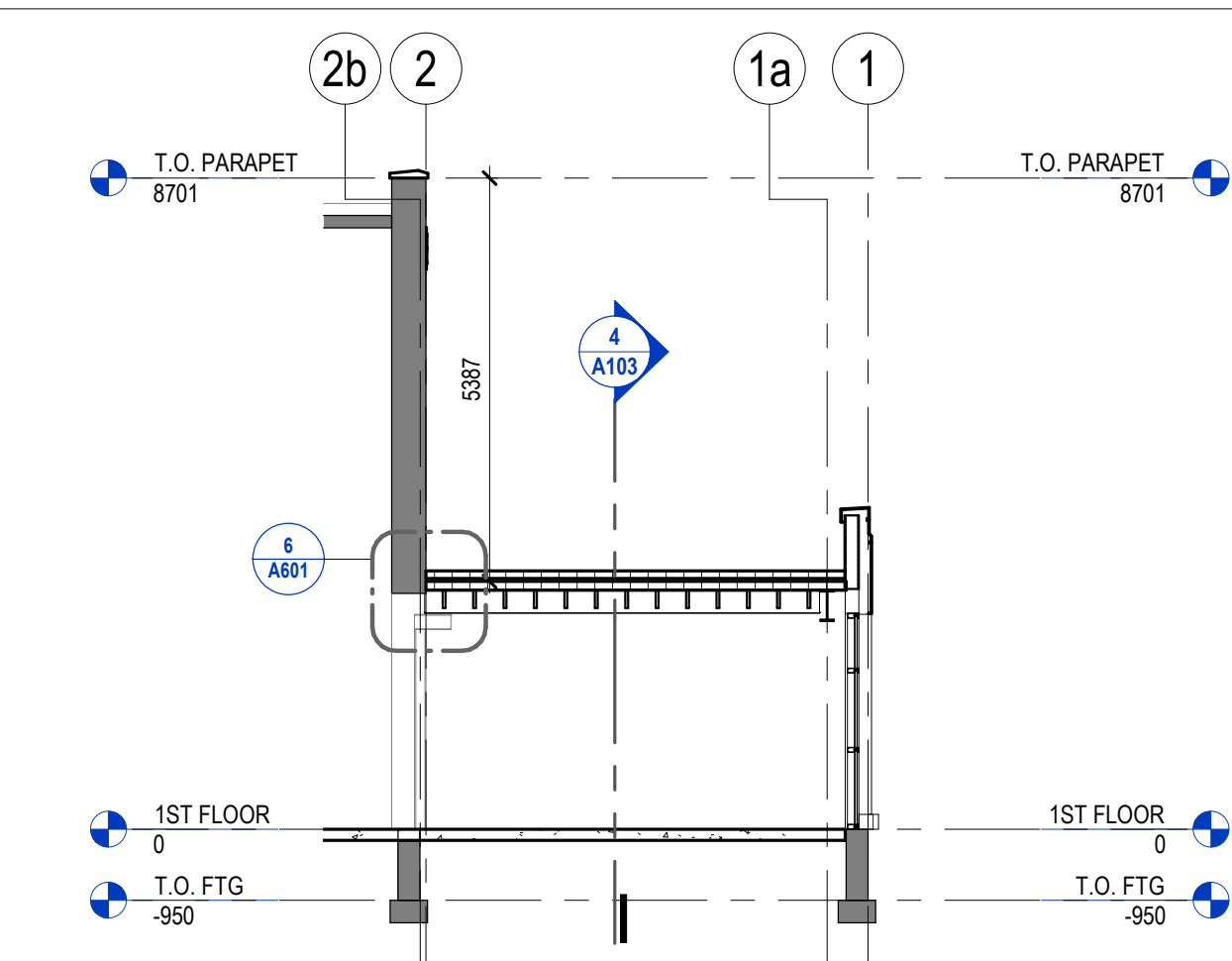
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Sheet No

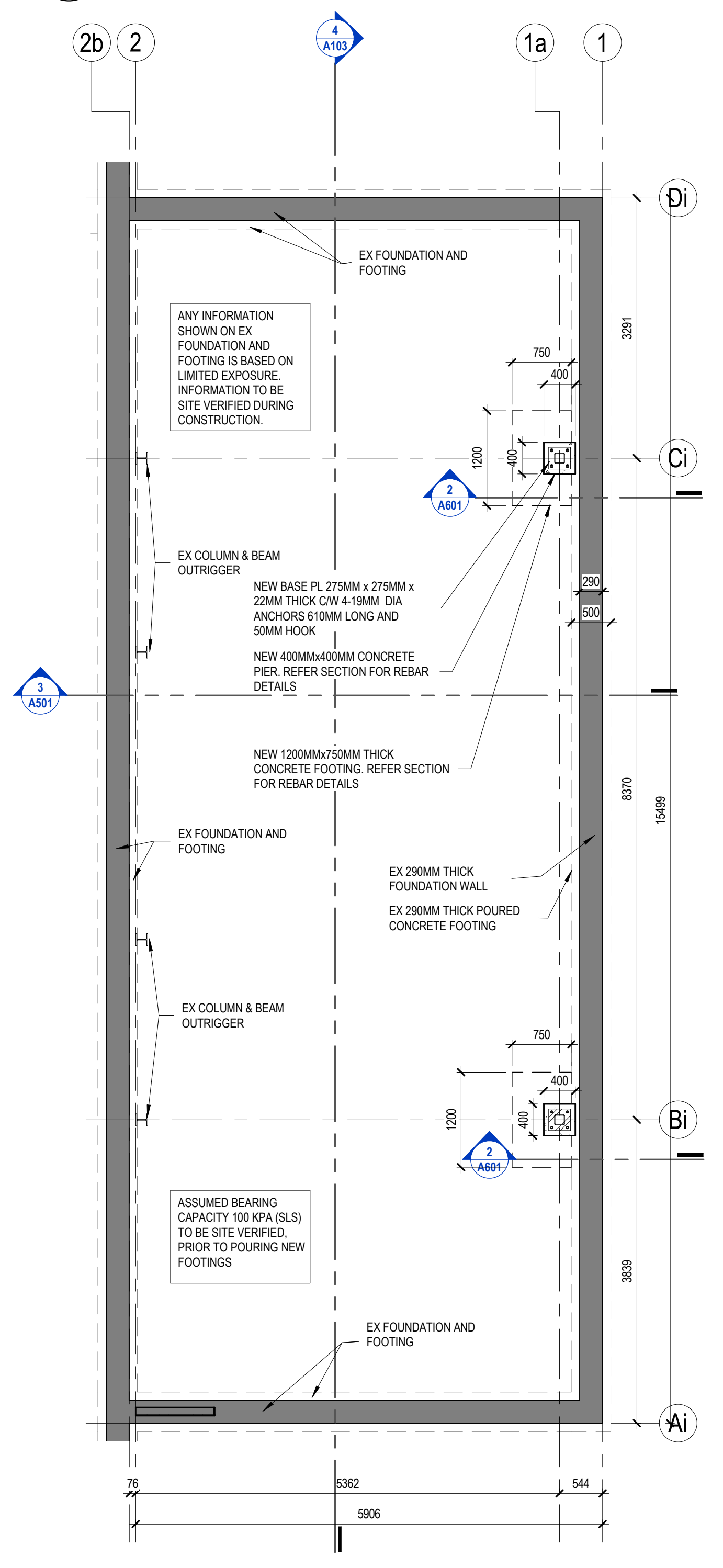
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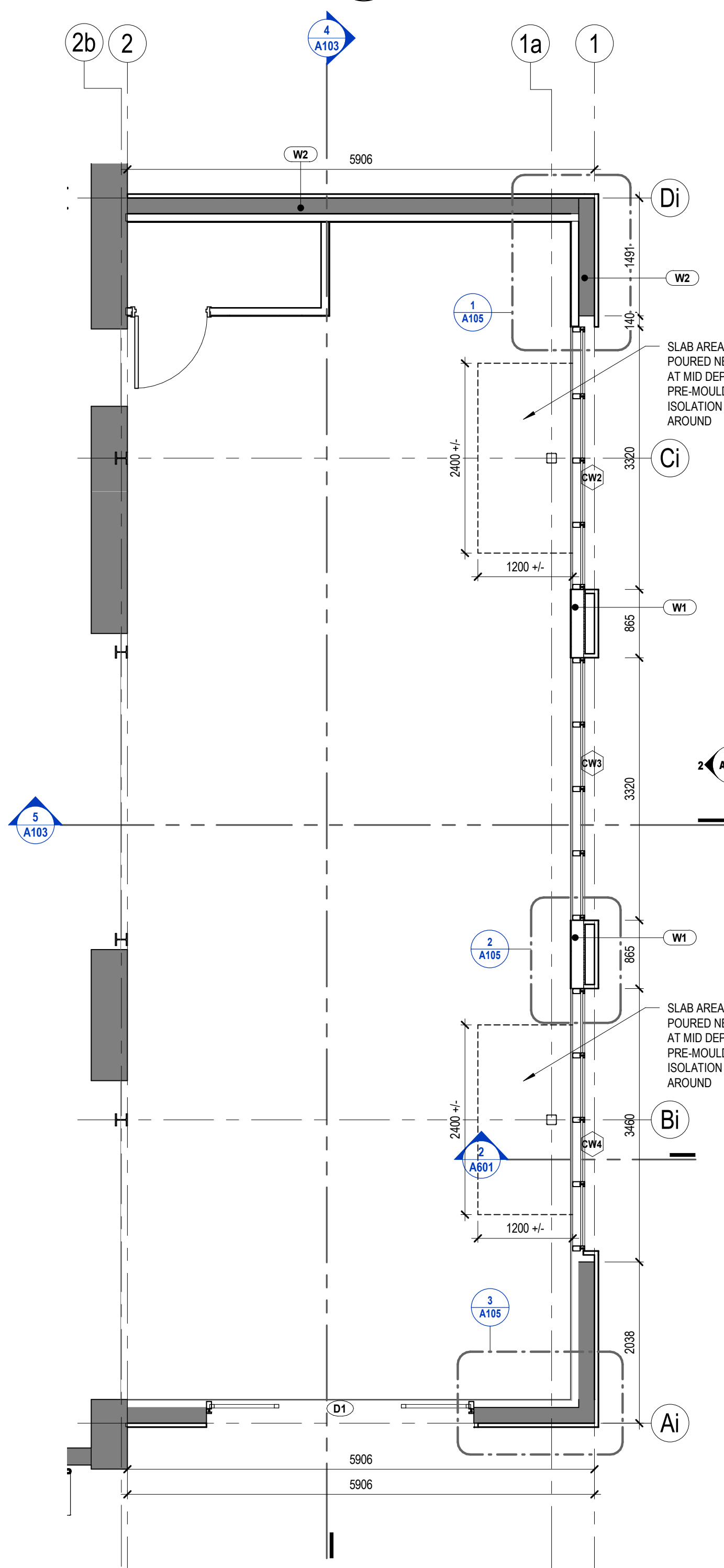
4 BUILDING SECTION - 4
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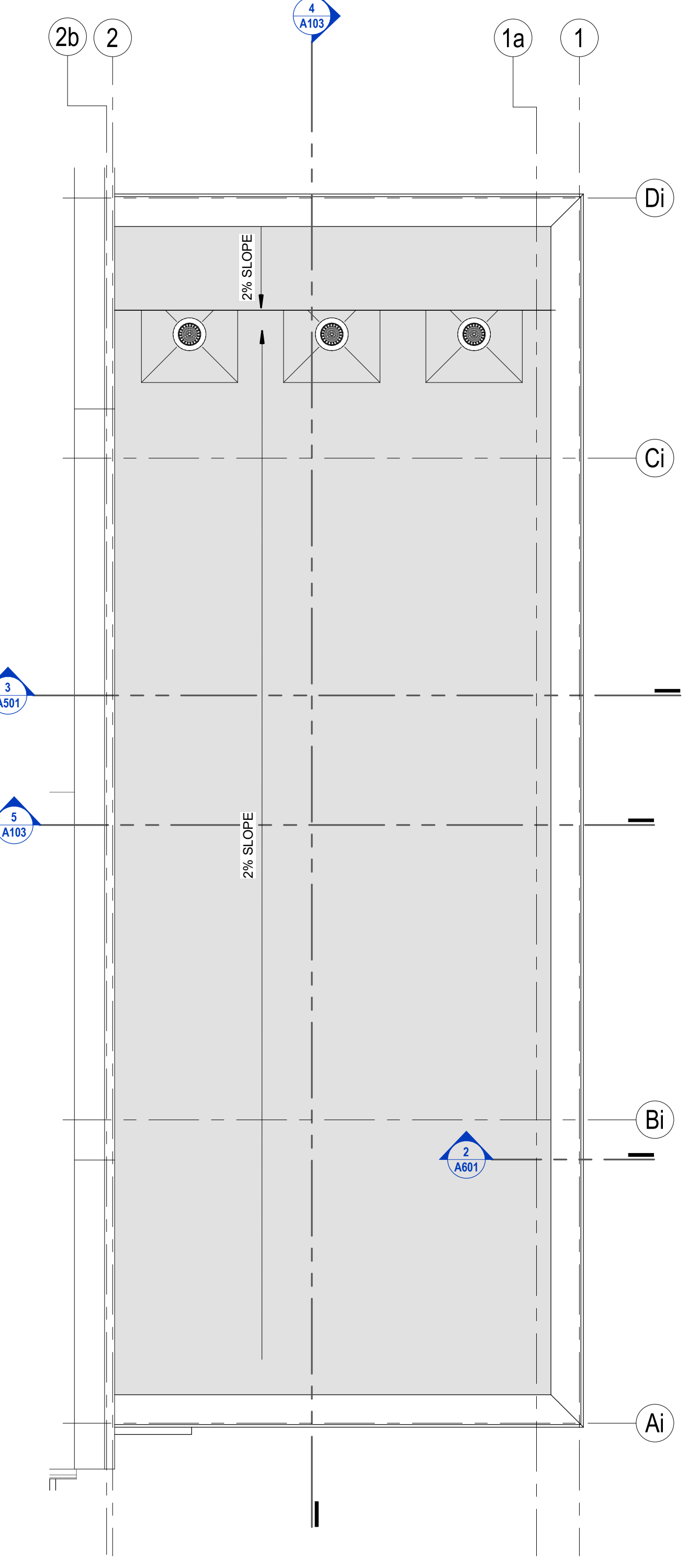
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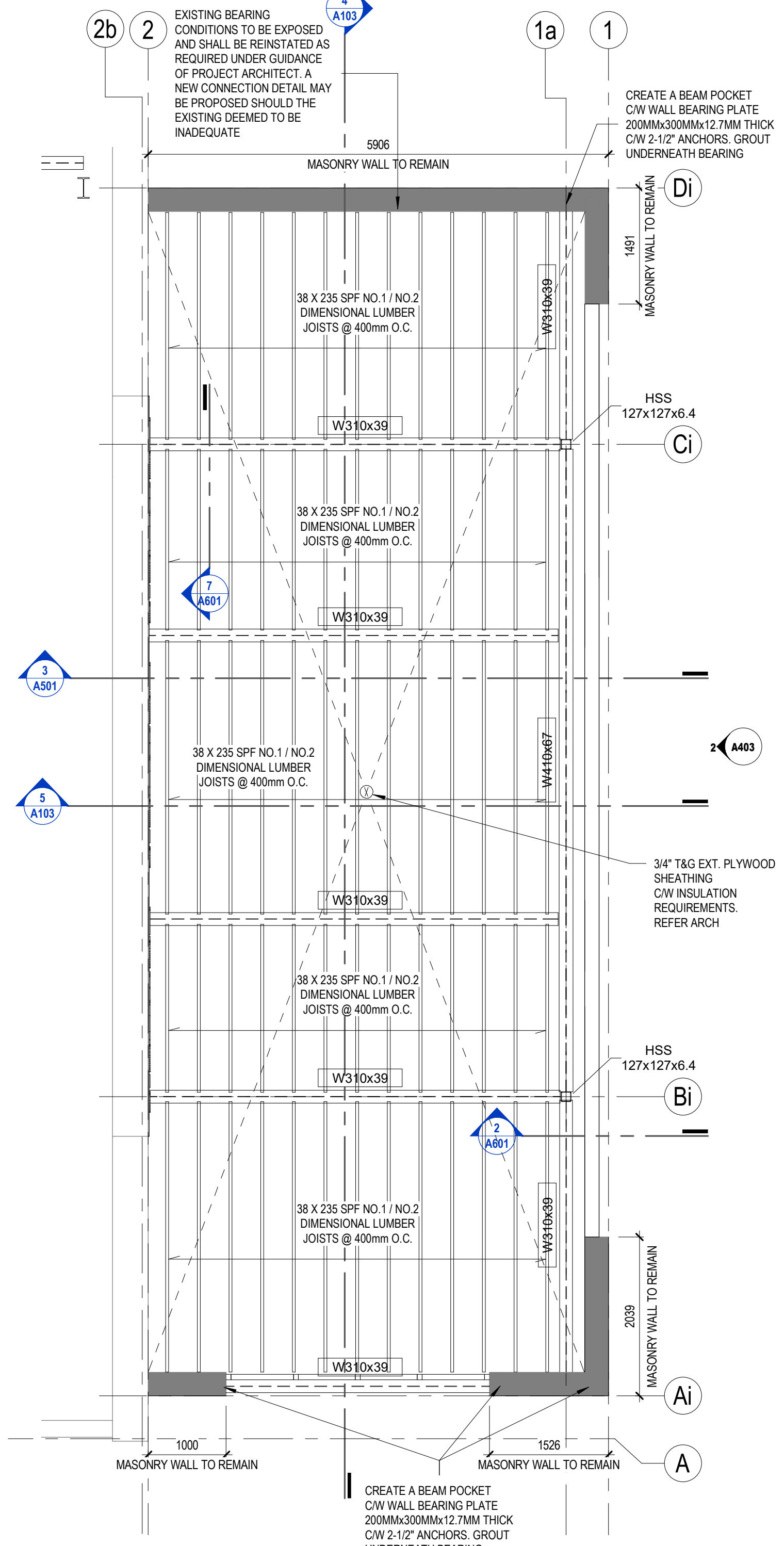
1 ENLARGED FOUNDATION PLAN - NEW
SCALE: 1:50



2 ENLARGED 1ST FLOOR PLAN - NEW
SCALE: 1:50

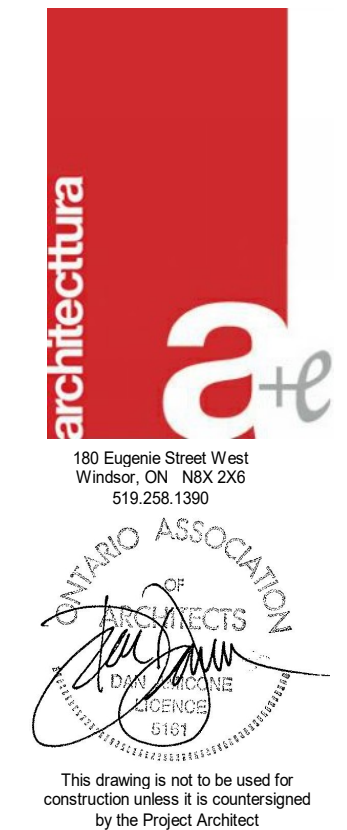


3 ENLARGED ROOF PLAN - NEW
SCALE: 1:50



6 ENLARGED FRAMING PLAN - NEW
SCALE: 1:50

NOTE:
GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE
PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AND
FABRICATION OF STRUCTURAL STEEL



Issued For (YMMMO)
PERMIT-SHELL 21.01.05
PERMIT UPDATE & 21.09.23
CONSTRUCTION

Date	Revision Schedule	Description

ENLARGED PLANS AND SECTIONS - ADDITION

AIPL CANADA
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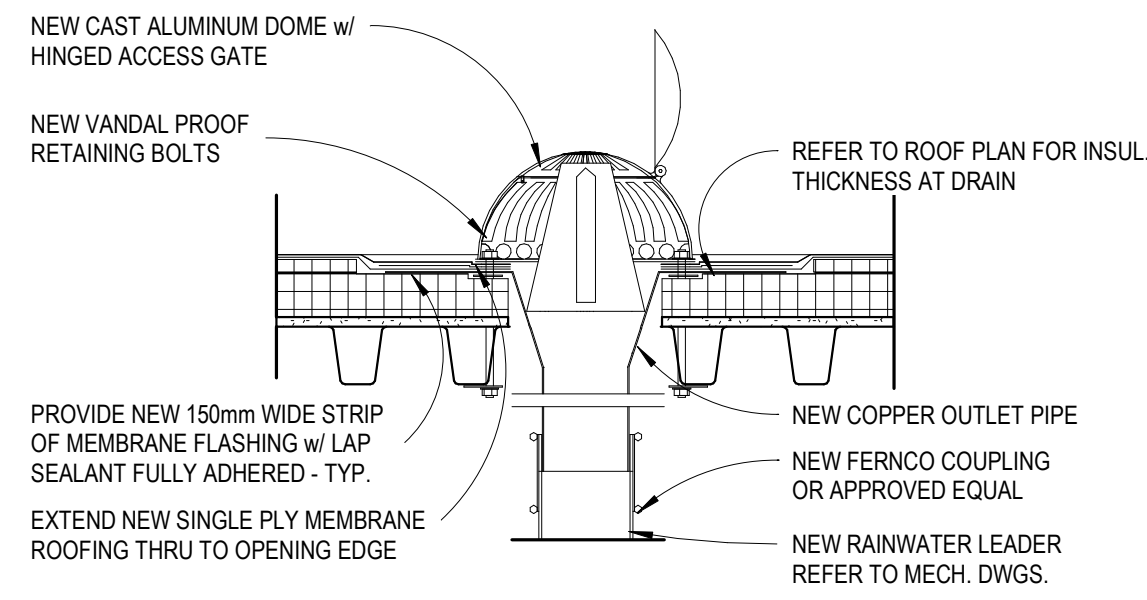
Drawn By: Author
Checked By: Checker
Project No: 1835
Sheet No:

A103

11/11/2021 10:35:35 AM C:\Users\designer11\Documents\1835 ARCH_Bldg B_vae\FCBGN.rvt

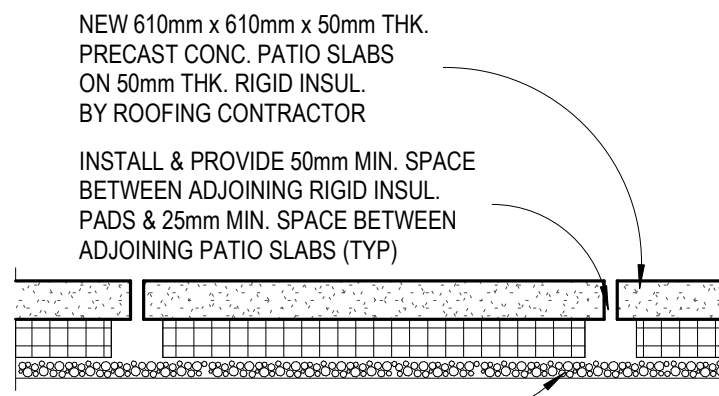
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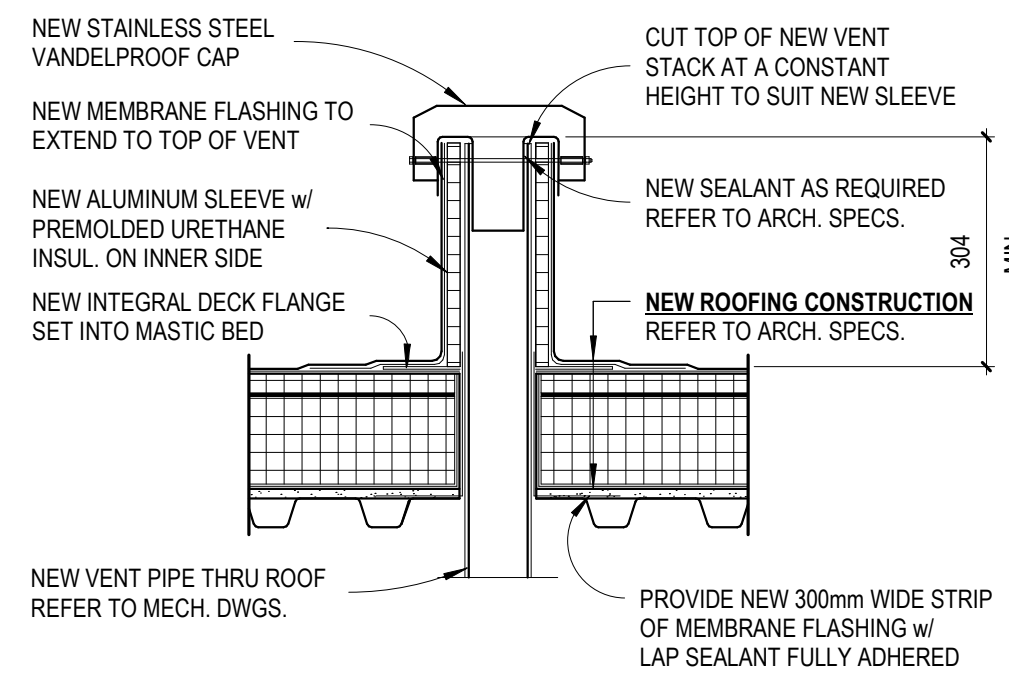
TYP. ROOF DRAIN DETAIL

SCALE: 1:10



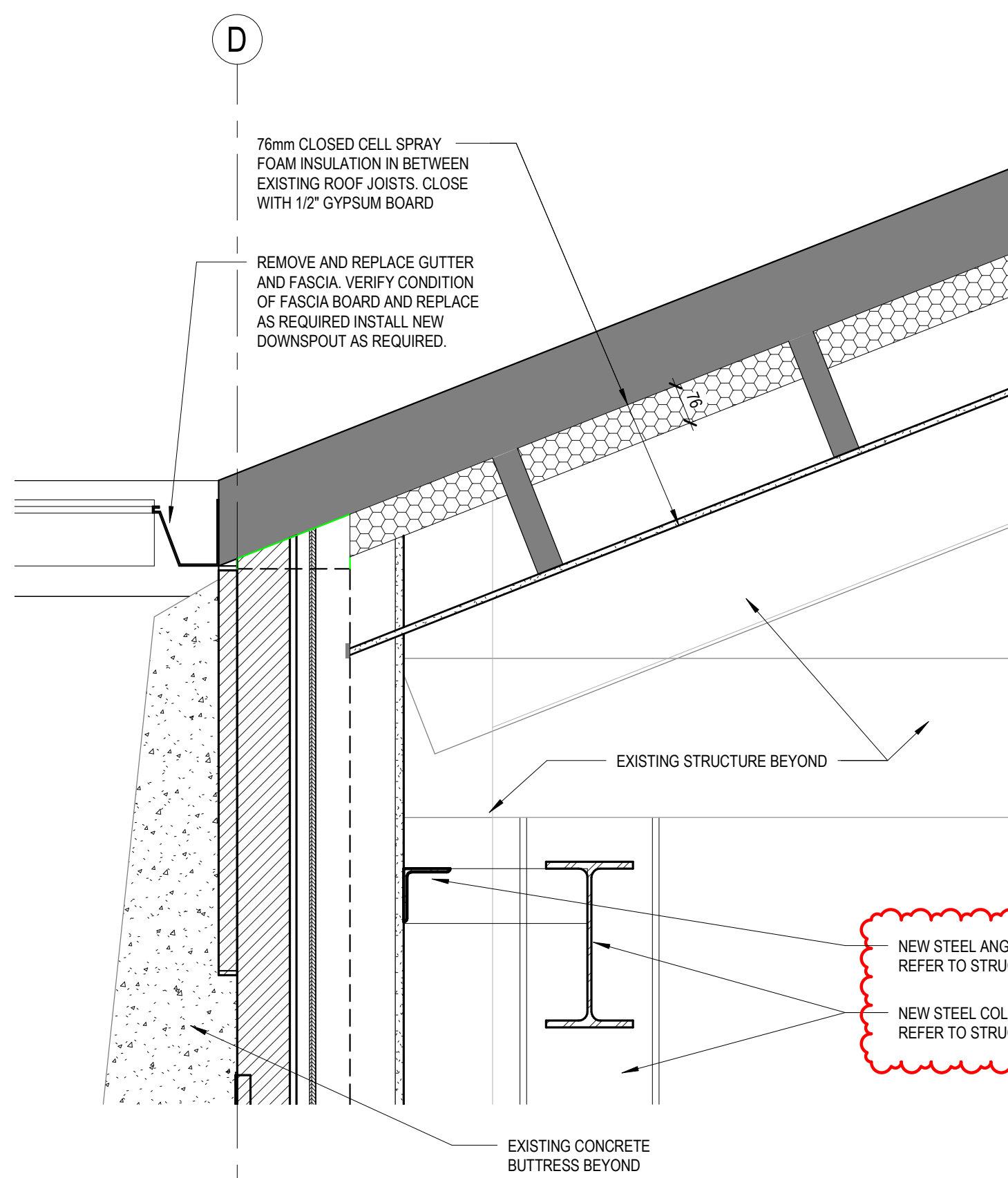
TYP. ROOF PAVER DETAIL

SCALE: 1:10



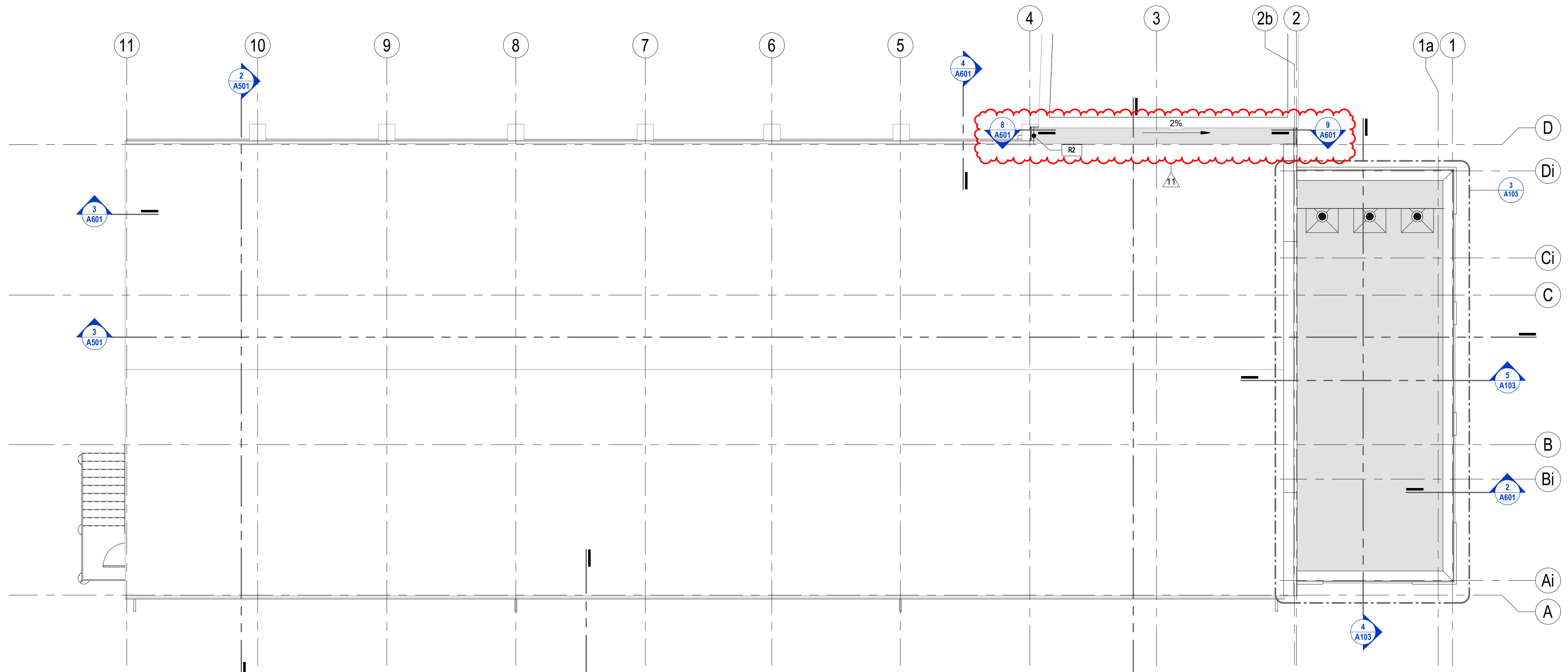
TYP. ROOF PENETRATION DETAIL

SCALE: 1:10



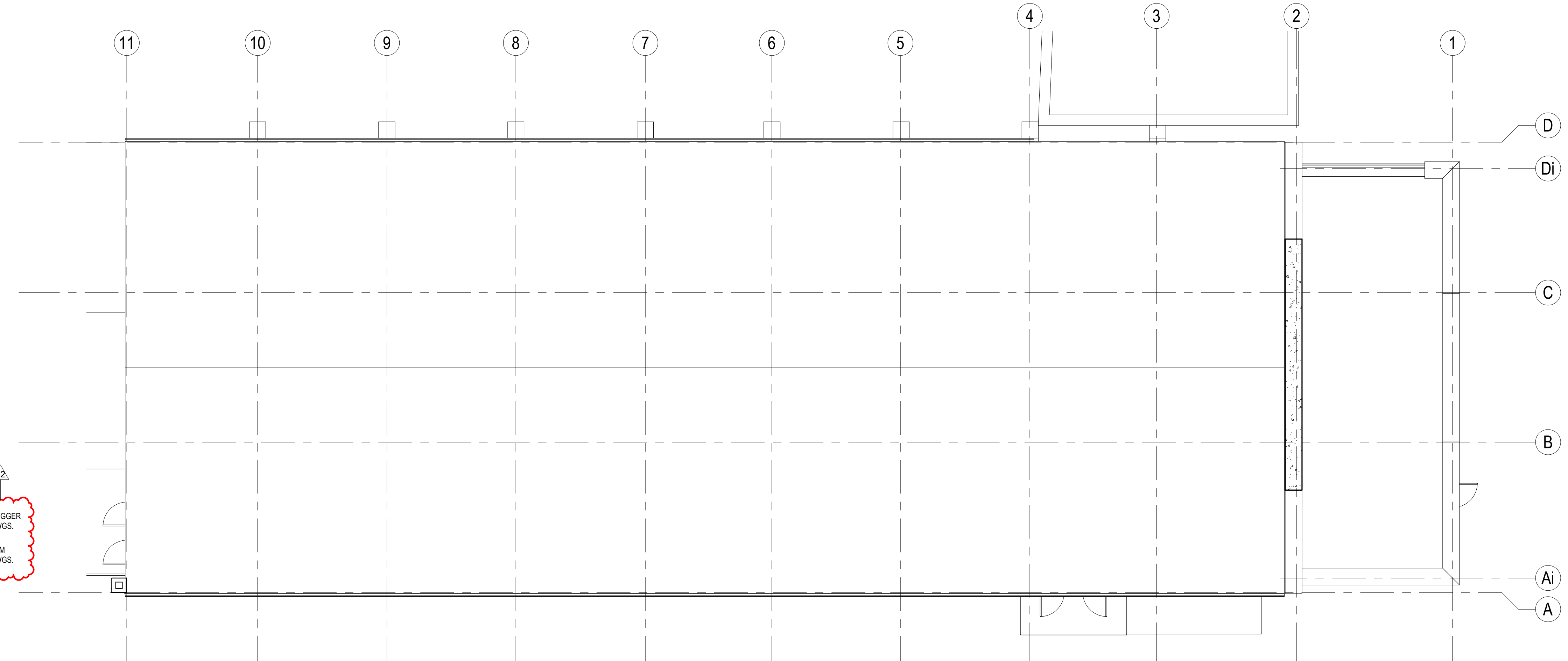
3 TYPICAL ROOF DETAIL

SCALE: 1:10



1 ROOF PLAN - NEW

SCALE: 1:100



2 ROOF PLAN - EXISTING

SCALE: 1:100

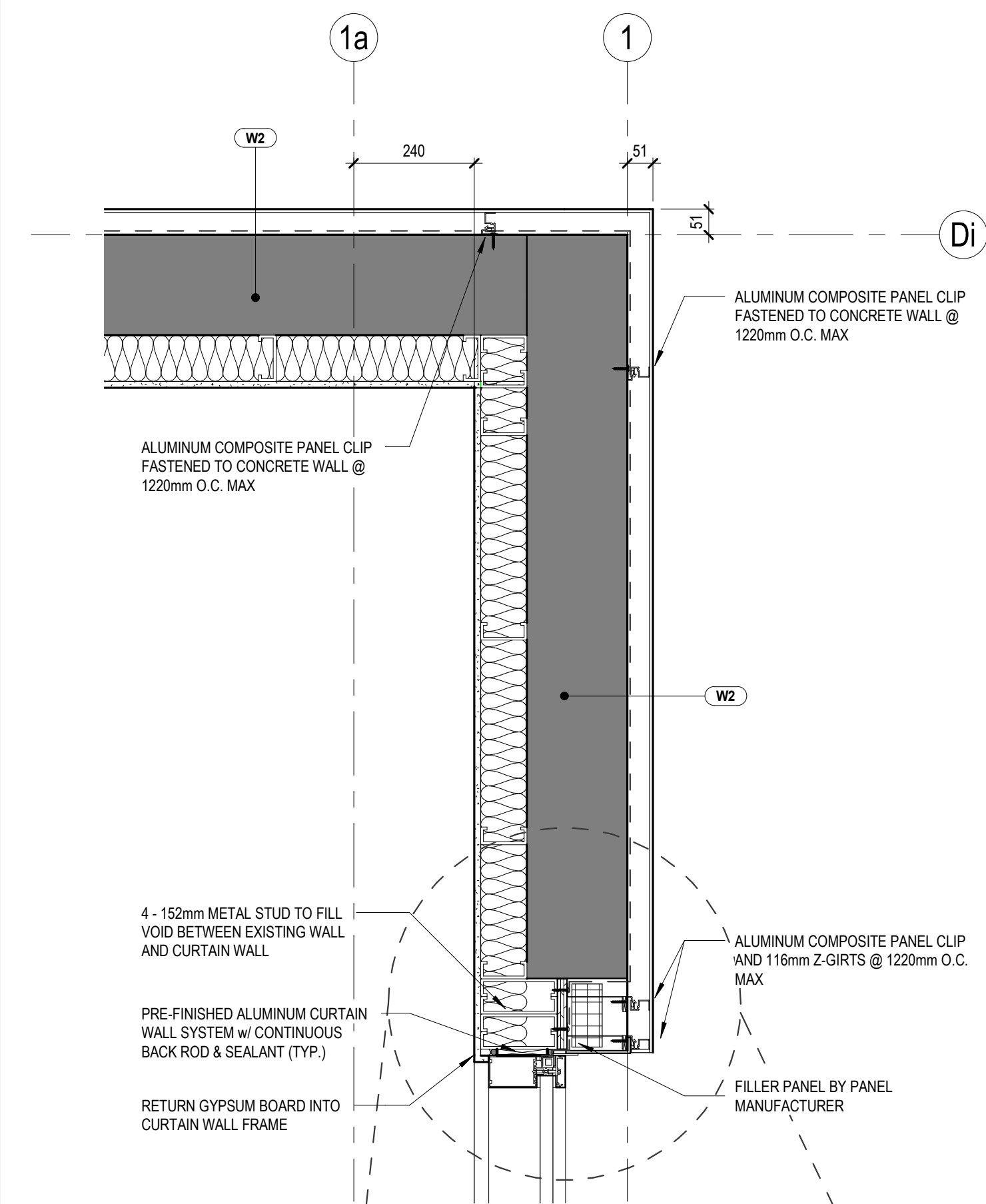
NEW STEEL ANGLE & OUTRIGGER
REFER TO STRUCTURAL DWGS.

NEW STEEL COLUMN & BEAM
REFER TO STRUCTURAL DWGS.

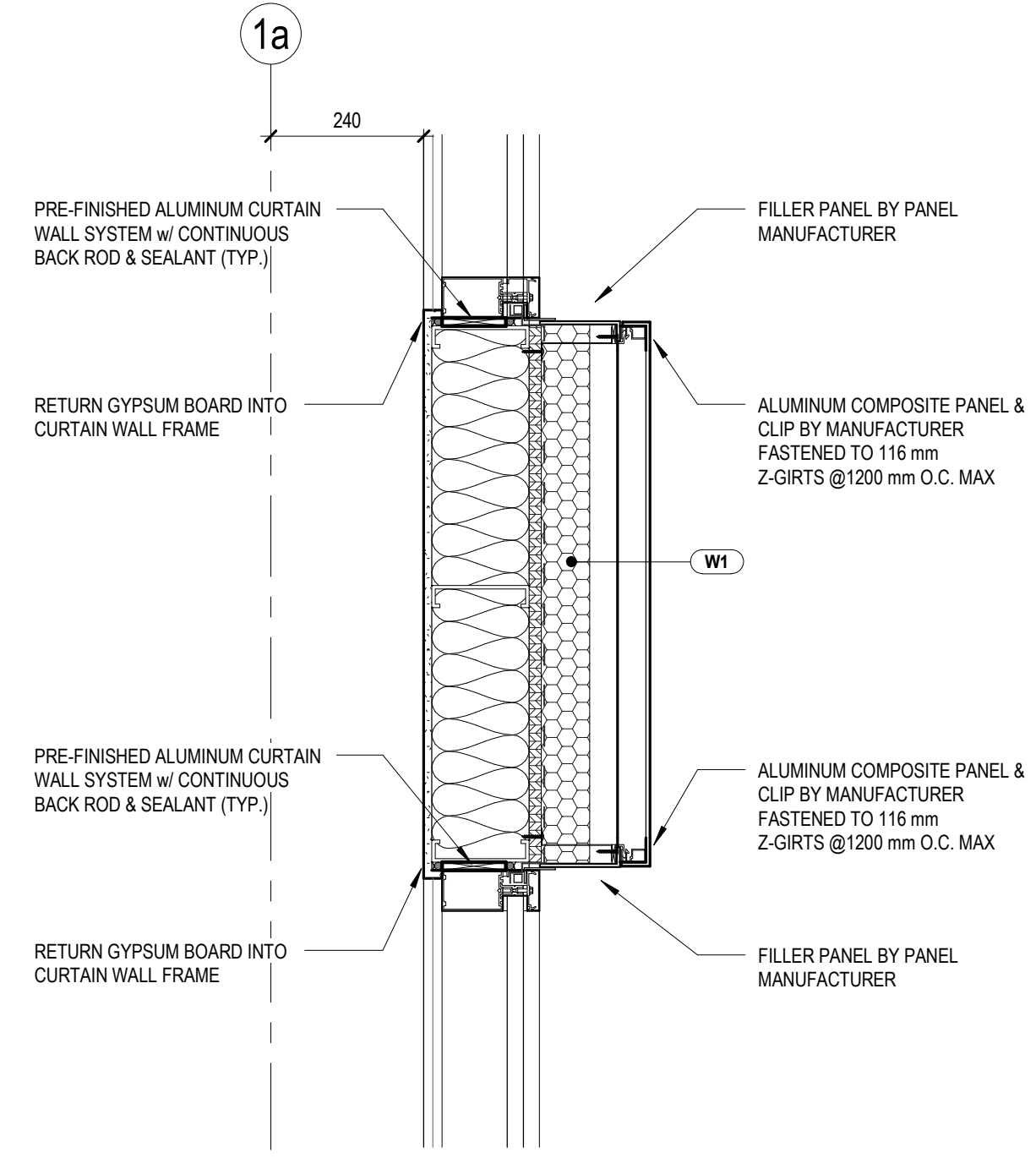
THIS LINE IS 4" LONG

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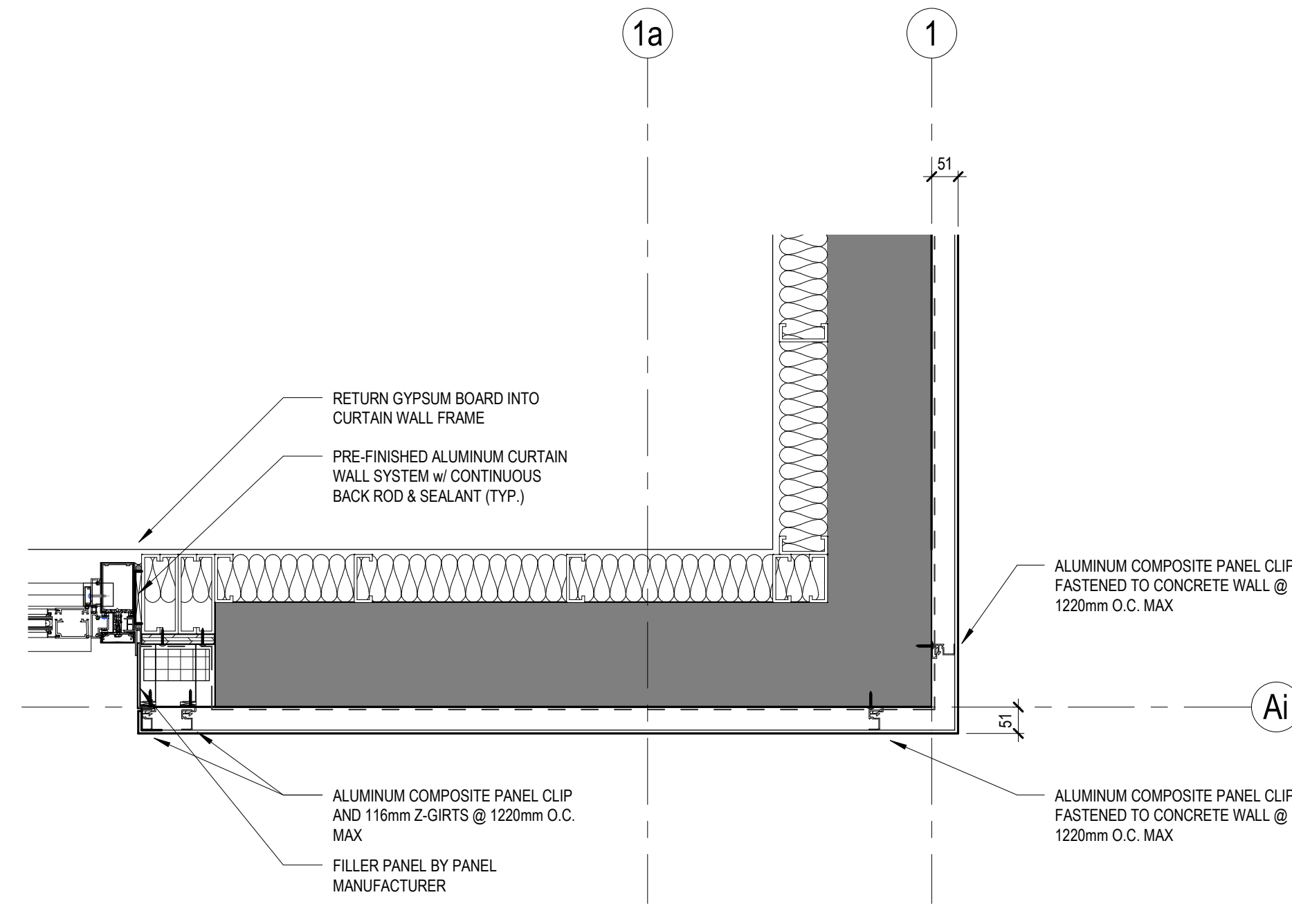
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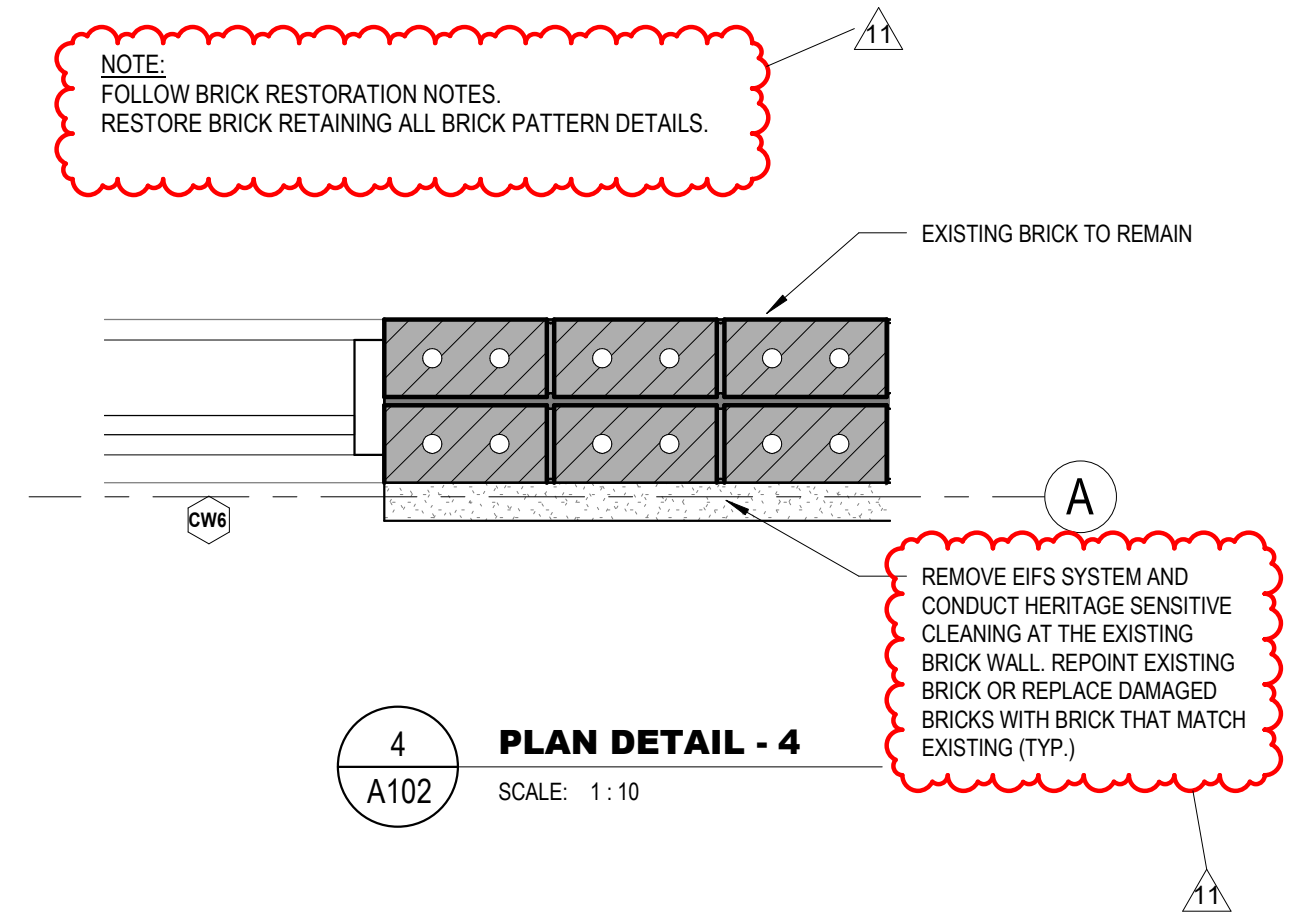
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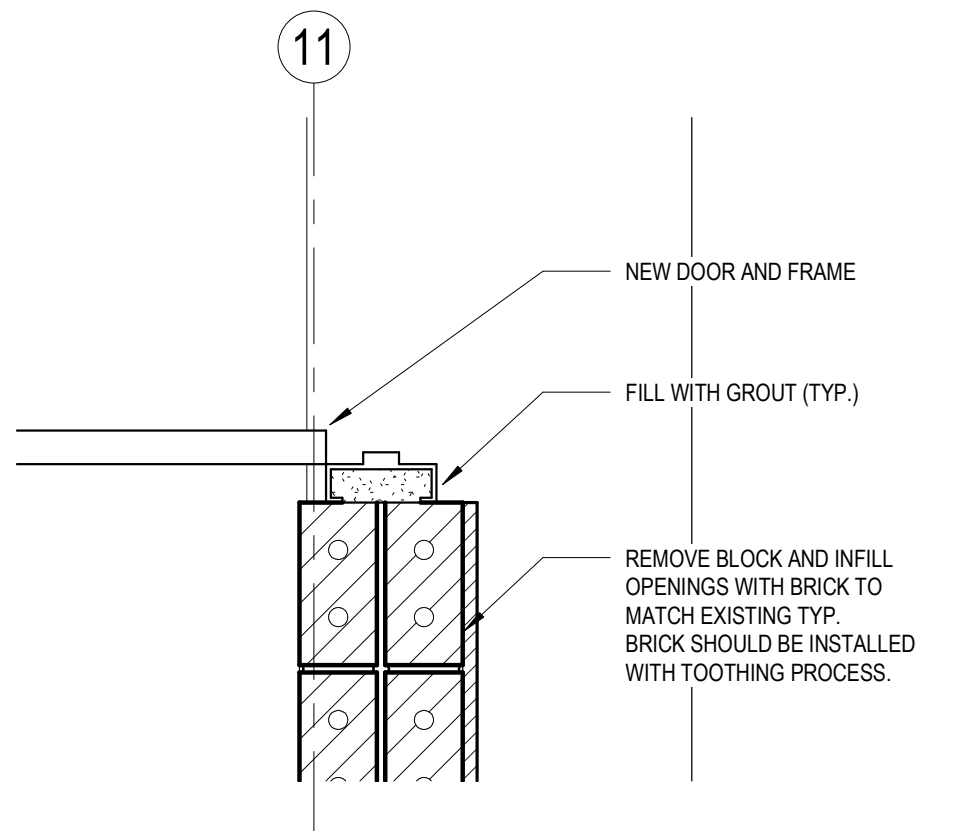
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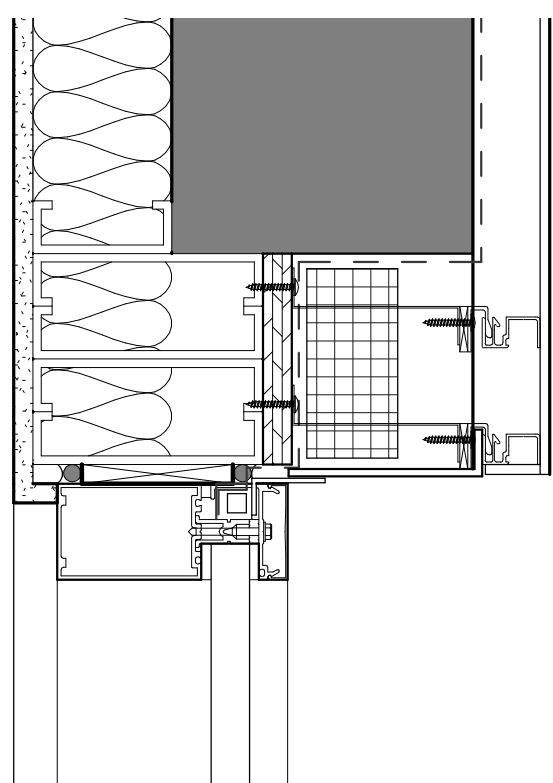
3 PLAN DETAIL - 3 SCALE: 1:10



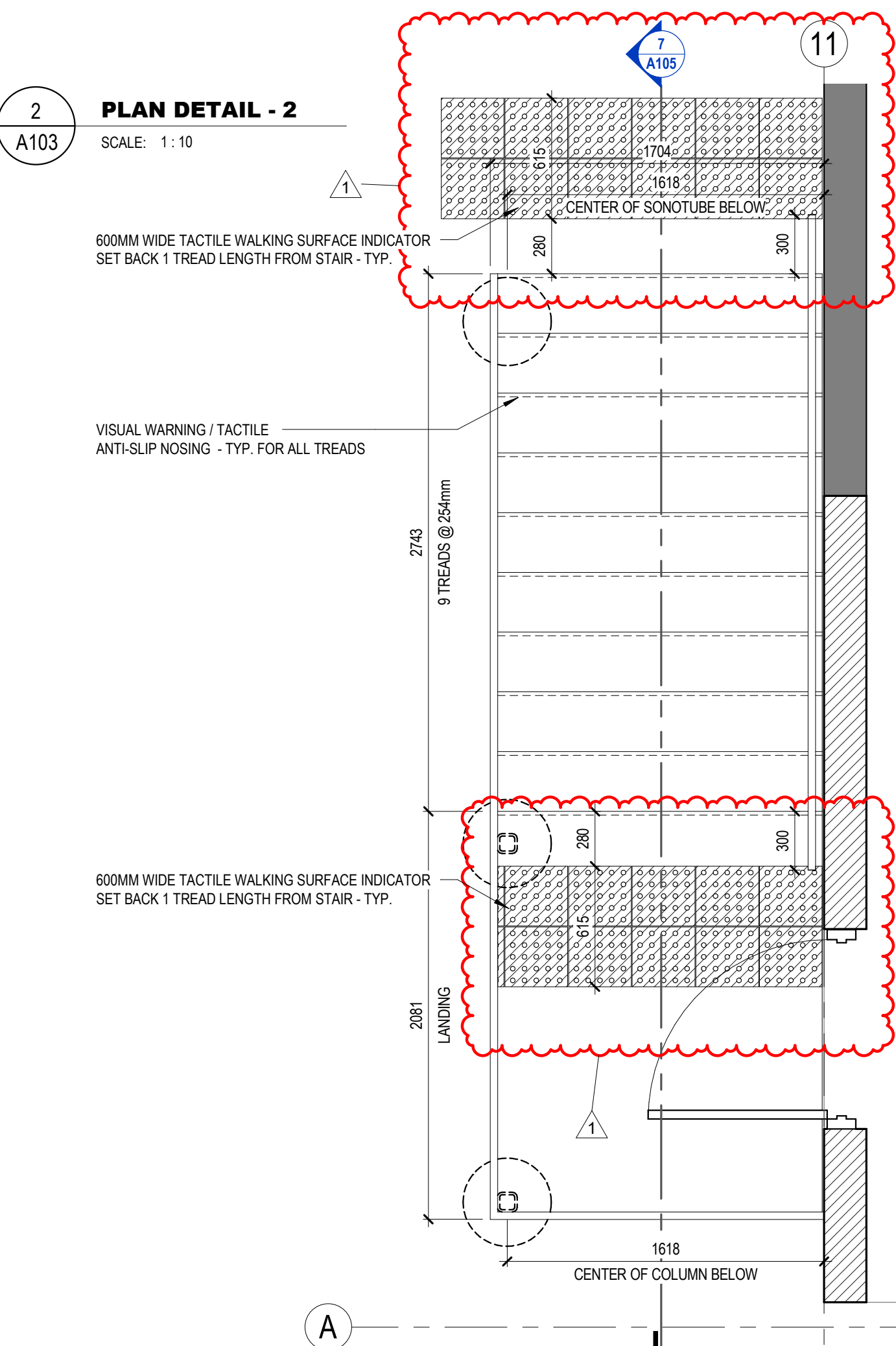
4 PLAN DETAIL - 4 SCALE: 1:10



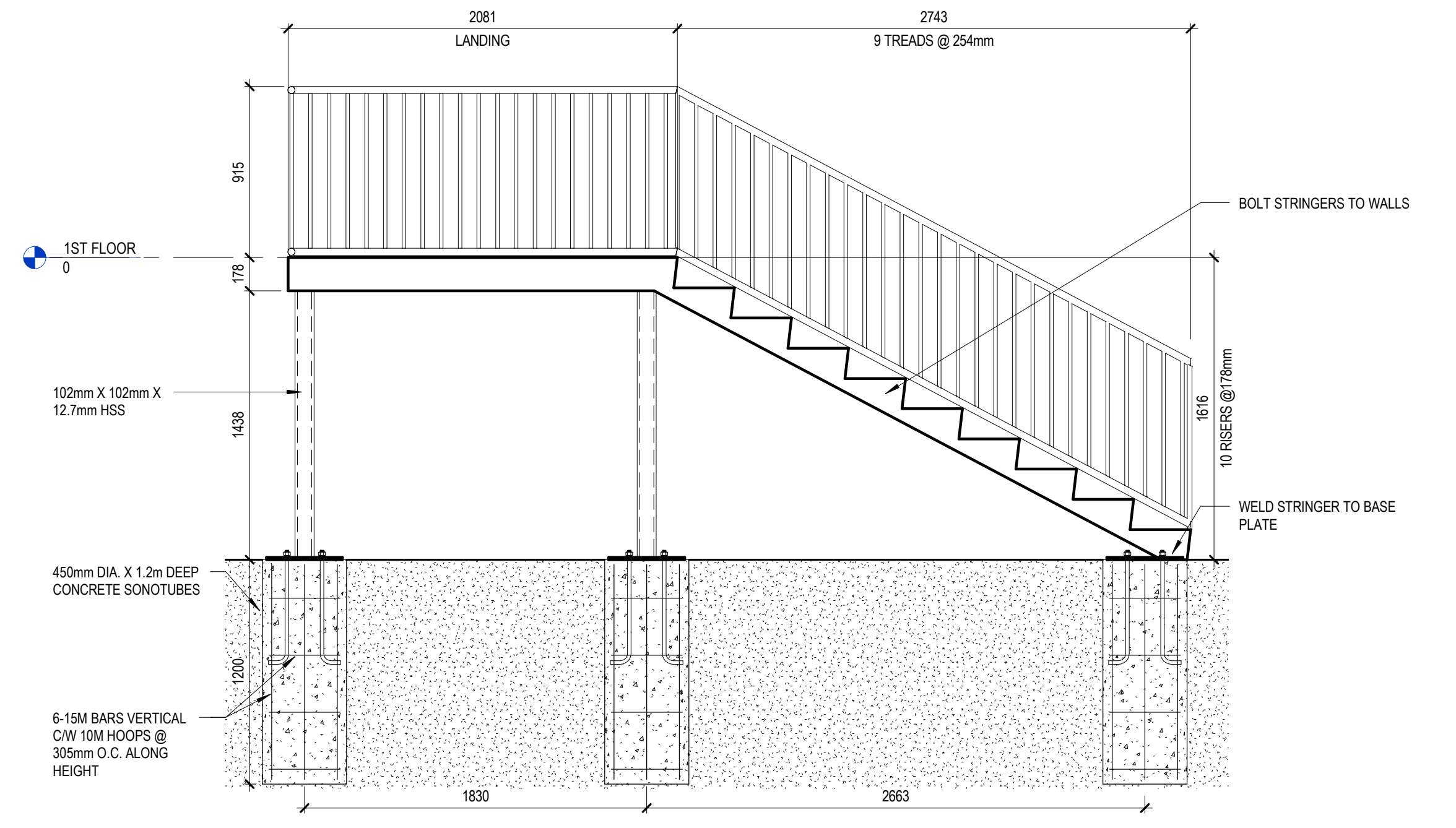
5 PLAN DETAIL - 5 SCALE: 1:10



SCALE: 1:5



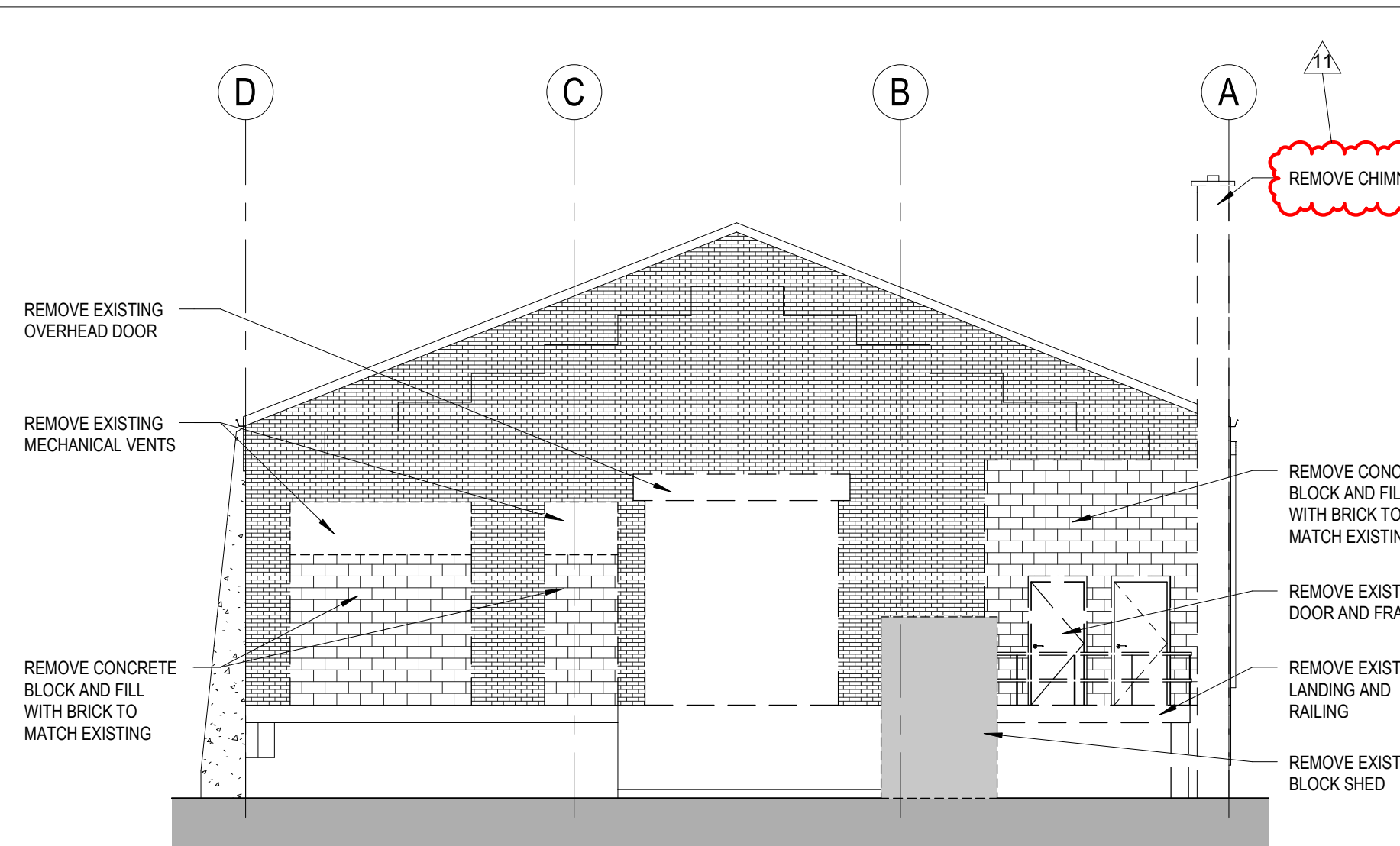
6 STAIR PLAN SCALE: 1:25



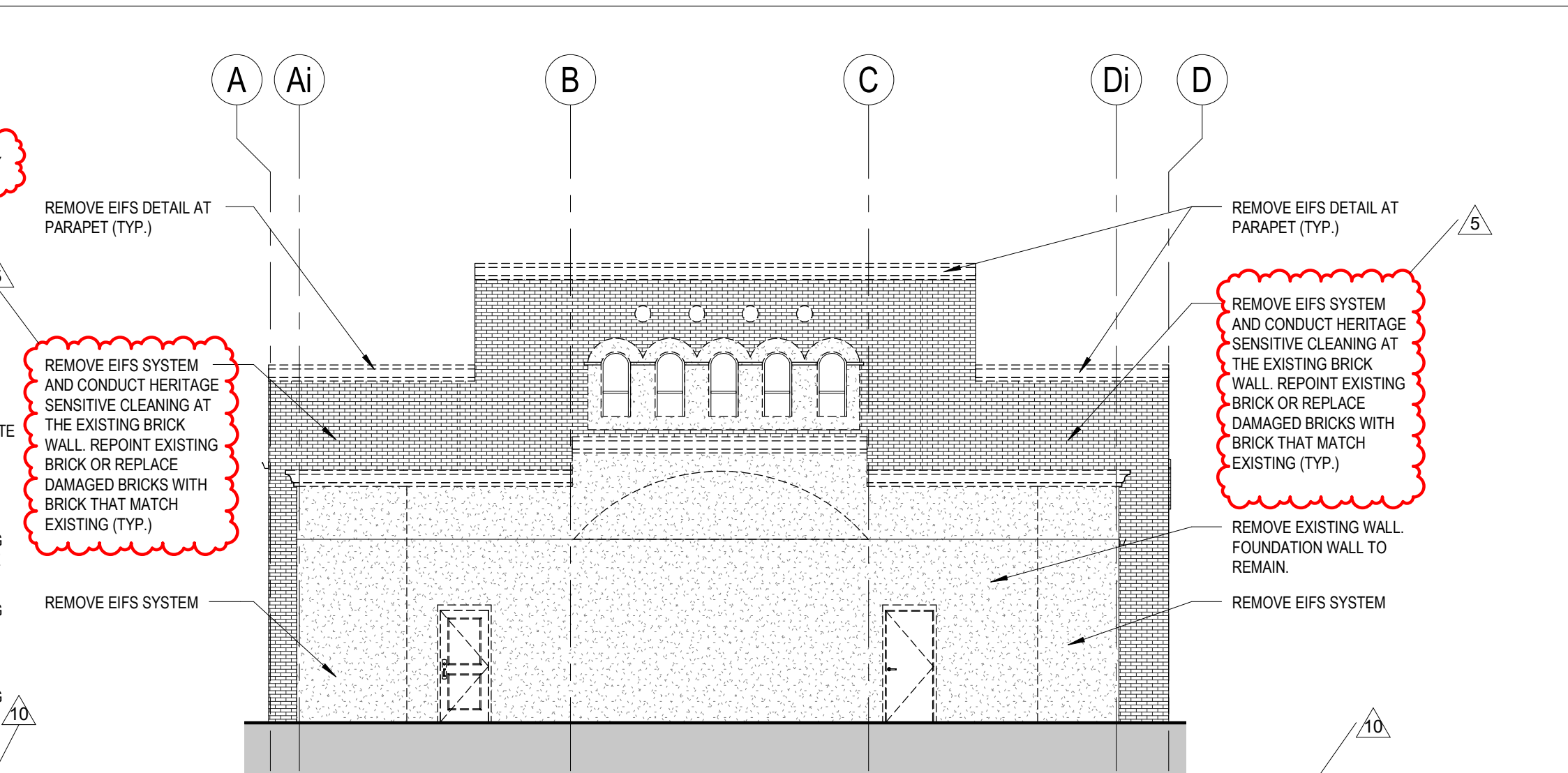
7 STAIR SECTION SCALE: 1:25

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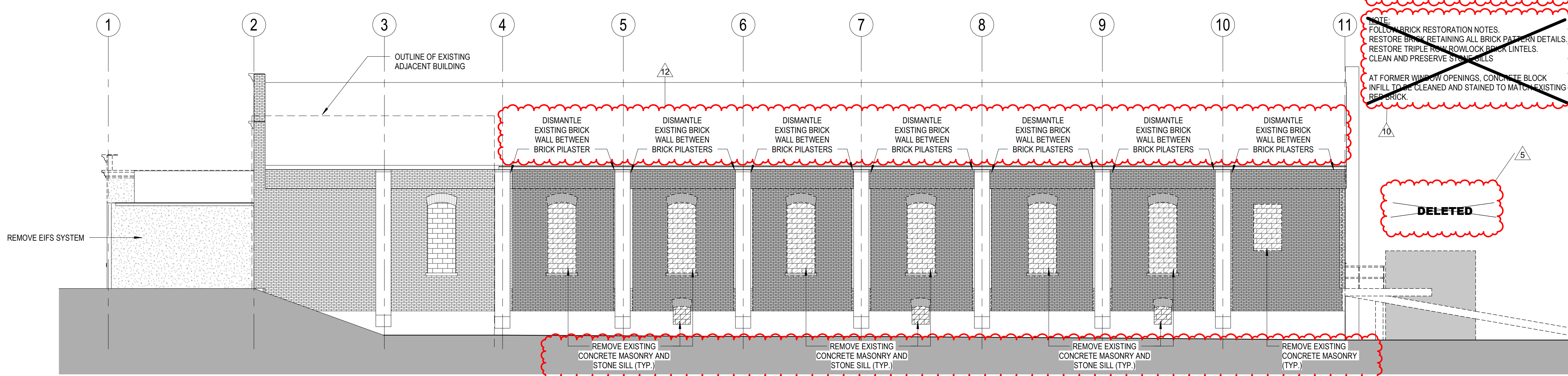
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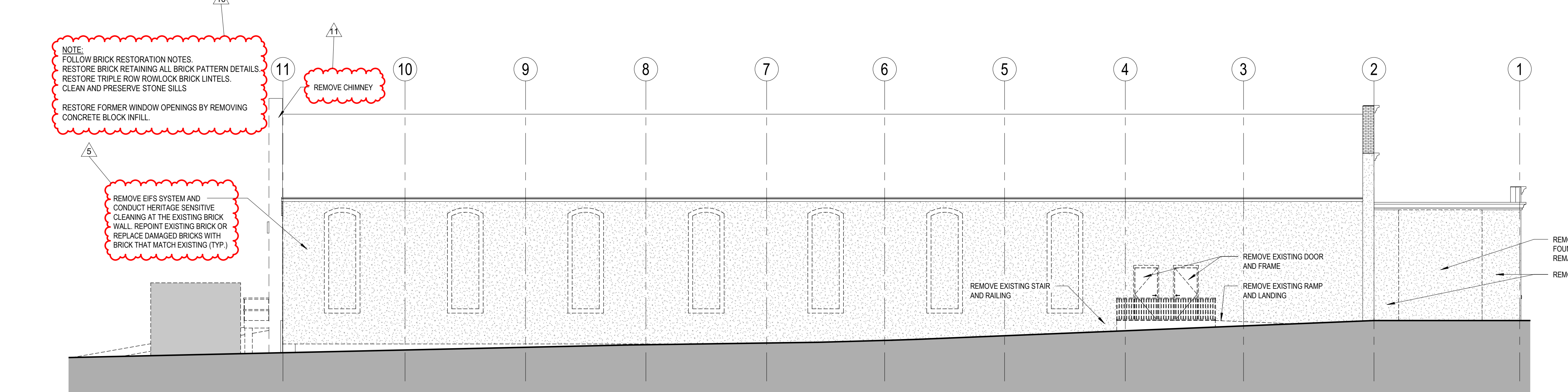
1 NORTH ELEVATION - EXISTING
A102 SCALE: 1:100



2 SOUTH ELEVATION - EXISTING
A102 SCALE: 1:100



3 EAST ELEVATION - EXISTING
A102 SCALE: 1:100



4 WEST ELEVATION - EXISTING
A102 SCALE: 1:100

NOTE: EXISTING ELEVATION DELETED FOR REFERENCE ONLY

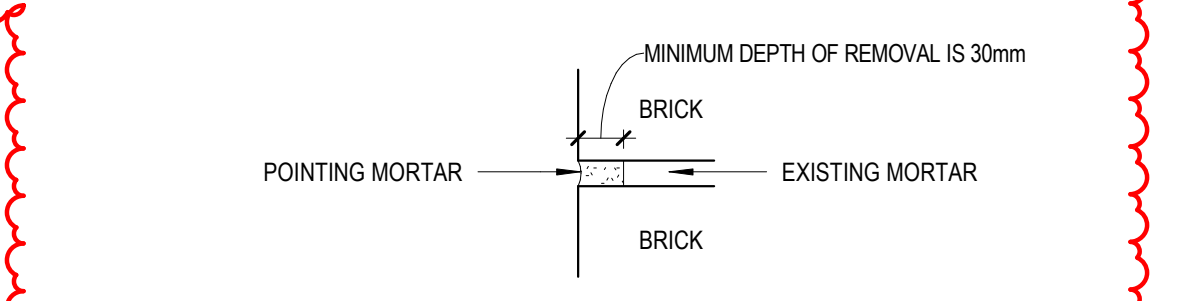
NOTE:
PROPOSED SCOPE OF WORK PRESENTED ON THIS SHEET REFERS TO RESTORATION OF EXISTING BRICK WALLS. SOME DEMOLITION REQUIRED TO PROVIDE ACCESS TO WORK AREAS FOR THE BRICK RESTORATION. DEMOLITION INCLUDES REMOVAL OF EIFS, CONCRETE MASONRY UNITS FROM EXISTING OPENINGS, AND SOME WALL/ROOF AREAS OF THE ADDITION.

EAST WALLS BRICK REMOVALS NOTES:
COMPLETE IDENTIFIED AREAS OF BRICK REMOVALS AS FOLLOWS:
- REVIEW AREA WITH CONSULTANT TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO COMPLETING REMOVALS
- COMPLETE ADJACENT AREAS OF REPOINTING WORK IN ADVANCE OF ANY BRICK REMOVALS
- DURING REMOVAL, PROTECT SOUND AREAS TO REMAIN. USE MECHANICAL HAND METHODS OF REMOVAL. OBTAIN CONSULTANT'S APPROVAL FOR USE OF POWER TOOLS BEFORE COMMENCING WORK.
- TAKE CARE TO NOT DESTABILIZE SURROUNDING BRICKWORK. WHERE DESTABILIZING IS A CONCERN, CONTACT CONSULTANT FOR REVIEW PRIOR TO PROCEEDING.
- SALVAGE ALL EXISTING BRICK AND STORE ON PALLETS WITHIN BUILDING.
- SORT BRICKS BY WYTHE DURING REMOVALS. DO NOT MIX BRICKS FROM EXTERIOR WYTHE THOSE FROM INTERIOR WYTHES. STORE ON SEPARATE PALLETS, THAT ARE CLEARLY LABELED.
- FOR HEADERS BETWEEN WYTHES, SORT WITH INNERMOST WYTHE. DO NOT INCLUDE ANY HEADERS ON PALLET FOR EXTERIOR WYTHE.

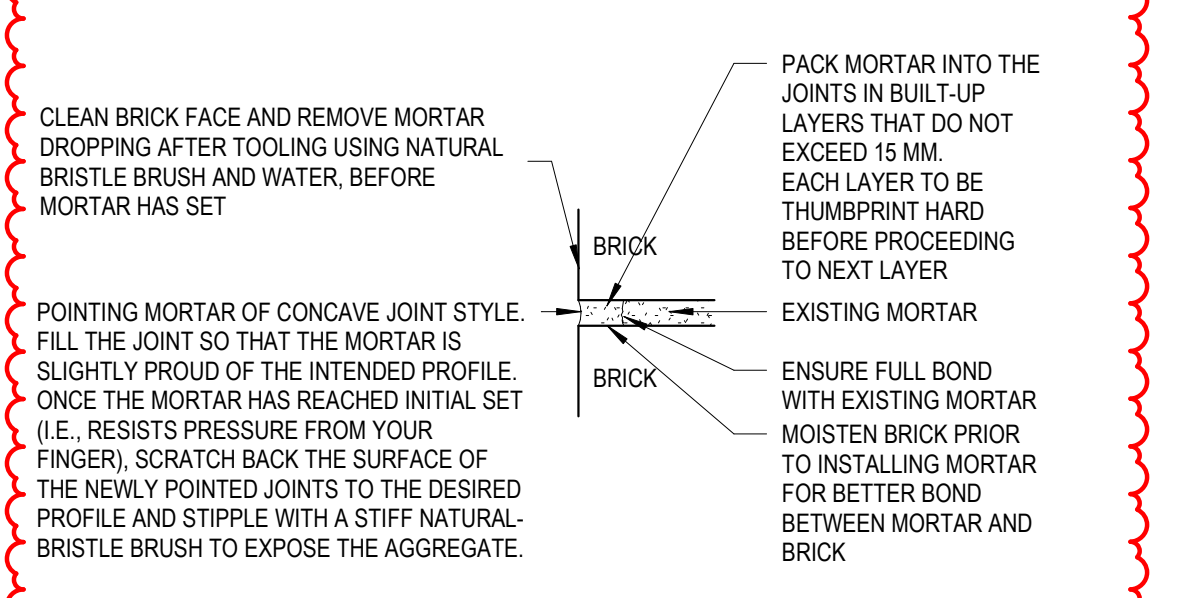
NOTE:
FOLLOW BRICK RESTORATION NOTES. RESTORE BRICK RETAINING ALL BRICK PATTERN DETAILS. RESTORE TRIPLE ROW ROWLOCK BRICK LINTELS. CLEAN AND PRESERVE STONE SILLS.
AT FORMER WINDOW OPENINGS, CONCRETE BLOCK INFILL TO BE CLEANED AND STAINED TO MATCH EXISTING BRICK.

BRICK RESTORATION NOTES:

- A. REMOVE EIFS SYSTEM FROM THE EXISTING BRICK WALLS.
- B. REPLACE ALL MODERN MASONRY UNITS. INSPECT EACH EXISTING CLAY BRICK ON THE HERITAGE WALLS. ON WALL AREAS WITH SPALLING OR FAILED BRICKS DISMANTLE AND REBUILD EXTERIOR WYTHE. WORKING SECTIONS SIZES TO BE DETERMINED ENSURING THE STRUCTURAL INTEGRITY OF THE WALLS (UP TO 15' X 15'). REPLACE ALL CRITICALLY DETERIORATED MASONRY UNITS. REPLACEMENT MASONRY UNITS TO MATCH IN SIZE, COLOUR AND TEXTURE THE EXISTING HERITAGE BRICK (I.E. CLAY BRICK). REUSE ANY BRICK SPALLING AT ITS EXTERIOR FACE, AFTER MAKING SURE THAT MATERIAL INTEGRITY IS NOT COMPROMISED. CLEAN THEM AND TURN/INVERT DURING REBUILDING. DAMPEN UNITS AND CAVITIES IMMEDIATELY PRIOR TO INSTALLATION MATCHING THE EXISTING BOND PATTERN AND COURSING. REBUILD TO FOLLOW THE EXISTING COMMON BOND PATTERN. ENSURE THAT REMAINING ORIGINAL BRICK, INVERTED ORIGINAL BRICK AND NEW REPLACEMENT BRICK UNITS ARE REBUILT IN A WAY THAT IS EVENLY BLENDED AND WOULD RESULT IN COHESIVE AND BALANCED END APPEARANCE. SAMPLES MUST BE PRESENTED APPROVED AND VERIFIED BY THE HERITAGE PLANNER AND SENIOR URBAN DESIGNER PRIOR TO INSTALLATION.
- C. REMOVE ANY MODERN CEMENTITIOUS MORTARS.
- D. PREPARE JOINT BY REMOVING DETERIORATED MORTAR. RAKING OUT PROCEDURE:
- SAWCUT ALONG CENTER OF JOINT, TO A DEPTH OF MAX 20MM.
- RAKE OUT EXISTING MORTAR SQUARE TO BRICK.
- REMOVE ALL RESIDUE FROM STONE FACE TO ALLOW NEW MORTAR TO BOND TO BRICK.
- DO NOT CHIP OR OTHERWISE DAMAGE EDGE OF MASONRY UNITS DURING REMOVALS.
- GRINDERS OR SAW BLADES MUST NOT TOUCH MASONRY UNITS FACE. CUT CENTRE OF JOINT CAREFULLY, WITHOUT MARKING BRICK. REMOVE REMAINDER OF MORTAR USING HAND TOOLS.
- ALL CRACKED MORTAR, MORTAR DEBONDED FROM BRICK, OR DETERIORATED MORTAR OR PORTLAND MORTAR MUST BE REMOVED FROM JOINT PRIOR TO REPOINTING. FOR FULL DEPTH OF BRICK IF NECESSARY.
- REMOVE ALL PORTLAND CEMENT BASED MORTARS FROM JOINTS.
- REMOVE ALL CAULKING, WHERE PRESENT IN JOINTS.
- CLEAN OUT JOINT USING COMPRESSED AIR, OR WASH OUT JOINTS USING PRESSURIZED WATER, PRIOR TO REPOINTING.
- WHERE BRICK BECOMES LOOSE, REMOVE AND RESET BRICK.
- E. REPOINT ONLY WHEN THE WALL TEMPERATURE IS BETWEEN 5°C (40°F) - 25°C (77°F) TO AVOID EXCESSIVE EVAPORATION OF WATER FROM THE MORTAR OR FREEZING.
- F. PREPARE MORTAR PROPORTION BY MEASURING DRY INGREDIENTS BY VOLUME AND MIXING THOROUGHLY BEFORE ADDING WATER. USE WITHIN 30 MINUTES. PROPORTIONS TO BE TRADITIONAL TYPE O MEANING PROPORTION OF MORTAR VOLUMES OF CEMENT: HYDRATED LIME OR LIME PUTTY: SAND IS TO BE 1:2:8.9. PRE-MIXED TYPE O MORTAR MAY ALSO BE PERMITTED WITH MATCHING COLOUR, FOLLOWING MANUFACTURER'S SPECIFICATIONS.
- G. CONDUCT TEST PANEL AT AN INCONSPICUOUS SPOT (3' BY 3') TO BE APPROVED BY ARCHITECT.
- H. FILL JOINT WITH COMPACTED SUCCESSIVE LAYERS (1/4" OR 1CM) TO CONTROL RATE OF DRYING AND STRENGTHEN BOND. FINISH WITH A CONCAVE JOINT STYLE, OR AN ALTERNATE IF IT CAN BE DEMONSTRATED TO BE THE ORIGINAL POINTING STYLE.
- I. NEWLY REPOINTED JOINTS SHOULD BE KEPT IN A DAMP ENVIRONMENT TO PROMOTE CURING. THEY SHOULD BE MISTED AND COVERED WITH DAMP BURLAP AND POLYTHENE SHEETS FOR A PERIOD OF NO LESS THAN 3 DAYS AND AS LONG AS POSSIBLE.
- J. CLEAN EXCESS MORTAR WITH NATURAL BRISTLE NYLON BRUSH. NEVER USE METAL BRISTLE BRUSHES ON HISTORIC MASONRY. THE MORTAR ON FRESHLY REPOINTED WALL SHOULD BE FULLY HARDENED BEFORE CLEANING. EFFLORESCENCE MAY BE REMOVED BY BRUSHING WITH STIFF-BRISTLE BRUSH (NOT METAL).
- K. ABOVE-ROOF (IE. CHIMNEY AND PARAPET) REPAIRS SHOULD BE DONE BEFORE ROOF REPAIRS ARE UNDERTAKEN.
- L. PROTECT WORK FROM RAIN AND FREEZING FOR THE FIRST 72 HOURS OR IN HOT WEATHER, PROTECT FROM SUN AND WIND TO AVOID RAPID WATER EVAPORATION FROM MORTAR.
- M. APPLICATION OF SEALANTS ARE NOT PERMITTED.
- N. WHERE NEEDED, APPLY LOCALLY "KING BIOLOGICAL SOLUTION" FOR HERITAGE SENSITIVE CLEANING. FOLLOW MANUFACTURER'S SPECIFICATIONS.
- O. CLEANING IS TO BE CONDUCTED IN THE GENTLEST MEANS POSSIBLE. START WITH LOW PRESSURE, PROGRESSING AS NEEDED TO SLIGHTLY HIGHER PRESSURE NO HIGHER THAN 200 PSI.



TYPICAL RAKING OUT DETAIL

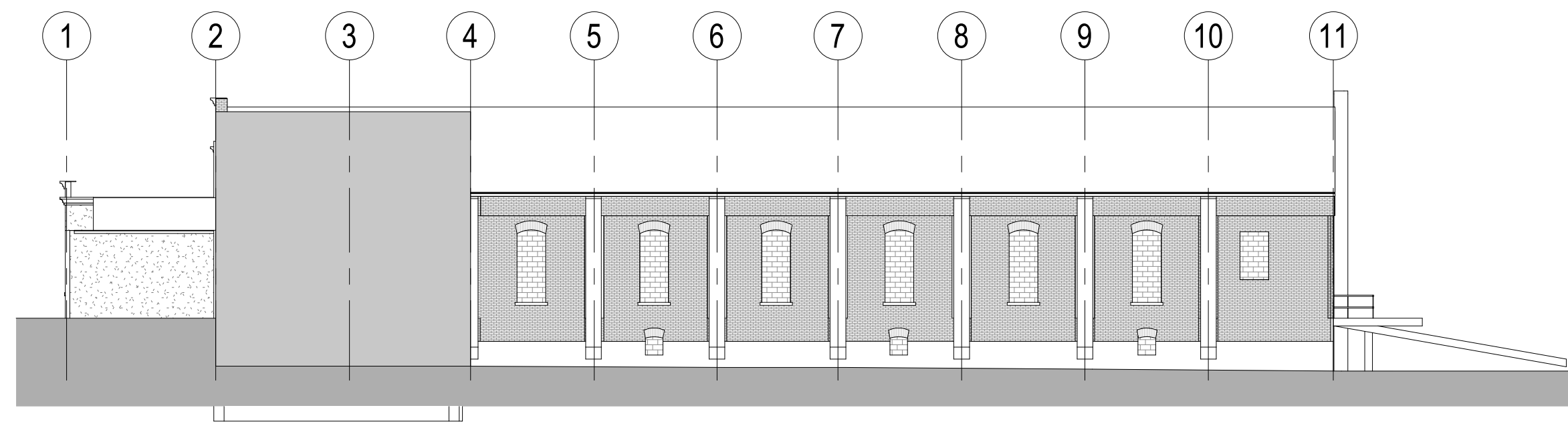


TYPICAL REPOINTING DETAIL

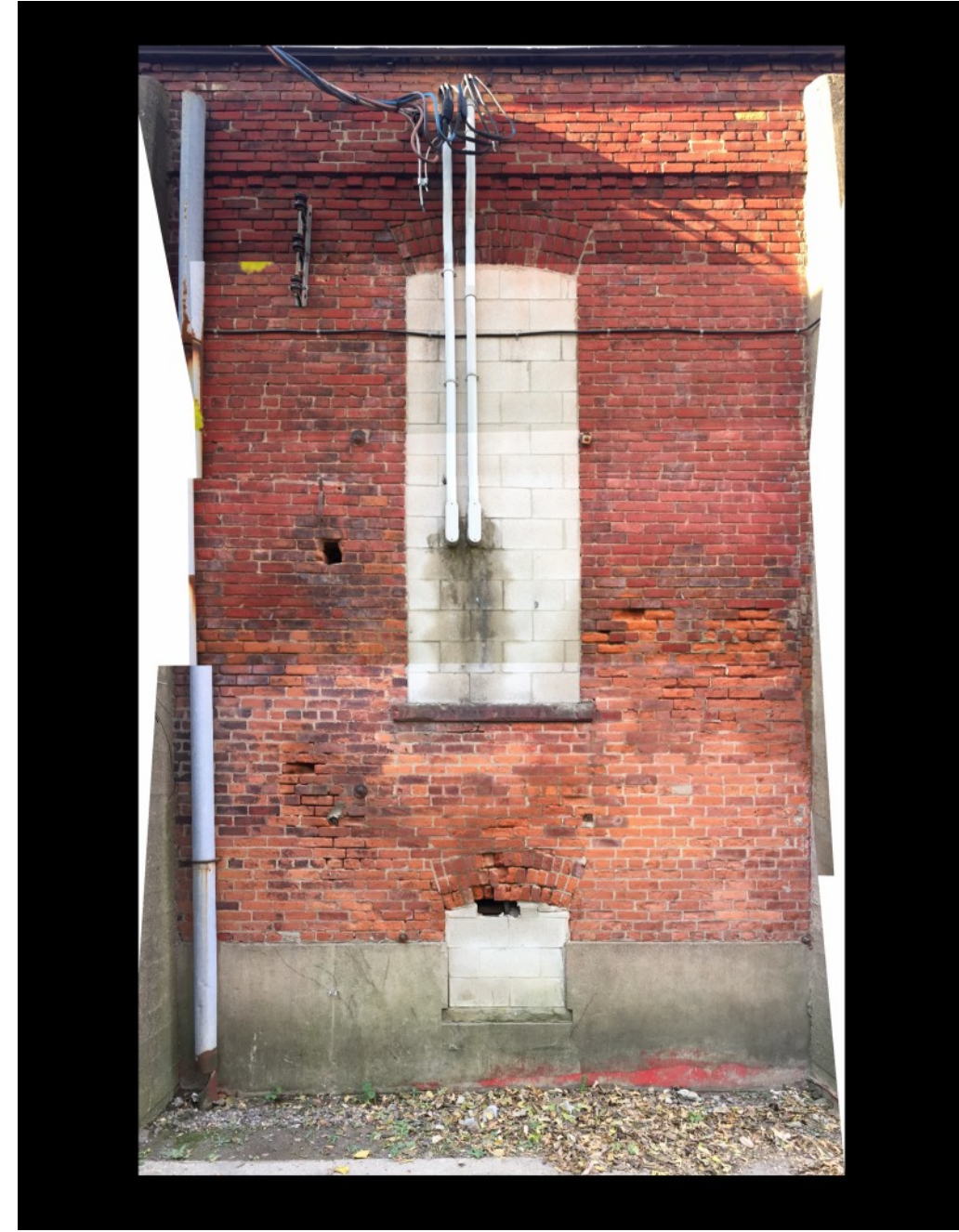
No.	Revision Schedule	Description	Date
5	Rev 5 - Ph2 - Draft SPC Approval Report		2021.04.14
10	Rev 10 - Wall Restoration Scope Of Work		2021.05.30
11	Coordination		2021.09.23
12	Rev 12 - East Walls Structural Repair		2021.10.26

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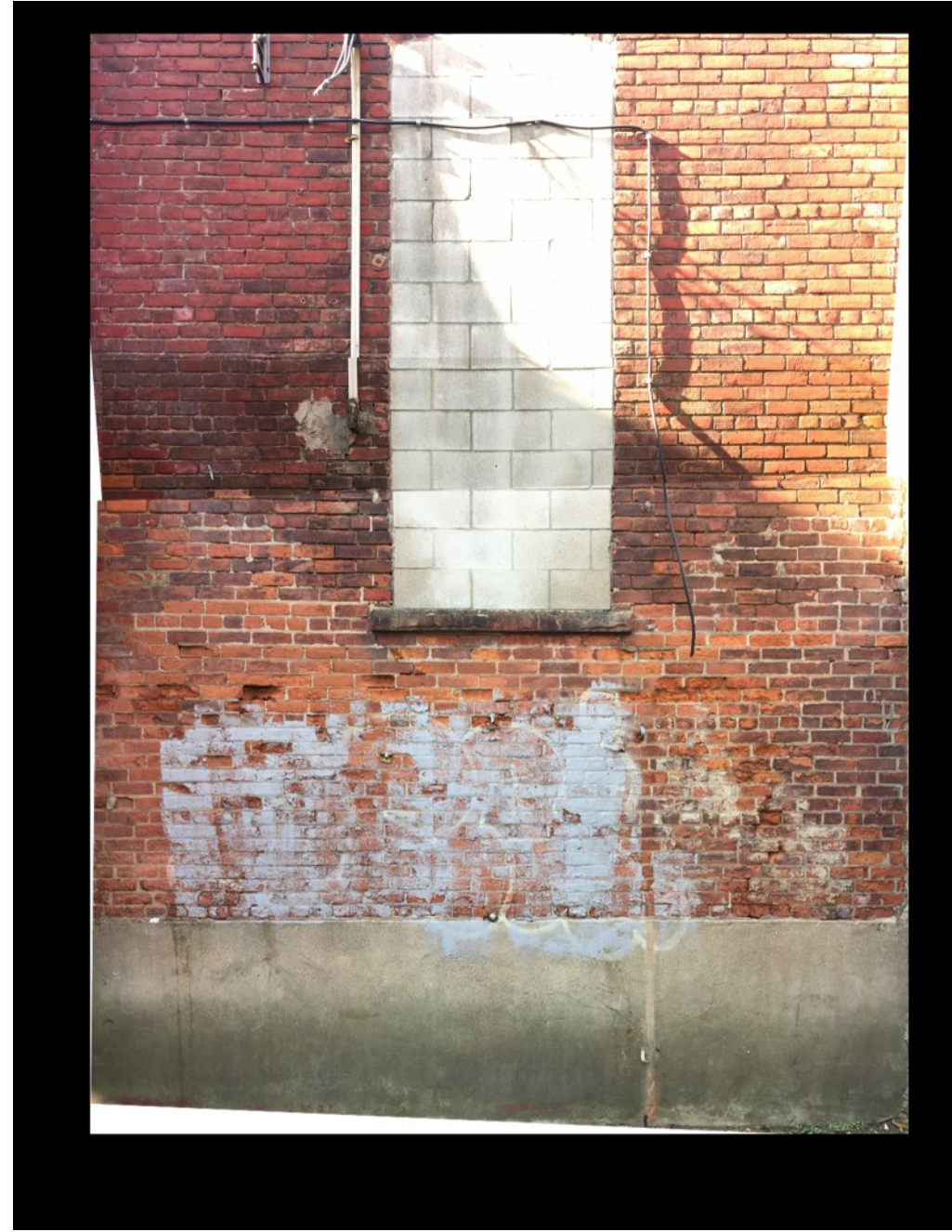
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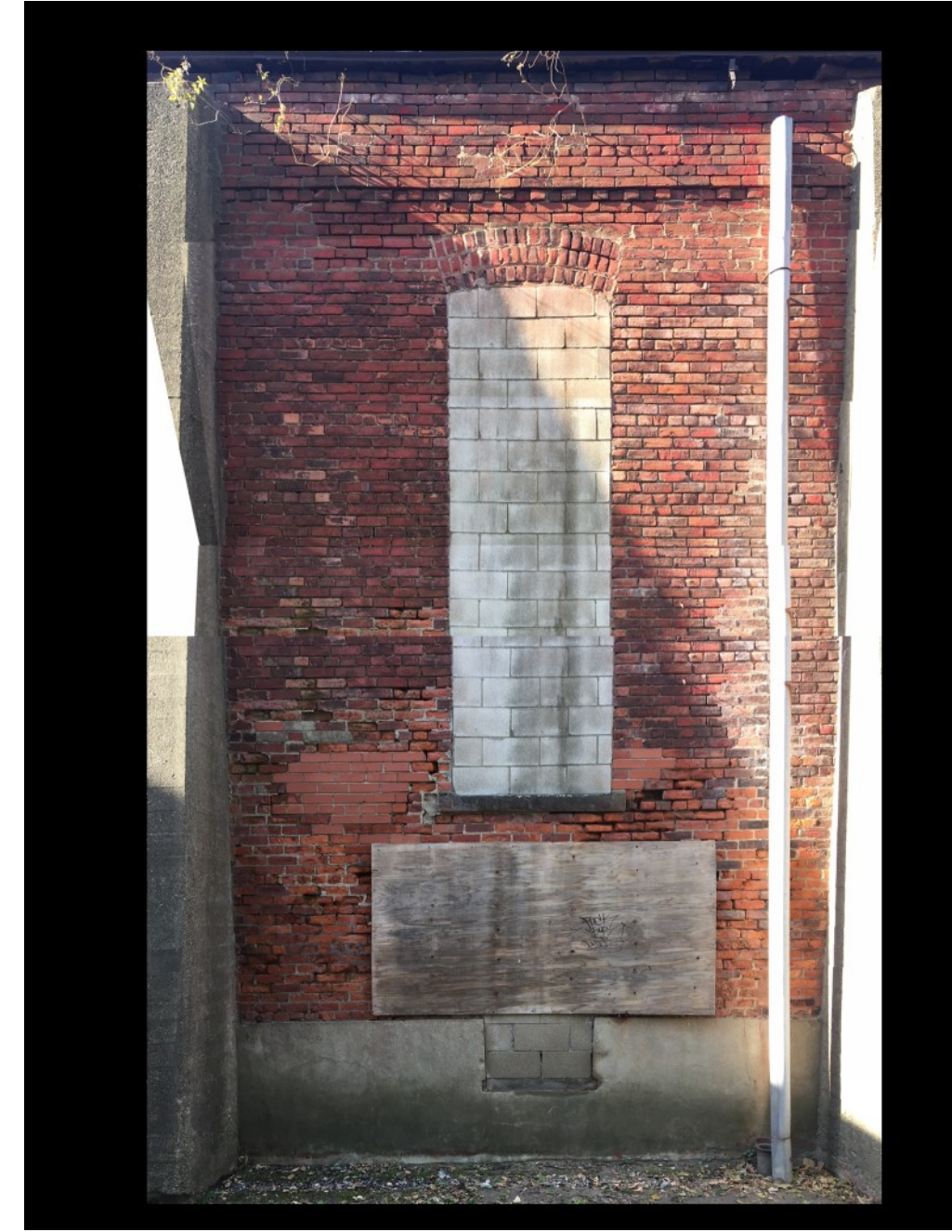
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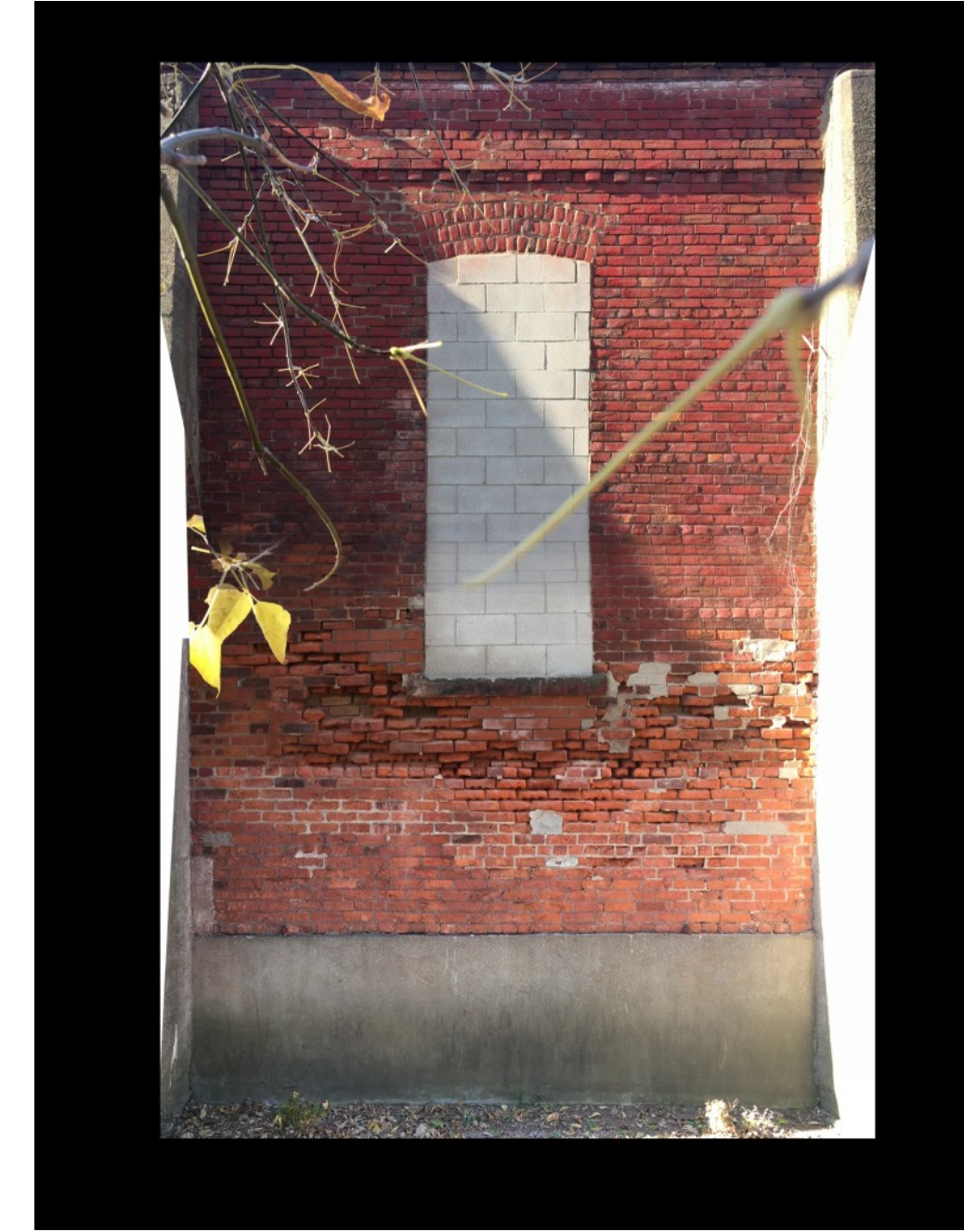
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6-7



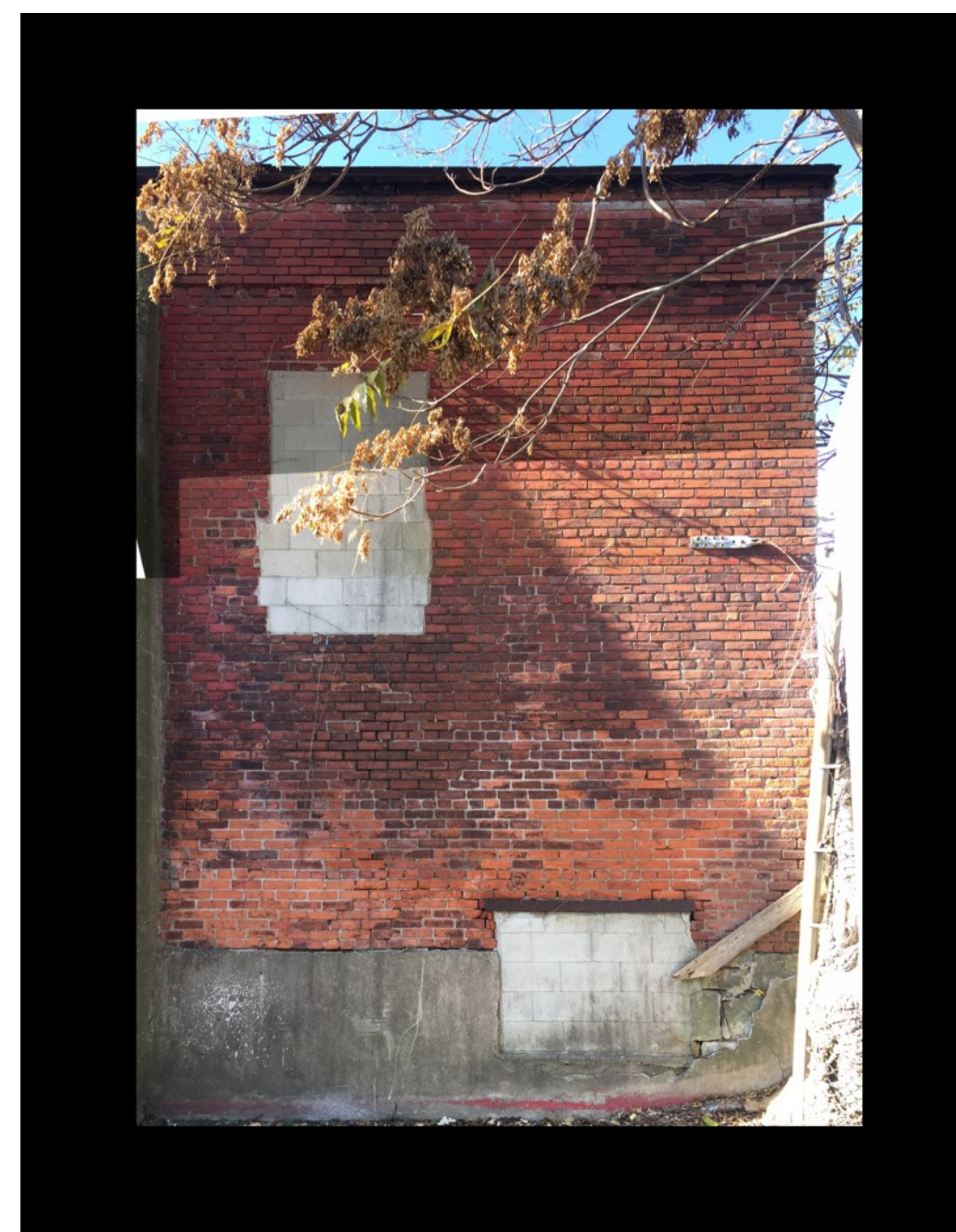
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8-9



9-10



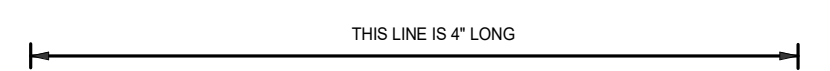
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Revision Schedule	Description	Date
No.		

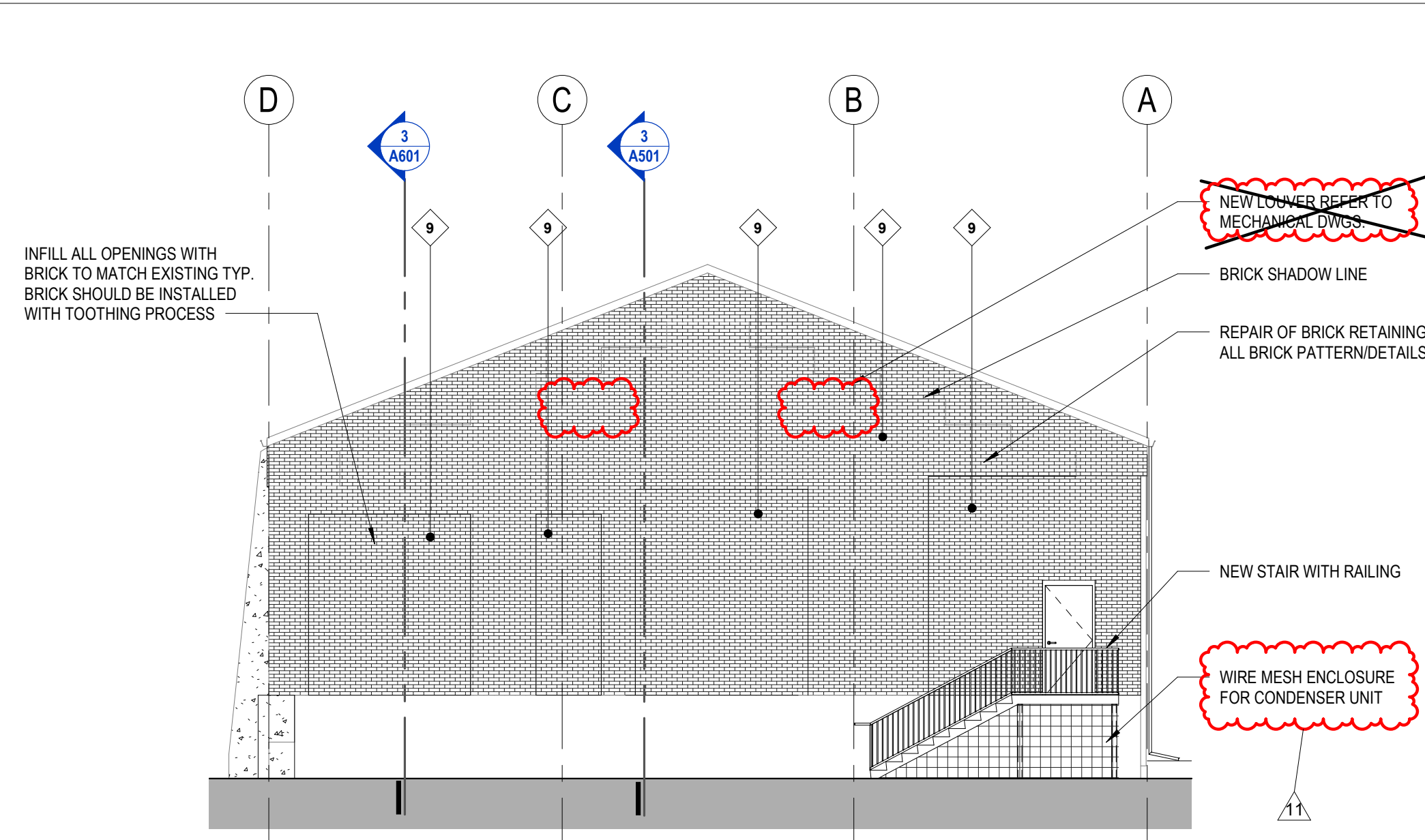
EXISTING BRICK ELEVATIONS -
IMAGES

AIPL CANADA
Mixed-Use Development: BLD B
1100 & 1200-1220 University Ave. W. Windsor, ON

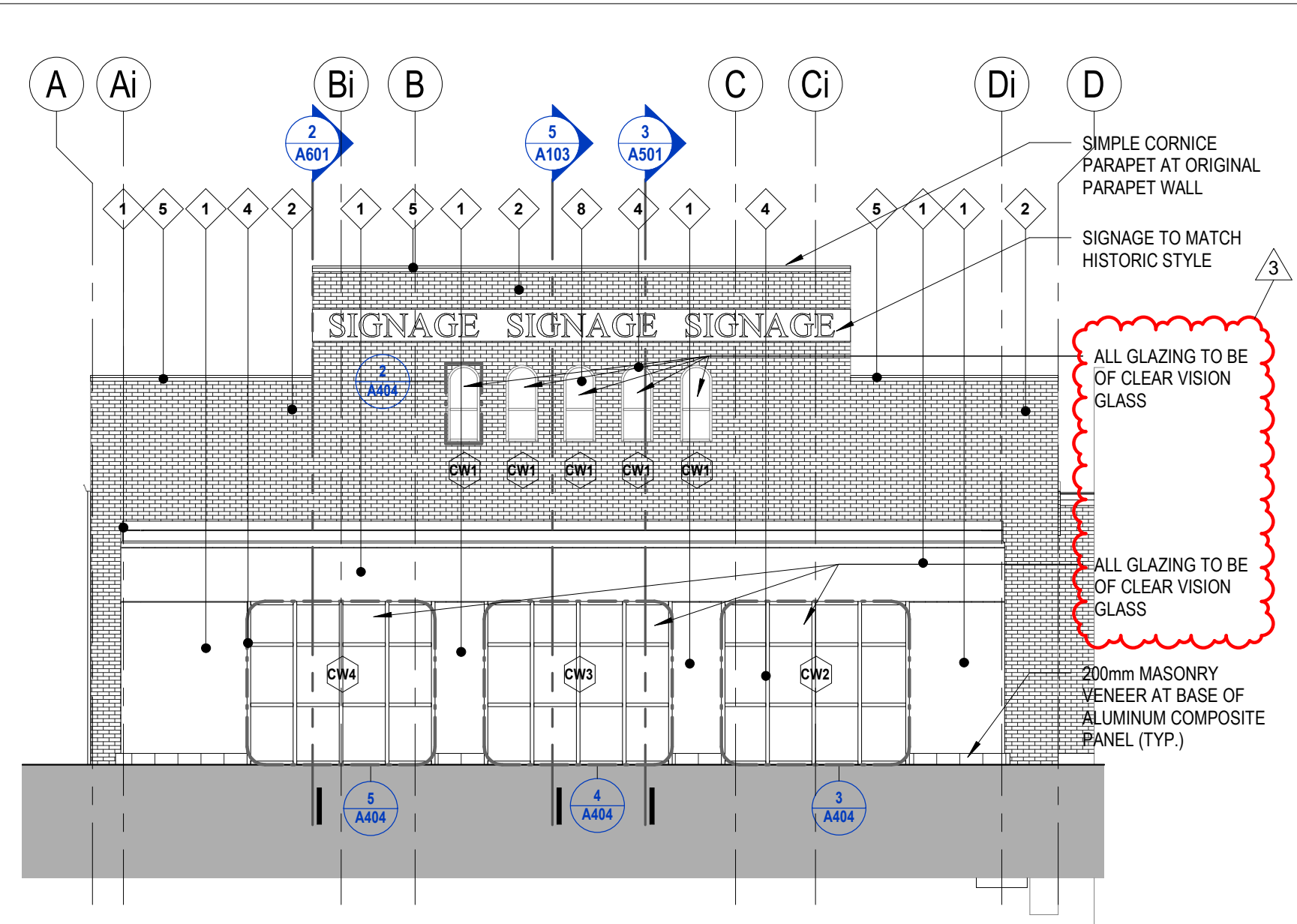
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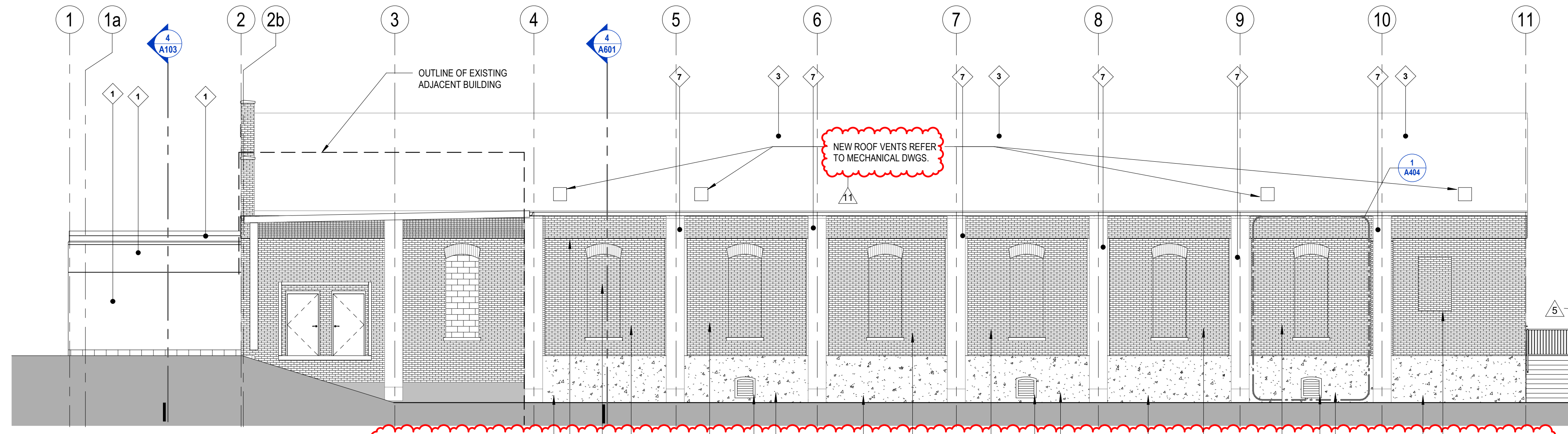
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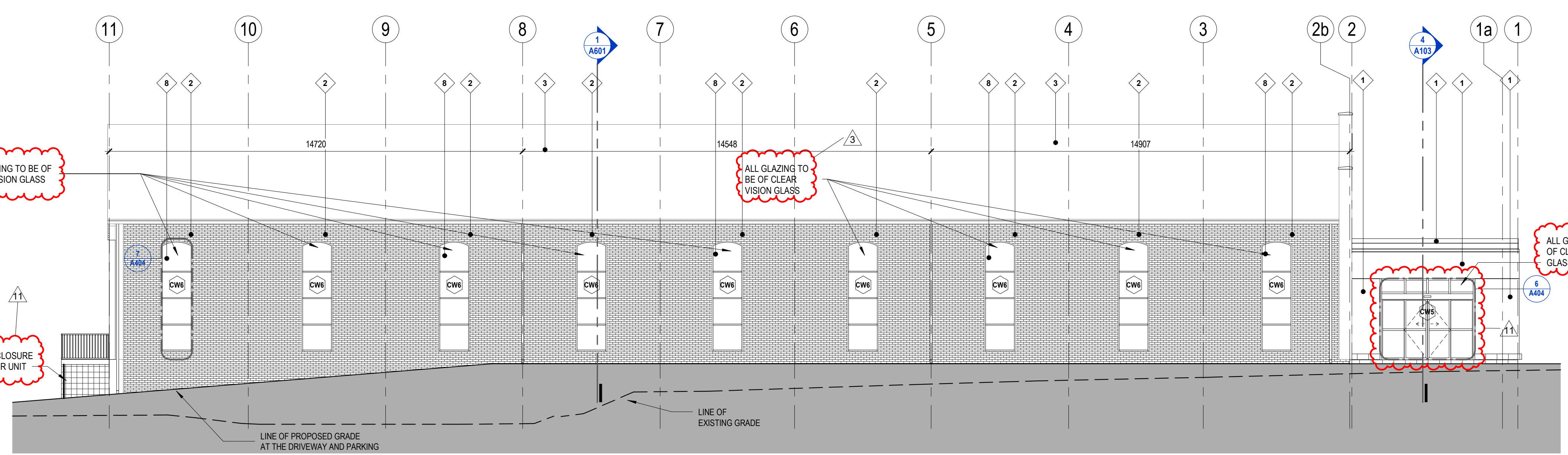
1 NORTH ELEVATION - NEW
SCALE: 1:100



2 SOUTH ELEVATION - NEW
SCALE: 1:100



3 EAST ELEVATION - NEW
SCALE: 1:100



4 WEST ELEVATION - NEW
SCALE: 1:100

MATERIAL LEGEND	
1	AL. COMP. PANELS
2	REMOVE STUCCO AND REPAIR BRICK BEHIND
3	ROOF
4	ALUMINUM STORE FRONT
5	COPING
6	STAIR
7	BUTTRESS TO BE PRESERVED
8	CLEAR VISION GLAZING
9	BRICK - SEE RESTORATION NOTES
10	CONCRETE BLOCK

* ALL GLAZING TO BE OF CLEAR VISION GLASS

NOTE:
SECTIONS AND COLOUR SAMPLES OF ALUMINUM COMPOSITE PANELS, WINDOWS AND STOREFRONT FRAMES MUST BE REVIEWED, APPROVED AND VERIFIED BY THE ARCHITECT PRIOR TO INSTALLATION.

BRICK RESTORATION NOTES:

- REMOVE EIFS SYSTEM FROM THE EXISTING BRICK WALLS.
- REPLACE ALL MODERN MASONRY UNITS. INSPECT EACH EXISTING CLAY BRICK ON THE HERITAGE WALLS. ON WALL AREAS WITH SPALLING OR FAILED BRICKS DISMANTLE AND REBUILD EXTERIOR WYTHE. WORKING SECTIONS SIZES TO BE DETERMINED ENSURING THE STRUCTURAL INTEGRITY OF THE WALLS (UP TO 15' X 15'). REPLACE ALL CRITICALLY DETERIORATED MASONRY UNITS. REPLACEMENT MASONRY UNITS TO MATCH IN SIZE, COLOUR AND TEXTURE THE EXISTING HERITAGE BRICK (I.E. CLAY BRICK). REUSE ANY BRICK SPALLING AT ITS EXTERIOR FACE, AFTER MAKING SURE THAT MATERIAL INTEGRITY IS NOT COMPROMISED. CLEAN THEM AND TURN/INVERT DURING REBUILDING. DAMPEN UNITS AND CAVITIES IMMEDIATELY PRIOR TO INSTALLATION MATCHING THE EXISTING BOND PATTERN AND COURSING. REBUILD TO FOLLOW THE EXISTING COMMON BOND PATTERN. ENSURE THAT REMAINING ORIGINAL BRICK, INVERTED ORIGINAL BRICK AND NEW REPLACEMENT BRICK UNITS ARE REBUILT IN A WAY THAT IS EVENLY BLENDED AND WOULD RESULT IN COHESIVE AND BALANCED END APPEARANCE. SAMPLES MUST BE PRESENTED APPROVED AND VERIFIED BY THE HERITAGE PLANNER AND SENIOR URBAN DESIGNER PRIOR TO INSTALLATION.
- REMOVE ANY MODERN CEMENTITIOUS MORTARS.
- PREPARE JOINT BY REMOVING DETERIORATED MORTAR. RAKING OUT PROCEDURE:
- SAWCUT ALONG CENTER OF JOINT, TO A DEPTH OF MAX 20MM.
- RAKE OUT EXISTING MORTAR SQUARE TO BRICK.
- REMOVE ALL RESIDUE FROM STONE FACE TO ALLOW NEW MORTAR TO BOND TO BRICK.
- DO NOT CHIP OR OTHERWISE DAMAGE EDGE OF MASONRY UNITS DURING REMOVALS.
- GRINDERS OR SAW BLADES MUST NOT TOUCH MASONRY UNITS FACE. CUT CENTRE OF JOINT CAREFULLY, WITHOUT MARKING BRICK. REMOVE REMAINDER OF MORTAR USING HAND TOOLS.
- ALL CRACKED MORTAR, MORTAR DEBONDED FROM BRICK, OR DETERIORATED MORTAR OR PORTLAND MORTAR MUST BE REMOVED FROM JOINT PRIOR TO REPOINTING, FOR FULL DEPTH OF BRICK IF NECESSARY.
- REMOVE ALL PORTLAND CEMENT BASED MORTARS FROM JOINTS.
- REMOVE ALL CAULKING, WHERE PRESENT IN JOINTS.
- CLEAN OUT JOINT USING COMPRESSED AIR, OR WASH OUT JOINTS USING PRESSURIZED WATER, PRIOR TO REPOINTING.
- WHERE BRICK BECOMES LOOSE, REMOVE AND RESET BRICK.
- REPOINT ONLY WHEN THE WALL TEMPERATURE IS BETWEEN 5°C (40°F) - 25°C (77°F) TO AVOID EXCESSIVE EVAPORATION OF WATER FROM THE MORTAR OR FREEZING.
- PREPARE MORTAR PROPORTION BY MEASURING DRY INGREDIENTS BY VOLUME AND MIXING THOROUGHLY BEFORE ADDING WATER. USE WITHIN 30 MINUTES. PROPORTIONS TO BE TRADITIONAL TYPE O MEANING PROPORTION OF MORTAR VOLUMES OF CEMENT: HYDRATED LIME OR LIME PUTTY: SAND IS TO BE 1:2:8. PRE-MIXED TYPE O MORTAR MAY ALSO BE PERMITTED WITH MATCHING COLOUR, FOLLOWING MANUFACTURER'S SPECIFICATIONS.
- CONDUCT TEST PANEL AT AN INCONSPICUOUS SPOT (3' BY 3') TO BE APPROVED BY ARCHITECT.
- FILL JOINT WITH COMPACTED SUCCESSIVE LAYERS (1/4" OR 1CM) TO CONTROL RATE OF DRYING AND STRENGTHEN BOND. FINISH WITH A CONCAVE JOINT STYLE, OR AN ALTERNATE IF IT CAN BE DEMONSTRATED TO BE THE ORIGINAL POINTING STYLE.
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- CLEAN EXCESS MORTAR WITH NATURAL BRISTLE NYLON BRUSH. NEVER USE METAL BRISTLE BRUSHES ON HISTORIC MASONRY. THE MORTAR ON FRESHLY REPOINTED WALL SHOULD BE FULLY HARDENED BEFORE CLEANING. EFFLORESCENCE MAY BE REMOVED BY BRUSHING WITH STIFF-BRISTLE BRUSH (NOT METAL).
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- PROTECT WORK FROM RAIN AND FREEZING FOR THE FIRST 72 HOURS OR IN HOT WEATHER, PROTECT FROM SUN AND WIND TO AVOID RAPID WATER EVAPORATION FROM MORTAR.
- APPLICATION OF SEALANTS ARE NOT PERMITTED.
- WHERE NEEDED, APPLY LOCALLY "KING BIOLOGICAL SOLUTION" FOR HERITAGE SENSITIVE CLEANING. FOLLOW MANUFACTURER'S SPECIFICATIONS.
- CLEANING IS TO BE CONDUCTED IN THE GENTLEST MEANS POSSIBLE. START WITH LOW PRESSURE, PROGRESSING AS NEEDED TO SLIGHTLY HIGHER PRESSURE NO HIGHER THAN 200 PSI.

NEW WALL SECTIONS NOTES:
- REUSE EXISTING BRICK AND STONE SILLS FOR EXTERIOR LAYER OF VENEER MASONRY WALL.
- USE BRICKS FROM THE EXTERIOR WYTHE OF THE ORIGINAL WALL ONLY.
- FOLLOW BRICK RESTORATION NOTES FOR MORTAR AND JOINT STYLE.
- REPLICATE ALL BRICK FEATURES SUCH AS COMMON BOND, TRIPLE ROW ROWLOCK BRICK LINTELS, SHADOWLINE, STONE SILLS, AS PER EXISTING PHOTO DOCUMENTATION A402 AND ENLARGED EASE ELEVATION BRICK PATTERN FROM A404.
- AT EXISTING WINDOWS REPLACE CONCRETE BLOCK WITH BRICK (NOT TOOTHED-IN), RECESSED BY 13mm TO SHOW THE TRACES OF ORIGINAL WINDOWS.

~~REPAIR BRICK RETAINING ALL BRICK PATTERN/DETAILS. REPAIR SPALLED AND MISSING BRICK. REPOINT AS NECESSARY.~~
~~FORMER WINDOW OPENINGS. CONCRETE BLOCK INFILL TO BE CLEANED AND PAINTED TO MATCH EXISTING RED BRICK.~~
~~RESTORE TRIPLE ROW ROWLOCK BRICK LINTEL. FOLLOW BRICK RESTORATION NOTES.~~
~~CLEAN AND PRESERVE STONE.~~

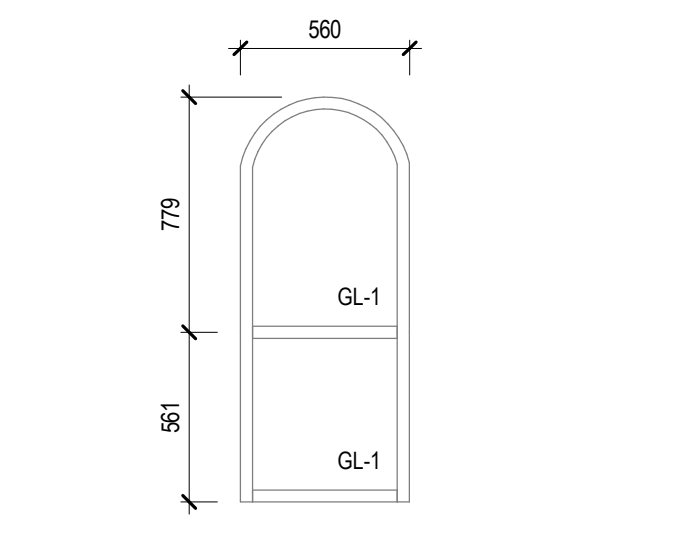
No.	Revision Schedule	Description	Date
3	Rev 3 - Ph2 - Draft SPC Approval Report		2021.03.25
5	Comments	Draft SPC Approval Report	2021.04.14
7	Comments	Draft SPC Approval Report	2021.05.17
9	Comments	Rev 7 - Ph2 - Draft SPC Approval Report	2021.05.28
11	Rev 11 - Coordination	Rev 9 - Heritage Notes	2021.09.23
12	Rev 12 - East Walls Structural Repair	Rev 11 - Coordination	2021.10.26

NEW EXTERIOR ELEVATIONS

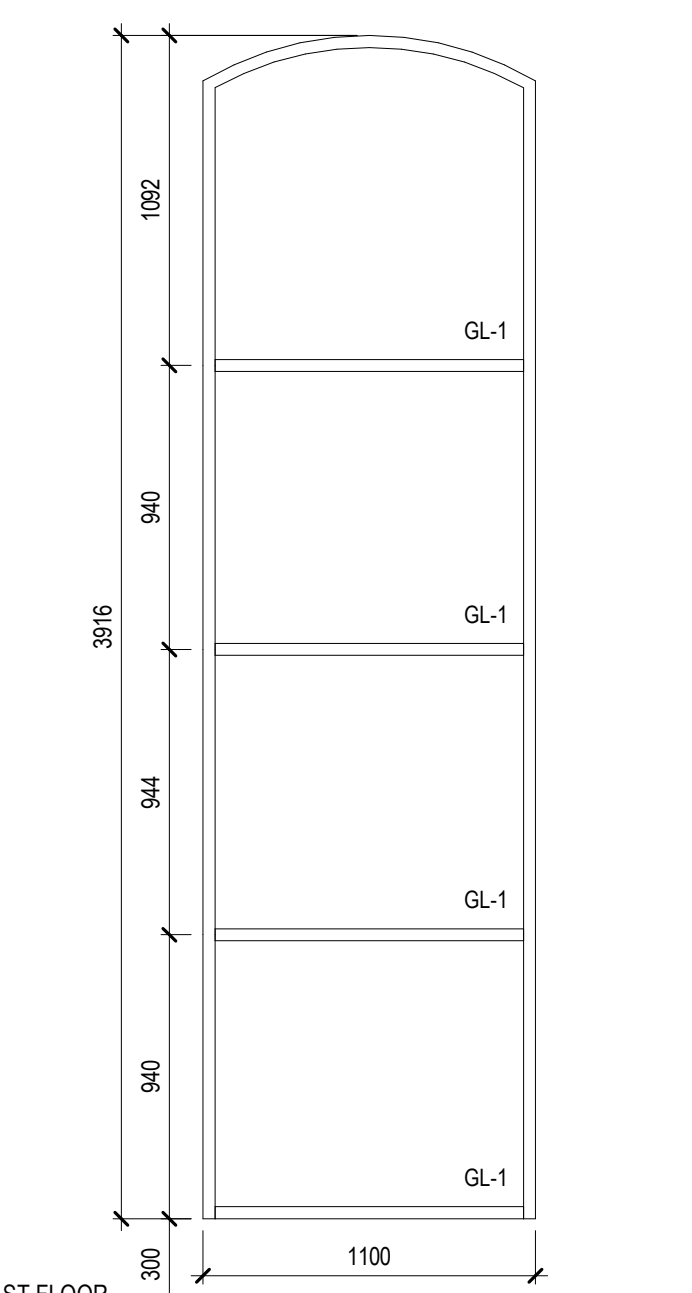
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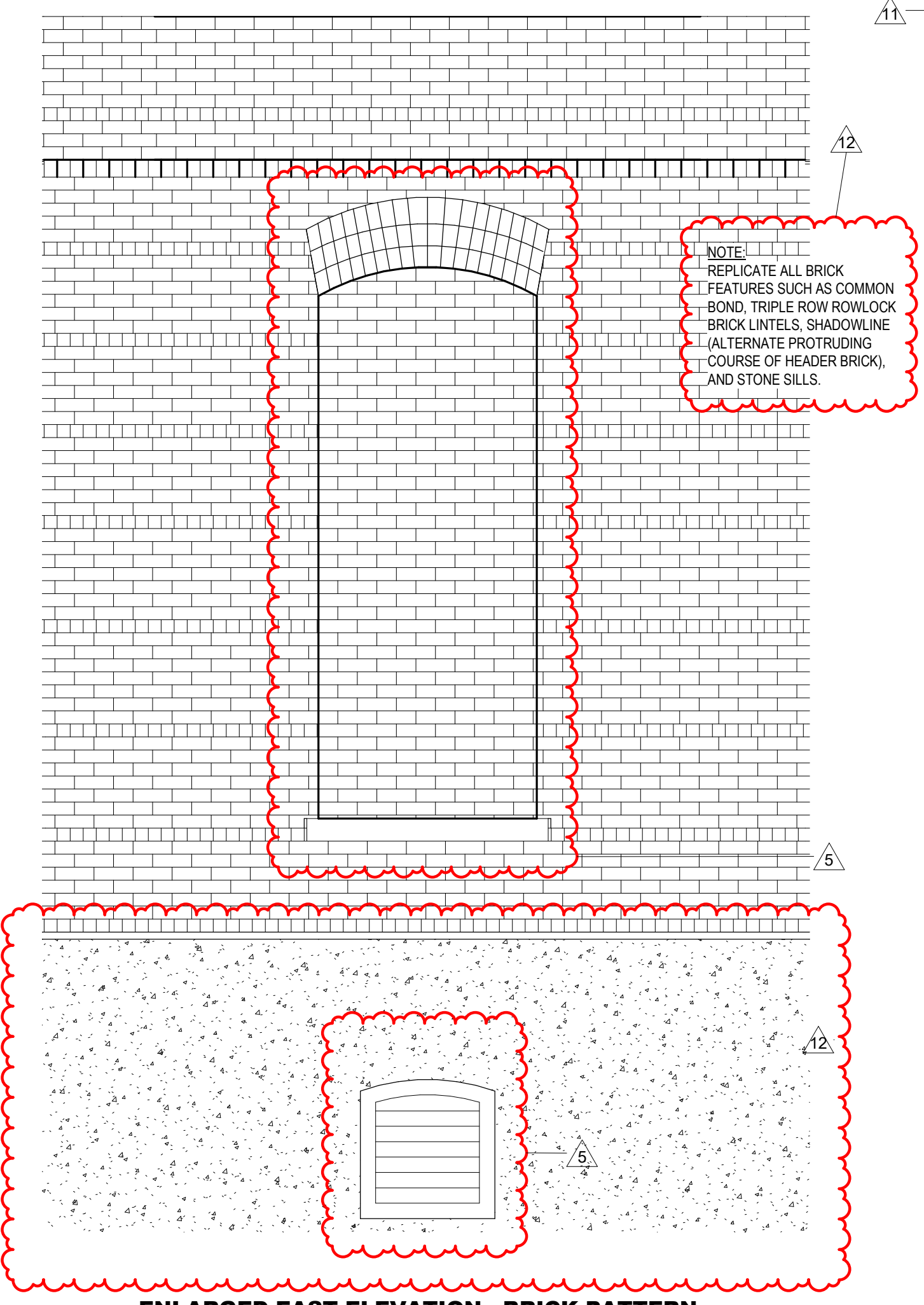
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CW1 - HERITAGE ARCHED WINDOW
SCALE: 1:25

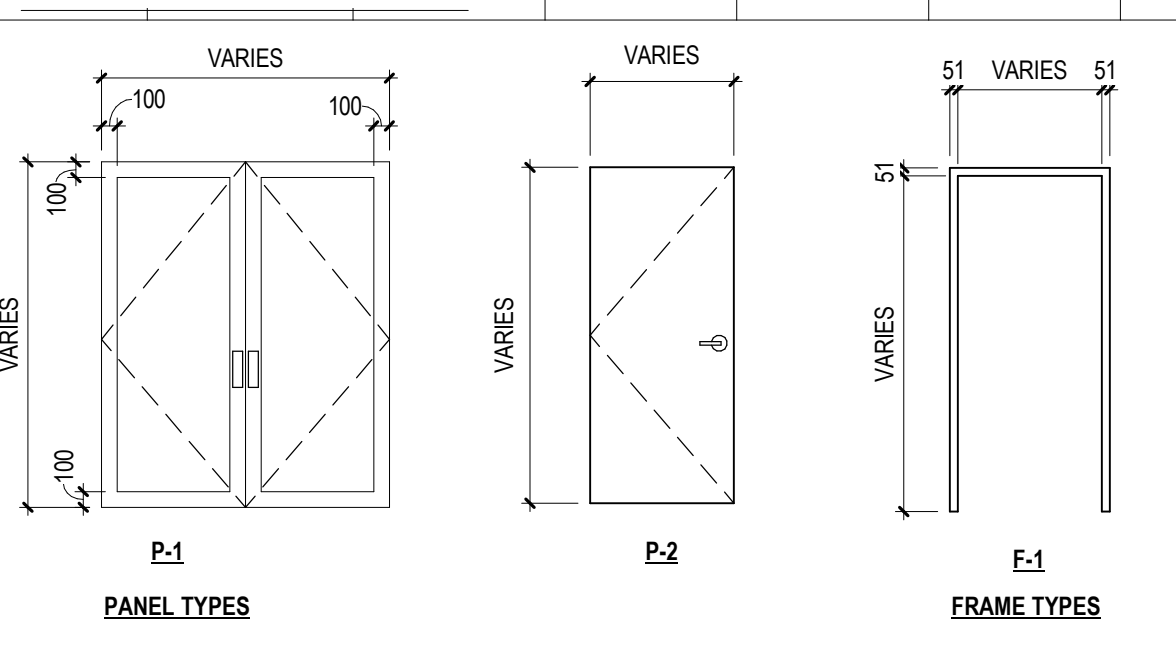


CW6 - HERITAGE WINDOW
SCALE: 1:25

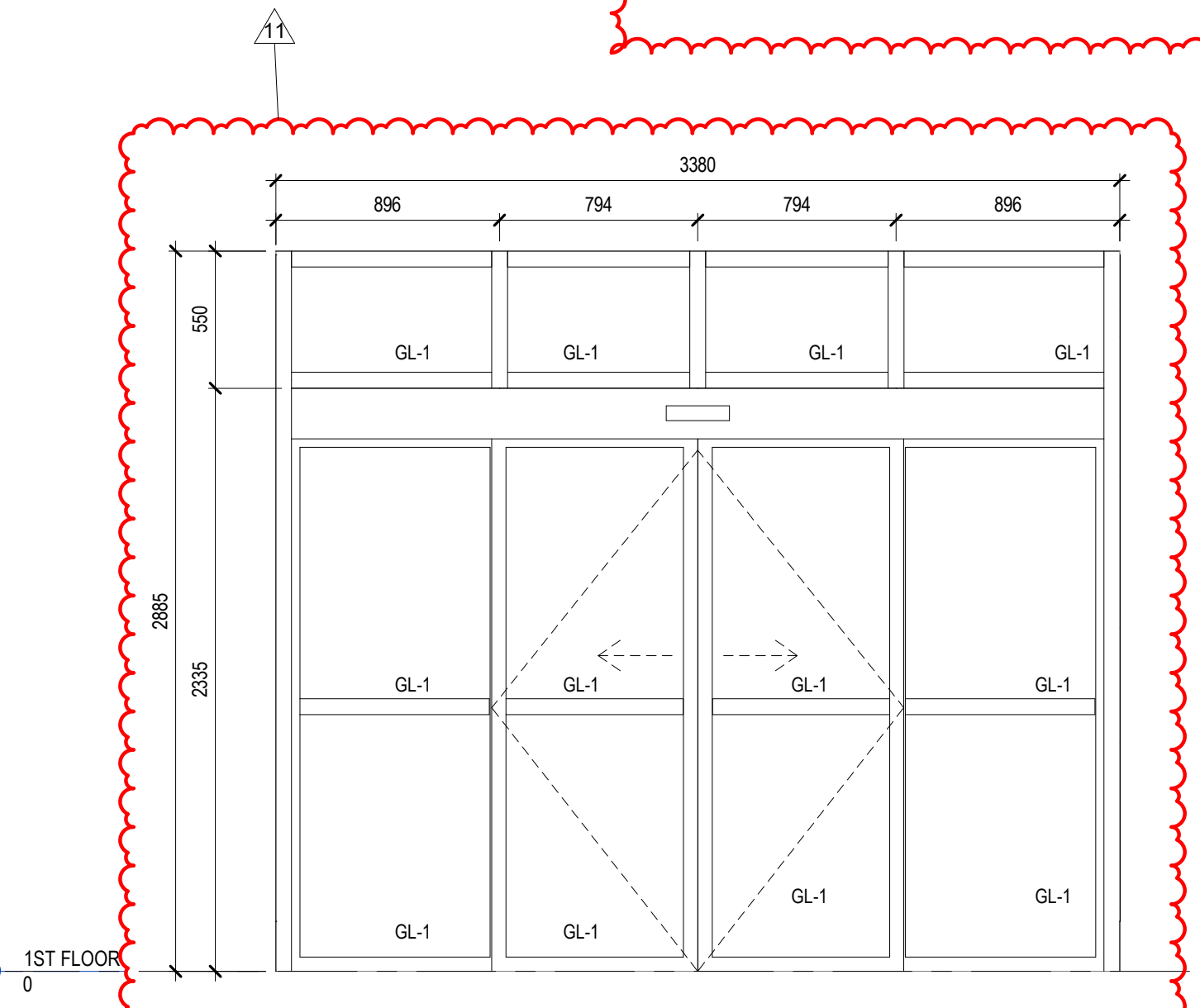


ENLARGED EAST ELEVATION - BRICK PATTERN
SCALE: 1:25

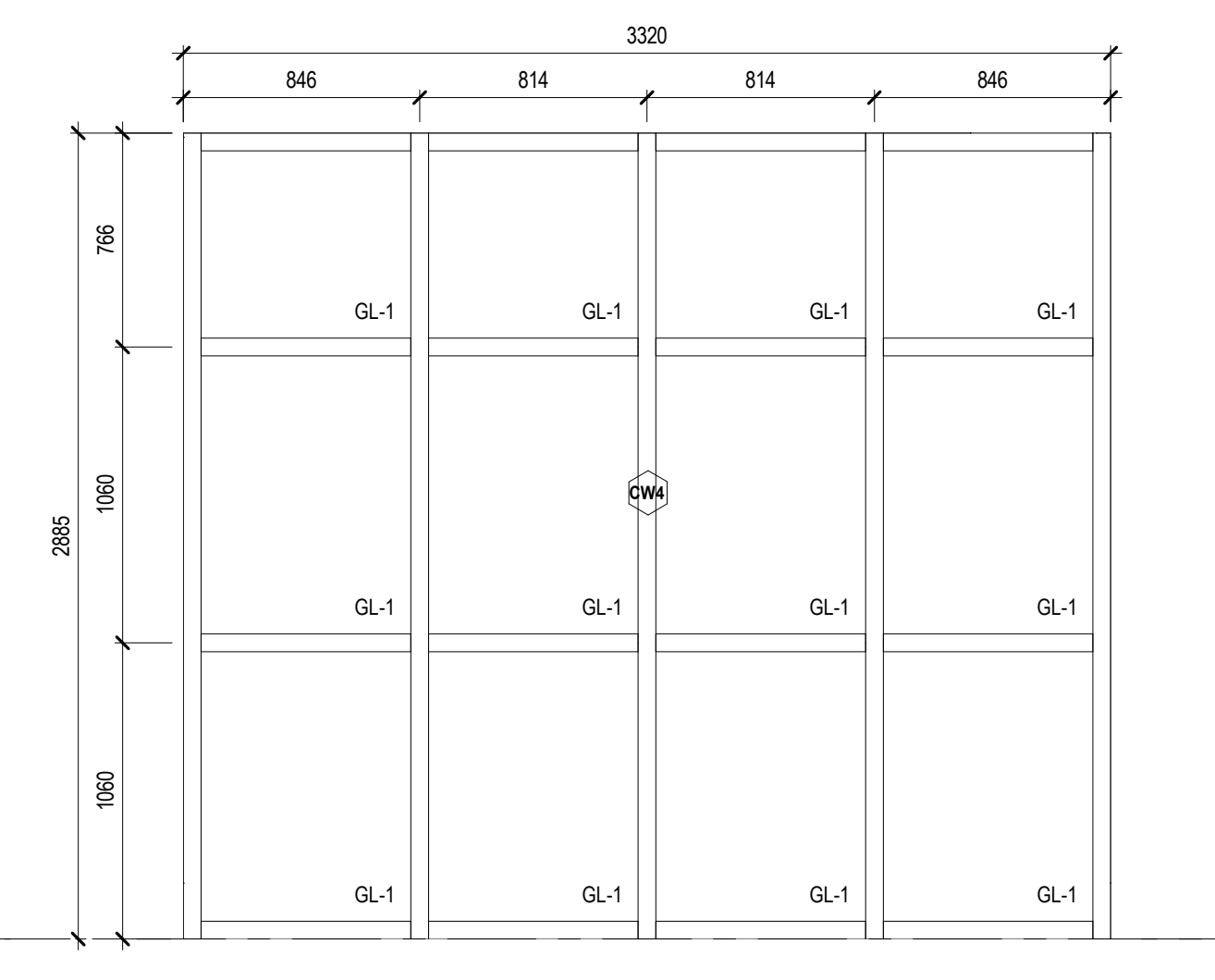
DOOR SCHEDULE		PANEL				FRAME			GLAZING		CLOSER		EXIT DEVICE		F.R.R.		HARDWARE		REMARKS		
NO.	TYPE	QTY.	WIDTH	HEIGHT	MAT.	FINISH	TYPE	MAT.	FINISH												
D1	P1	1	1524	2111	CL, TP, IN	CL		AL	AN	CL, TP, IN	1										
D2	P2	1	914	2134	HM	PAINT	F1	HM	PAINT												
D4	P2	2	1067	2134	HM	PAINT	F1	HM	PAINT											ELECTRIFIED DOOR CLOSER/HOLDER TO AUTOMATICALLY CLOSE THE DOOR IN CASE OF SMOKE OR FIRE	
																					ELECTRIFIED DOOR CLOSER/HOLDER TO AUTOMATICALLY CLOSE THE DOOR IN CASE OF SMOKE OR FIRE



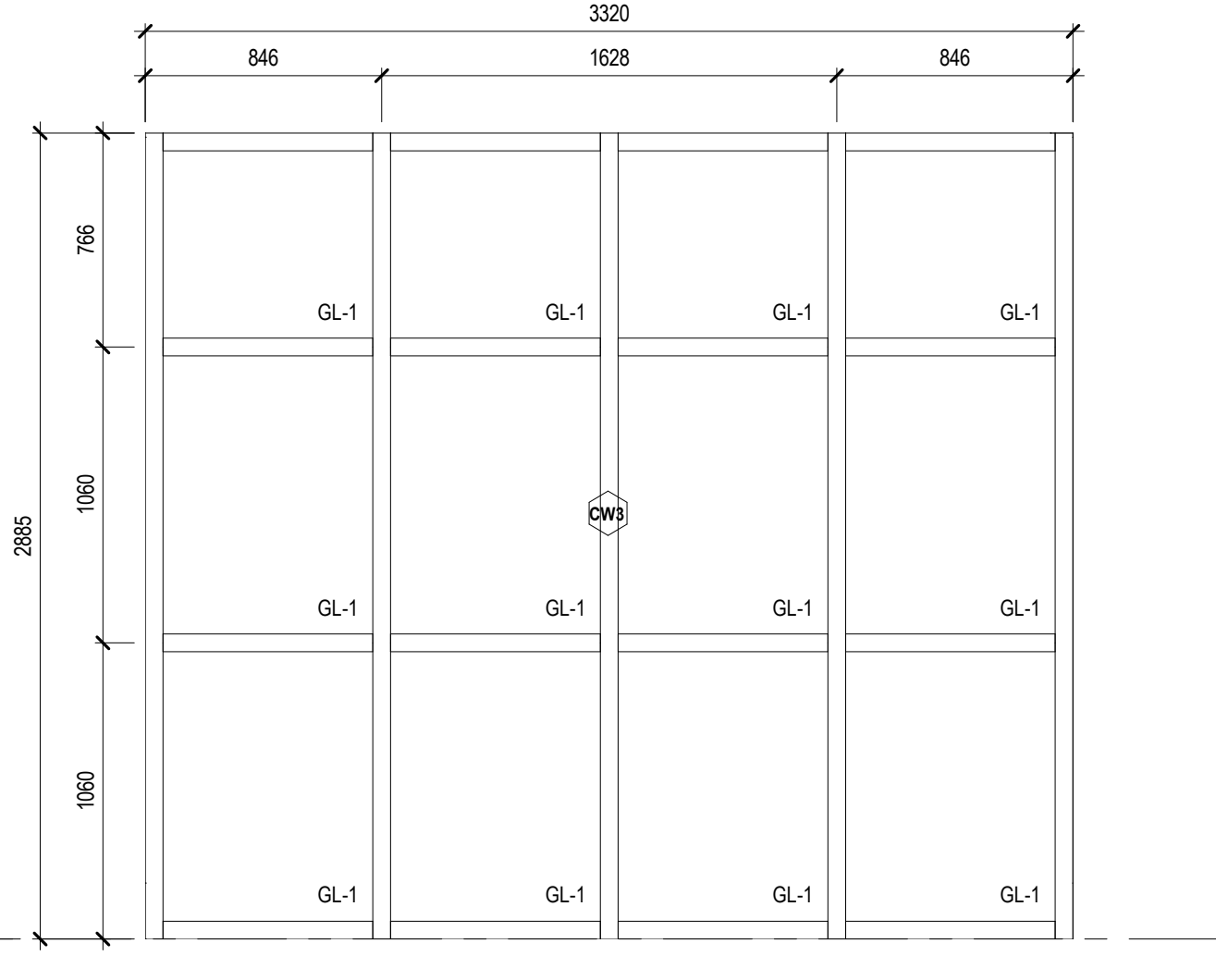
- MATERIAL LEGEND:**
- ADO AUTOMATIC DOOR OPERATOR
 - AL ALUMINUM
 - AN ANODIZED
 - CL CLEAR GLASS
 - CR CARD READER
 - EX EXISTING
 - HM HOLLOW METAL
 - IM INSULATED METAL
 - IG INSULATED GLASS
 - OH OVERHEAD
 - PT PAINT
 - SCW SOLID CORE WOOD
 - ST STAIN
 - TP TEMPERED GLASS
 - TG TINTED GLASS
 - WI WIRED GLASS
 - WD WOOD
- GLAZING TYPES**
- GL-1 - CLEAR VISION GLASS
- DOOR NOTES:**
- ALL GLAZING IN DOORS & SIDELIGHTS SHALL BE TEMPERED.
 - PROVIDE WEATHERSTRIPPING FOR ALL EXTERIOR DOORS.
 - REFER TO MECHANICAL DRAWINGS FOR ALL DOOR LOUVRE SIZES AND TYPES - LOUVRE SHALL BE PRE-FINISHED w/ COLOUR TO MATCH DOOR AND / OR FRAME.
 - ALL DOOR HARDWARE TO BE REVIEWED BY ARCHITECT FOR APPROVAL.
 - DOOR FRAME INFORMATION INDICATED WITH * ON THE DOOR SCHEDULE REQUIRES COORDINATION WITH THE WINDOWTYPE LEGEND.
 - REFER TO SCHEDULE FOR DIMENSIONS INDICATED AS "VARIES"
 - REFURBISH EXISTING DOORS AS NOTED IN SCHEDULE:
 - A) REMOVE EXISTING DOOR HARDWARE AND REPAIR HOLES AND SCRATCHES, SAND, CLEAN, PAINT EXISTING WOOD DOORS.
 - B) REMOVE EXISTING HINGES FROM FRAMES, CLEAN AND PAINT EXISTING FRAMES.



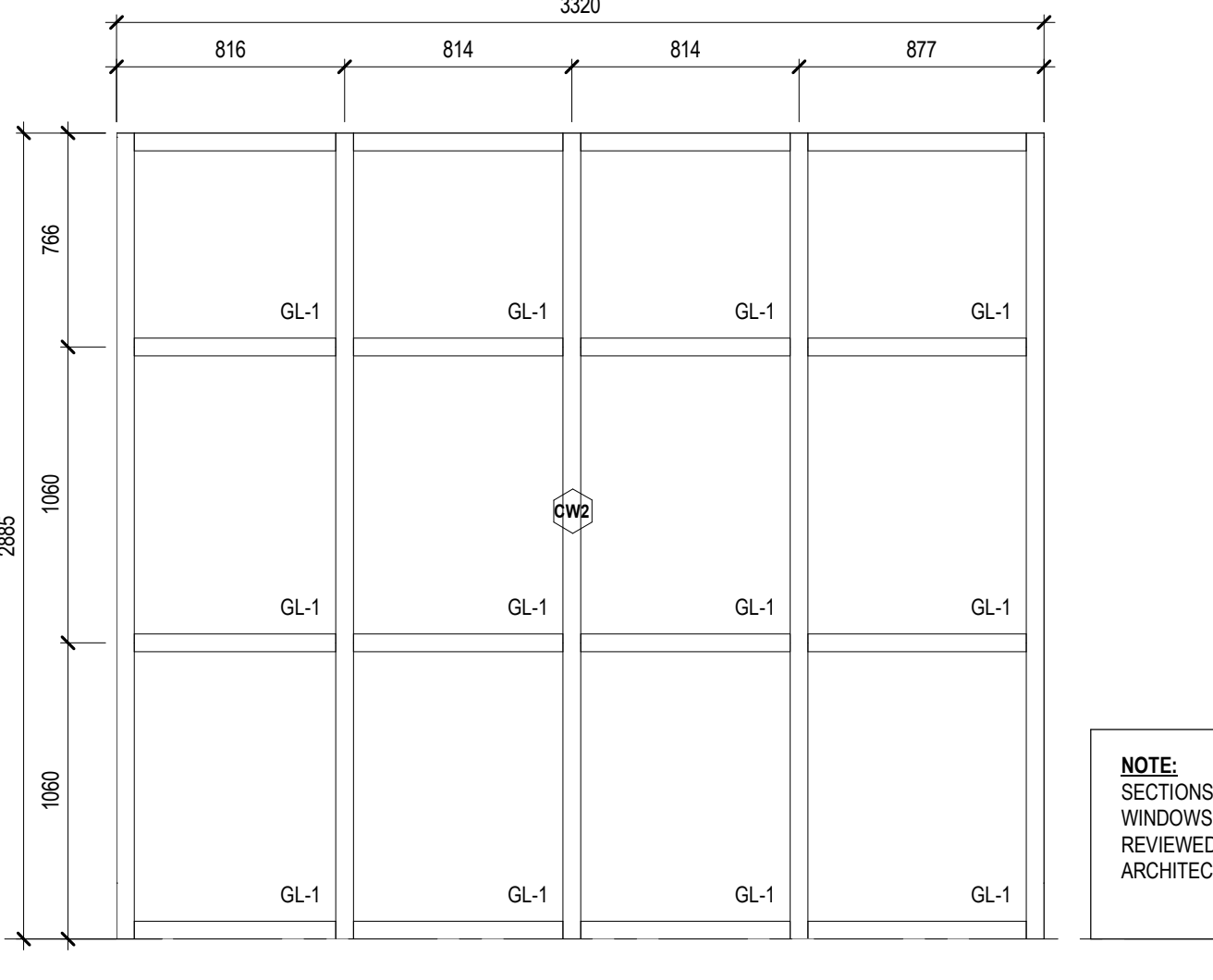
CW5 - STOREFRONT
SCALE: 1:25



CW4 - STOREFRONT
SCALE: 1:25



CW3 - STOREFRONT
SCALE: 1:25

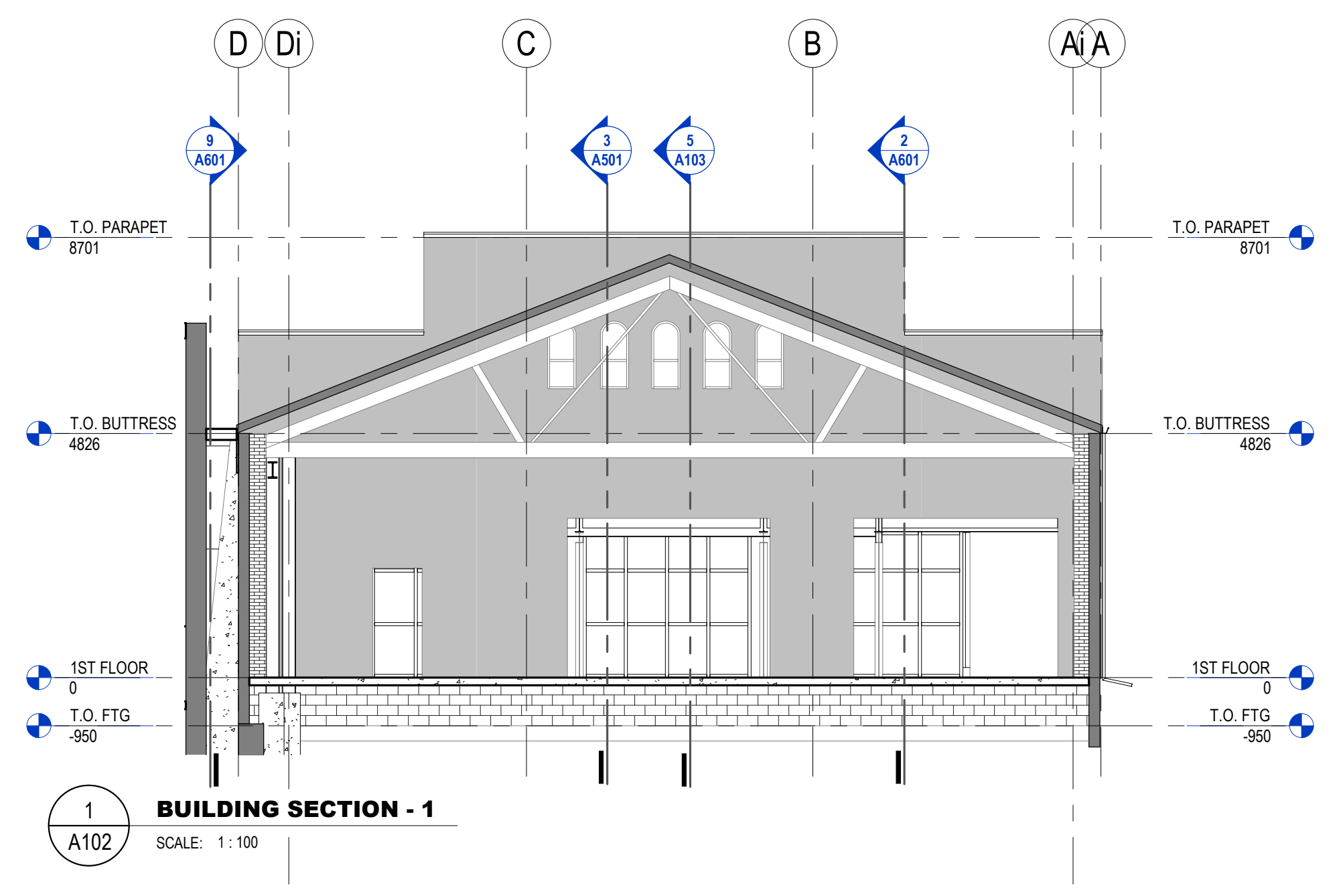


CW2 - STOREFRONT
SCALE: 1:25

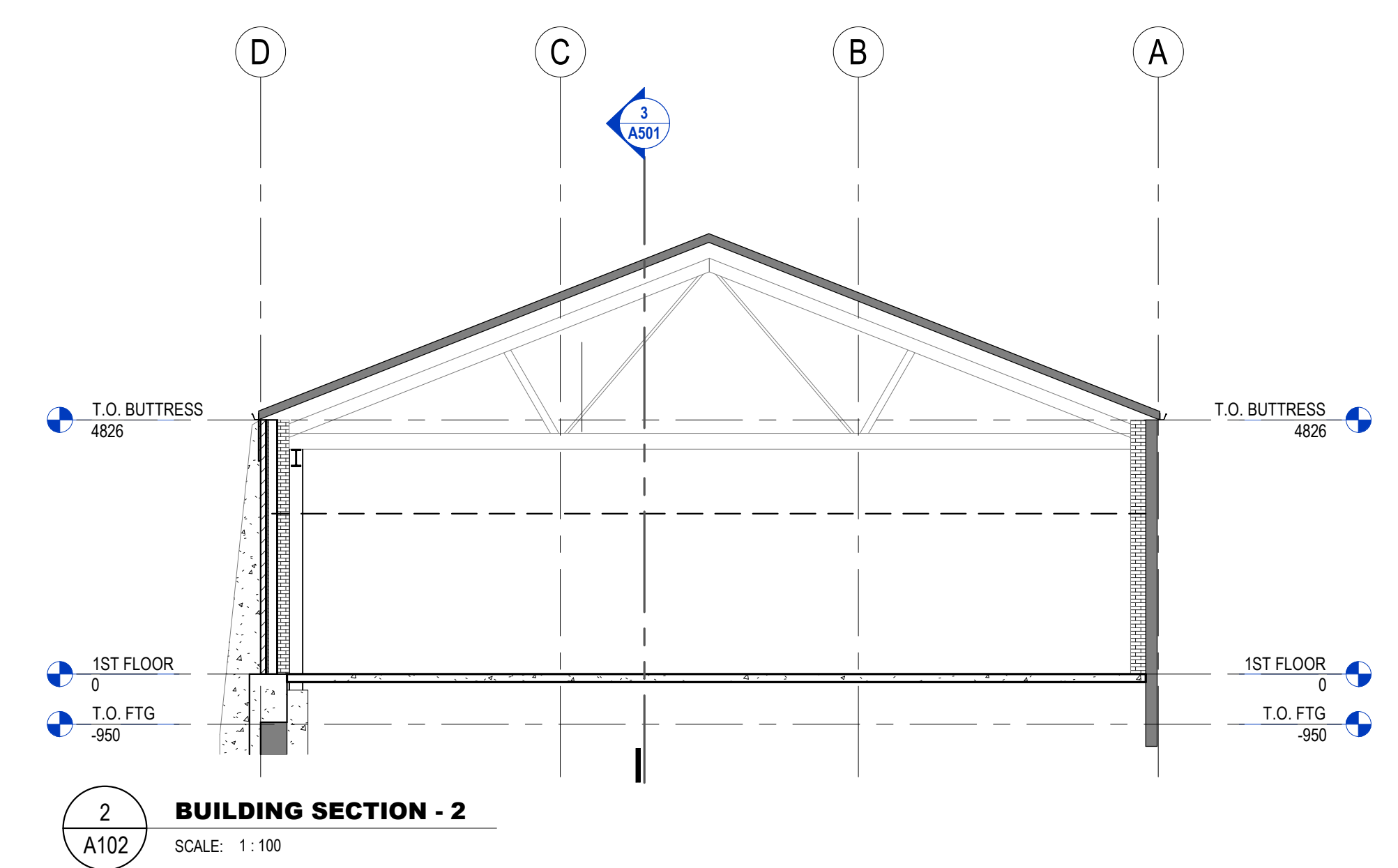
NOTE: SECTIONS AND COLOUR SAMPLES OF WINDOWS AND STOREFRONT FRAMES MUST BE REVIEWED, APPROVED AND VERIFIED BY THE ARCHITECT PRIOR TO INSTALLATION.

No.	Revision Schedule	Description	Date
5	Rev 5 - Ph2 - Draft SPC Approval Report		2021.04.14
8	Rev 8 - Door Schedule		2021.05.17
9	Rev 9 - Change Notes		2021.05.28
11	Rev 11 - Change Notes		2021.09.23
12	Rev 12 - East Walls Structural Repair		2021.10.26

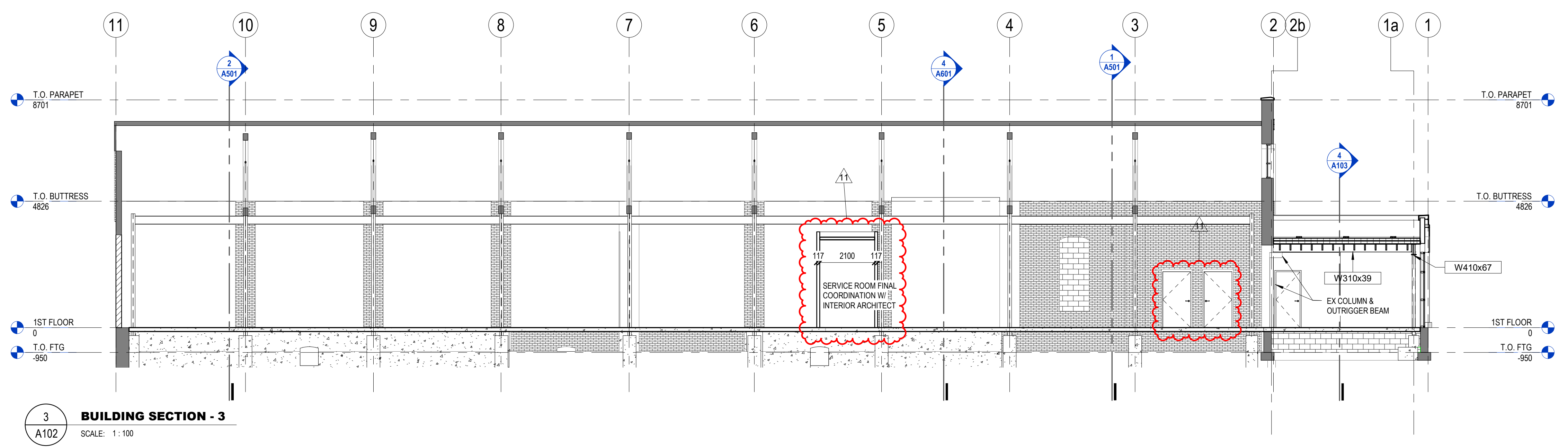
C:\Users\designer11\Documents\1835 ARCH_Bldg B_vaeHCBGN.rvt 11/11/2021 10:35:46 AM



1 BUILDING SECTION - 1
A102 SCALE: 1:100



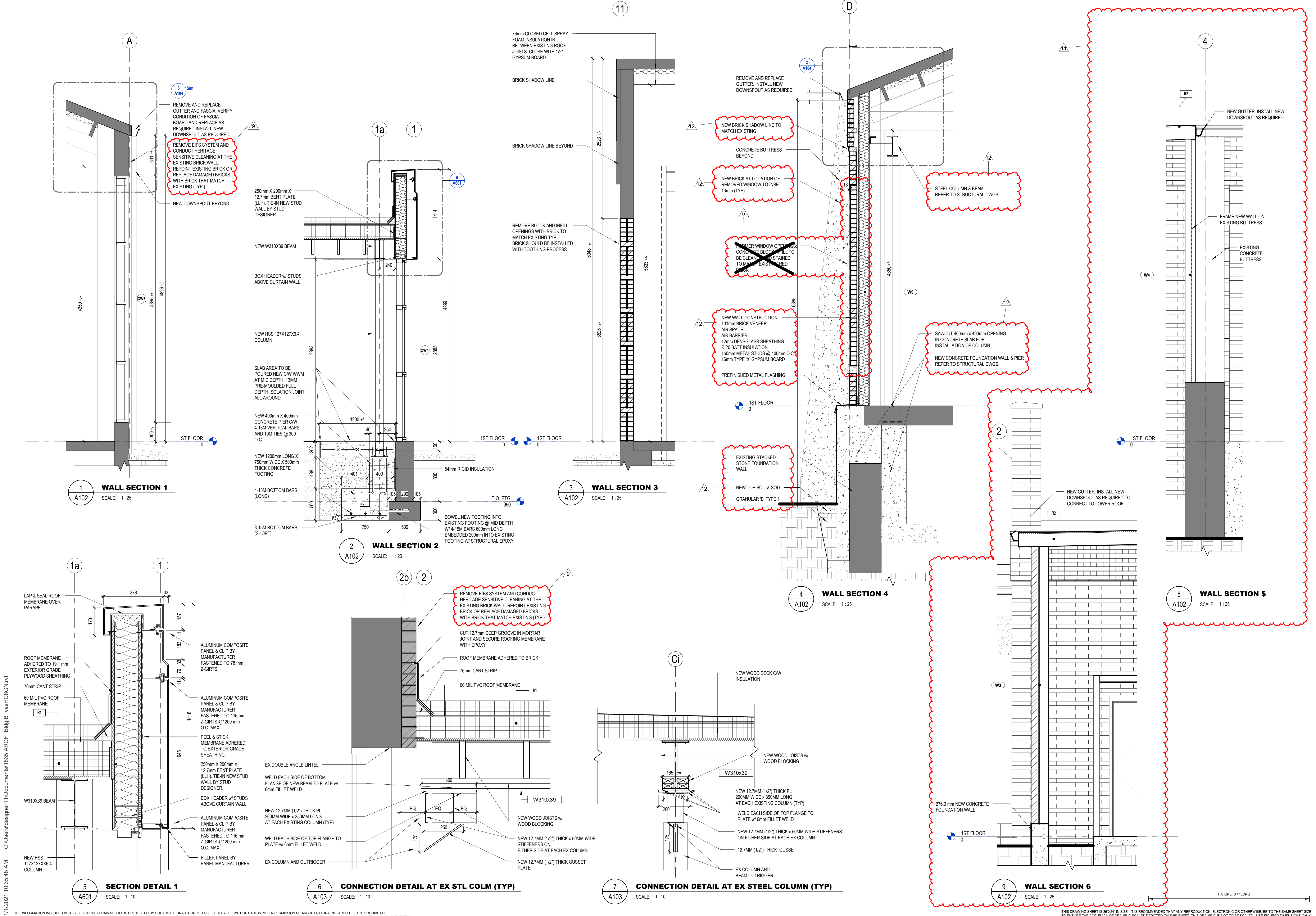
2 BUILDING SECTION - 2
A102 SCALE: 1:100



3 BUILDING SECTION - 3
A102 SCALE: 1:100

THIS LINE IS 4' LONG

C:\Users\designer11\Documents\1835_ARCH_Bldg_B_vae\FCSGN.rvt



11/1/2021 10:35:48 AM C:\Users\designer11\Documents\1835_ARCH_Bldg_B_vasfCBGN.rvt

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THIS DRAWING SHEET IS 36"X48" IN SIZE. IT IS RECOMMENDED THAT ANY REPRODUCTION, ELECTRONIC OR OTHERWISE, BE TO THE SAME SHEET SIZE TO ENSURE THE ACCURACY OF DRAWING SCALES DEPICTED ON THIS SHEET. THIS DRAWING IS NOT TO BE SCALED. USE FIGURED DIMENSIONS ONLY.

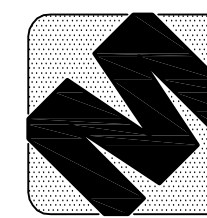
Issued For: (YMMMO)
 PERMIT-SHELL: 21.01.05
 PERMIT UPDATE & CONSTRUCTION: 21.09.23

No.	Revision Schedule	Description	Date
5	Rev 5 - Ph2 - Draft SPC Approval Report		2021.04.14
9	Rev 9 - Heritage Notes		2021.05.28
11	Rev 11 - Coordination		2021.09.23
12	Rev 12 - East Walls Structural Repair		2021.10.26

WALL SECTIONS & DETAILS

AIPL CANADA
Mixed-Use Development: BLD B
 1100 & 1200-1220 University Ave. W. Windsor, ON

Drawn By: Ai
 Checked By: Ai
 Project No: 1835
 Sheet No: A601

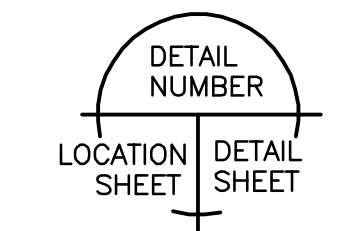


d.c. mccluskey engineering ltd.
200-545 wainfleet street east, windsor, ontario n9a 1n6 tel (519) 977 6800



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DATE (dd/mm/yy)	ISSUED FOR
08/10/21	TENDER
25/10/21	REVISED FOR TENDER
27/10/21	BUILDING PERMIT

PROJECT
MIXED-USE DEVELOPMENT

1200 UNIVERSITY AVE WEST
WINDSOR, ONTARIO

CLIENT
AIPL CANADA

DRAWING TITLE
EX. FLOOR PLAN

DATE :	AUG 2021
SCALE :	AS NOTED
DRAWN BY :	TM/JLD
CHECKED BY :	MEM
PROJECT FILE NO.	M21-186
DRAWING NO.	

S1.1

CONCRETE

ALL CONCRETE TO HAVE THE FOLLOWING STRENGTH AT 28 DAYS AND BE AIR ENTRAINED 5% MINIMUM TO 8% MAXIMUM UNLESS NOTED OTHERWISE:
FOOTINGS -20 MPa (HIGH EARLY) -NOT AIR ENTRAINED
PIERS & FOUNDATION WALLS -30 MPa (HIGH EARLY)

CLEAR CONCRETE COVER TO REBAR TO BE 3" FOR CONCRETE CAST AGAINST THE GROUND AND 2" IN ALL OTHER CASES.

CONCRETE TO BE MOIST CURED FOR 72 HOURS AFTER FINISHING.
TAKE ALL COLD OR HOT WEATHER PRECAUTIONS AS REQUIRED.

REINFORCING STEEL TO BE DEFORMED BARS WITH A YIELD STRENGTH OF 400 MPa IN ACCORDANCE WITH THE LATEST EDITION OF CSA G30.18-M92 (R2019).

ALL SLAB REINFORCING STEEL SHALL HAVE THE FOLLOWING MIN. SPLICES UNLESS NOTED OTHERWISE:
10M - 18"
15M - 24"
20M - 30"
25M - 40"

DO NOT TACK WELD REBAR.
BEFORE CONCRETE IS PLACED, THE CONTRACTOR SHALL CO-ORDINATE AND CHECK WITH ALL TRADES TO ENSURE THE PROPER PLACEMENT OF ALL SLEEVES, INSERTS, CURBS, ETC. RELATING TO THE WORK AS SHOWN ON THE DRAWINGS.

ALL EXTERIOR EXPOSED CONCRETE SURFACES TO BE CURED WITH WHITE PIGMENTED CURING COMPOUND (SEAL-TIGHT WP-45 OR APPROXIMATELY EQUAL) APPLIED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.

ALL HORIZONTAL REINFORCING STEEL BARS IN CONCRETE WALLS AND GRADE BEAMS SHALL BE CONTINUOUS THROUGH PIERS. BEND AT ALL CORNERS AND INTERSECTIONS OR PROVIDE SEPARATE CORNER BARS OF THE SAME SIZES AND SPACING. LAP ALL BARS WITH 24 BAR DIAMETER OR 12" WHICHEVER IS GREATER.

ALL EXPOSED EDGES OF BEAMS, WALLS, PIERS AND COLUMNS SHALL HAVE 3/4" CHAMFER.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS, SUCH AS UNDERGROUND AND/OR ABOVEGROUND UTILITIES, SEWERS, CAISSONS ETC. ON SITE. ALL PRECAUTIONS SHALL BE TAKEN TO PREVENT ANY DAMAGE. CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

FOUNDATIONS
FOUNDATION IS DESIGNED BASED ON AN ALLOWABLE BEARING PRESSURE OF 2000 PSF. IF ACTUAL SOIL CONDITIONS CANNOT SUPPORT THIS LOAD, CONTACT ENGINEER IMMEDIATELY.

INSTALL FOUNDATIONS ON UNDISTURBED SOIL AT THE ELEVATIONS NOTED. IF SOIL IS DISTURBED, IT SHALL BE REMOVED AND REPLACED WITH EITHER GRANULAR 'A' MATERIAL COMPACTED TO 100% SP100 OR LEAN CONCRETE (15 MPa).

DO NOT PLACE FOUNDATION CONCRETE UNTIL ENGINEER HAS INSPECTED FOUNDATION EXCAVATION.

ALL COLUMNS TO HAVE 1.1/2" HIGH STRENGTH, NON-SHRINK LEVELING GROUT UNDER BASE PLATES.

ALL PIER DOWELS TO HAVE 12" HOOK.

MASONRY
ALL MASONRY TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF CSA STANDARD A165.1-04 AND CSA A371-14 (R2019).

CONCRETE MASONRY UNITS TO BE MANUFACTURED TO C.S.A. A165.1-04 (BLOCK COMPRESSIVE STRENGTH TO BE 15MPa).

USE FACE SHELL MORTAR BED AND RUNNING BOND.
GROUT SOLID ALL CELLS CONTAINING REINFORCING STEEL AND ANCHORS.

GROUT COMPRESSIVE STRENGTH TO BE 20 MPa UNLESS OTHERWISE NOTED.
ALL JOINTS TO BE TOOLED TO A DENSE, SLIGHTLY CONCAVE SHADE.

MASONRY TO BE ANCHORED TO ALL STRUCTURAL STEEL BACK-UP AT 16" ON CENTRE VERTICALLY AND 32" ON CENTRE HORIZONTALLY UNLESS NOTED OTHERWISE.

BRICK MASONRY TO HAVE FERRO SLOTTED STUD TIES (TYPE 1) (OR APPROVED EQUAL) AT 16" O.C. VERTICALLY AND 32" HORIZONTALLY. INSTALL TIES AT 16" O.C. HORIZONTALLY WITHIN 5 FEET OF ALL BUILDING CORNERS.

ALL MASONRY CONNECTORS SHALL BE IN CONFORMANCE WITH CAN/CSA A370-14 (R2018).
GROUT TWO BLOCKS SOLID BELOW ALL BEAMS BEARING ON MASONRY FOR A WIDTH OF 16" MIN. ALL LINTELS AND BEAMS TO HAVE 8" MIN. BEARING ON MASONRY UNLESS NOTED OTHERWISE.

STRUCTURAL STEEL

THE ONTARIO BUILDING CODE 2012 AND CAN/C.S.A. S16-19 LATEST EDITION SHALL BE THE BASIS FOR DESIGN, FABRICATION AND ERECTION OF ALL WORK FOR THIS PROJECT.

ALL STRUCTURAL STEEL SHALL CONFORM TO CSA-G40.20-13/G40.21-13, (R2018) GRADE 355W.

UNLESS OTHERWISE NOTED ALL PRINCIPLE CONNECTIONS FOR STRUCTURAL JOINTS SHALL BE MADE WITH 3/4" DIAMETER A.S.T.M. F3125 / F3125M - 19 HIGH TENSILE BEARING TYPE BOLTS.

ALL SHOP AND FIELD WELDED CONNECTIONS INCLUDING TRUSSES SHALL BE WELDED WITH E70 ELECTRODES.

ALL BEAM CONNECTIONS ARE TO C.I.S.C. HANDBOOK OF STEEL CONSTRUCTION. TWO ANGLE WELDED CONNECTIONS CAPABLE OF SUPPORTING 1.5 TIMES THE DESIGN REACTION FORCES OR THE STRENGTH OF THE MEMBER WHICHEVER IS SMALLER.

ALL CONNECTIONS SHALL BE DESIGNED AND CERTIFIED BY A PROFESSIONAL ENGINEER OF THE PROVINCE OF ONTARIO. USE BEARING TYPE CONNECTIONS. ALL BRACING CONNECTIONS TO BE SLIP RESISTANT (FRICTIONS-TYPE).

STEEL ERECTOR SHALL PROVIDE TEMPORARY BRACING DURING CONSTRUCTION FOR ALIGNMENT, WIND, DEAD LOAD AND CONSTRUCTION AND SUBSEQUENT REMOVAL OF THE SAME.

VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE PROCEEDING DETAILED SHOP DRAWINGS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES. DO NOT COMMENCE FABRICATION UNTIL CERTIFIED SHOP DRAWINGS HAVE BEEN REVIEWED BY THE ENGINEER.

WHERE NEW STRUCTURAL STEEL MEMBERS FRAME INTO EXISTING STRUCTURAL STEEL, THE CONTRACTORS SHALL REWORK THE EXISTING STRUCTURE AS NECESSARY.

GUSSET PLATES SHALL HAVE A MINIMUM THICKNESS OF 3/8" AT CENTRE OF COLUMNS.

HOLLOW STRUCTURAL SECTIONS TO MEET REQUIREMENTS OF CSA-G40.20-13/G40.21-13 (R2018), GRADE 355W, CLASS C.

COLD FORMED STEEL SECTIONS TO MEET REQUIREMENTS OF CAN/CSA S136-01 INCLUDING SUPPLEMENT CAN/CSA S136-51-04.

WELDING TO BE DONE BY COMPANIES WITH CANADIAN WELDING BUREAU DIVISION 1 OR DIVISION 2 STANDING. WELDING TO BE DONE BY OPERATORS FULLY APPROVED BY CANADIAN WELDING BUREAU CSA W47-2001. ALL WELDING TO DEVELOP FULL STRENGTH OF MEMBER UNLESS NOTED OTHERWISE. USE E70XX ELECTRODES.

ALL STRUCTURAL STEEL TO RECEIVE ONE COAT OF SHOP PRIMER TO CSB 1-GP-40M UNLESS NOTED OTHERWISE. TOUCH UP AFTER ERECTION VERIFY PRIMER COLOUR WITH OWNER.

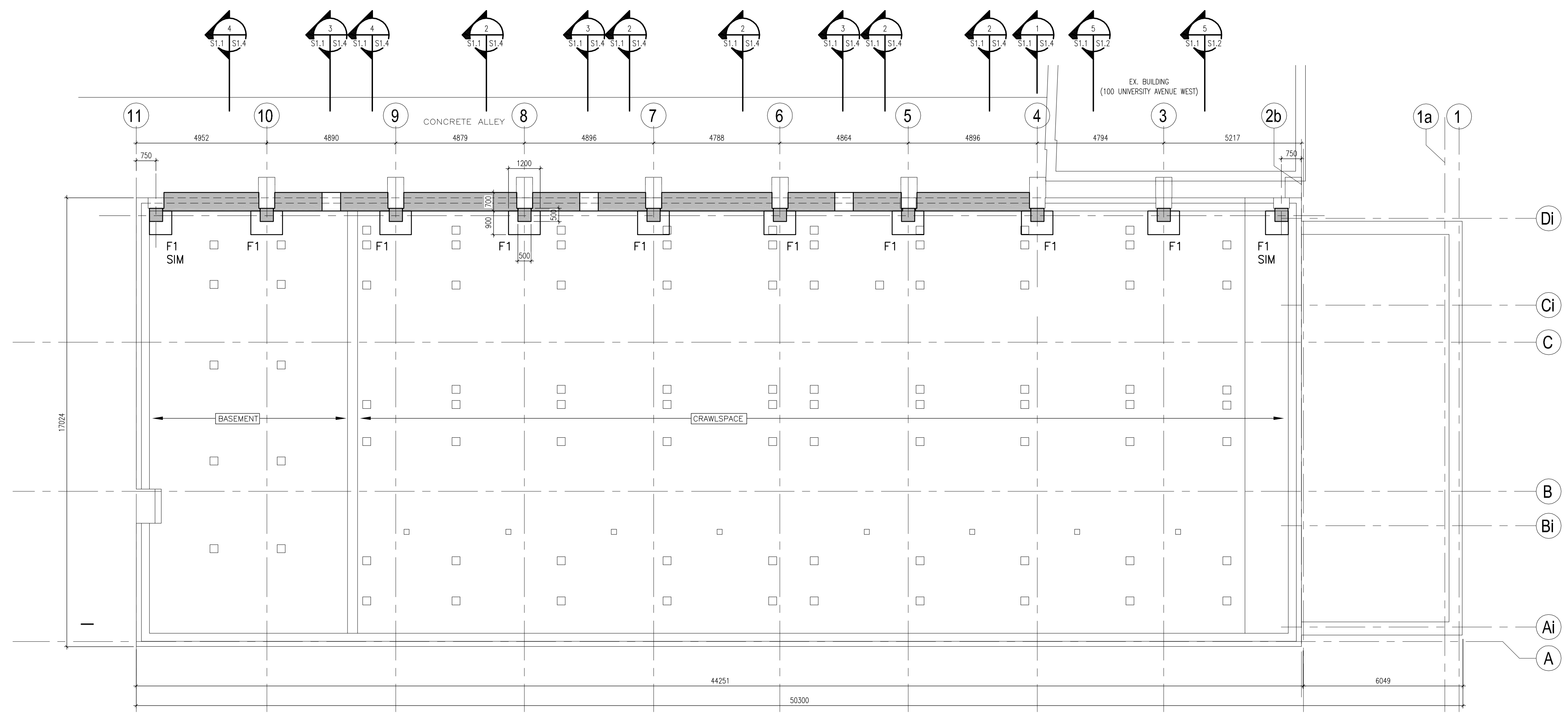
VERIFY ALL DIMENSION ON SITE BEFORE FABRICATION.
COLUMNS TO BE FULLY WELDED TO BASE PLATES.
ALL BEAMS, COLUMNS AND GIRTS ADJACENT TO MASONRY WALLS ARE TO BE ANCHORED AT 32" HORIZONTALLY OR 16" VERTICALLY ON CENTRE UNLESS NOTED OTHERWISE.

SHOP DRAWINGS:
GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS SEALED BY LICENSED PROFESSIONAL ENGINEER IN ONTARIO FOR THE FOLLOWING:

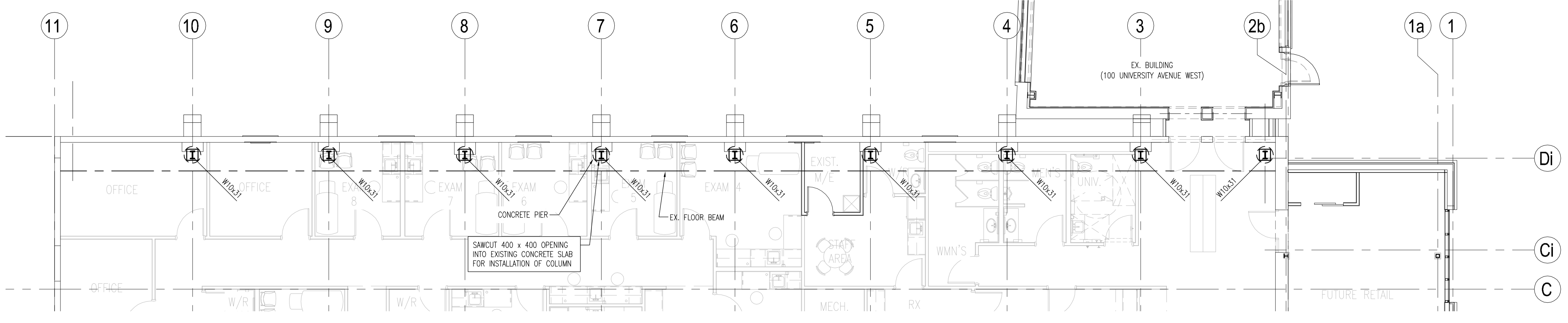
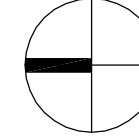
- STRUCTURAL STEEL
- FOUNDATION REBAR
- STRUCTURAL STEEL STUDS
- BRICK MORTAR SPECIFICATIONS TO BE REVIEWED BY ARCHITECT

NOTIFICATION OF INSPECTING ENGINEER
IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, CURRENT EDITION, THE ENGINEER WILL BE REQUIRED TO PERFORM GENERAL REVIEW OF THE BUILDING DURING CONSTRUCTION. THE CONTRACTORS SHALL NOTIFY THE ENGINEER 24 HOURS PREVIOUS TO COMMENCEMENT OF THE FOLLOWING ITEMS:

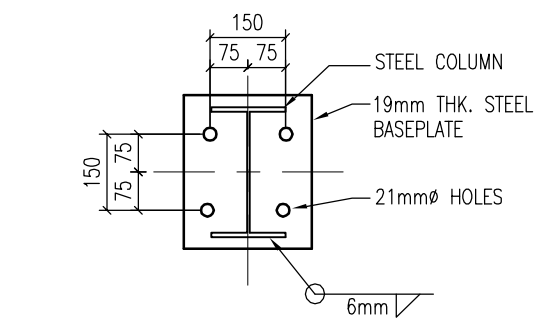
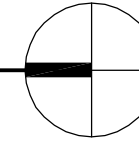
- PLACING FOOTING CONCRETE
- PLACING RETAINING WALLS, ETC.
- BACKFILLING OF MASONRY OR CONCRETE WALL BELOW GRADE
- INSTALLATION OF STRUCTURAL STEEL, JOISTS, BEAMS, LINTELS, ETC. OR STRUCTURAL WOOD MEMBERS
- PLACEMENT OF WALL OR CEILING INSULATION
- INSTALLATION OF MASONRY BEARING OR CURTAIN WALLS
- PRIOR TO PLACING OF CONCRETE FLOORS
- PRIOR TO INSTALLATION OF ROOFING MATERIALS.
- COMPLETION OF ROOF STRUCTURE BEFORE ROOFING AND INTERIOR FINISHES



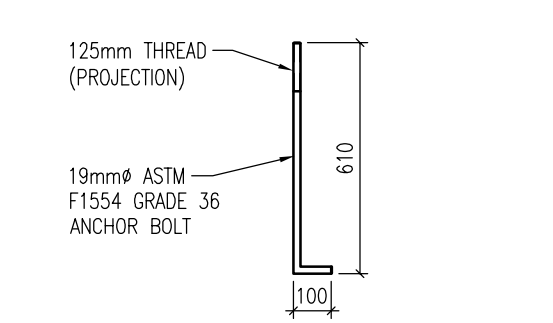
CRAWLSPACE FLOOR PLAN AND FOUNDATION PLAN
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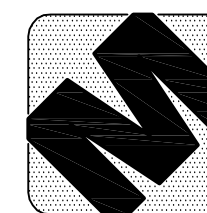
PARTIAL GROUND FLOOR PLAN
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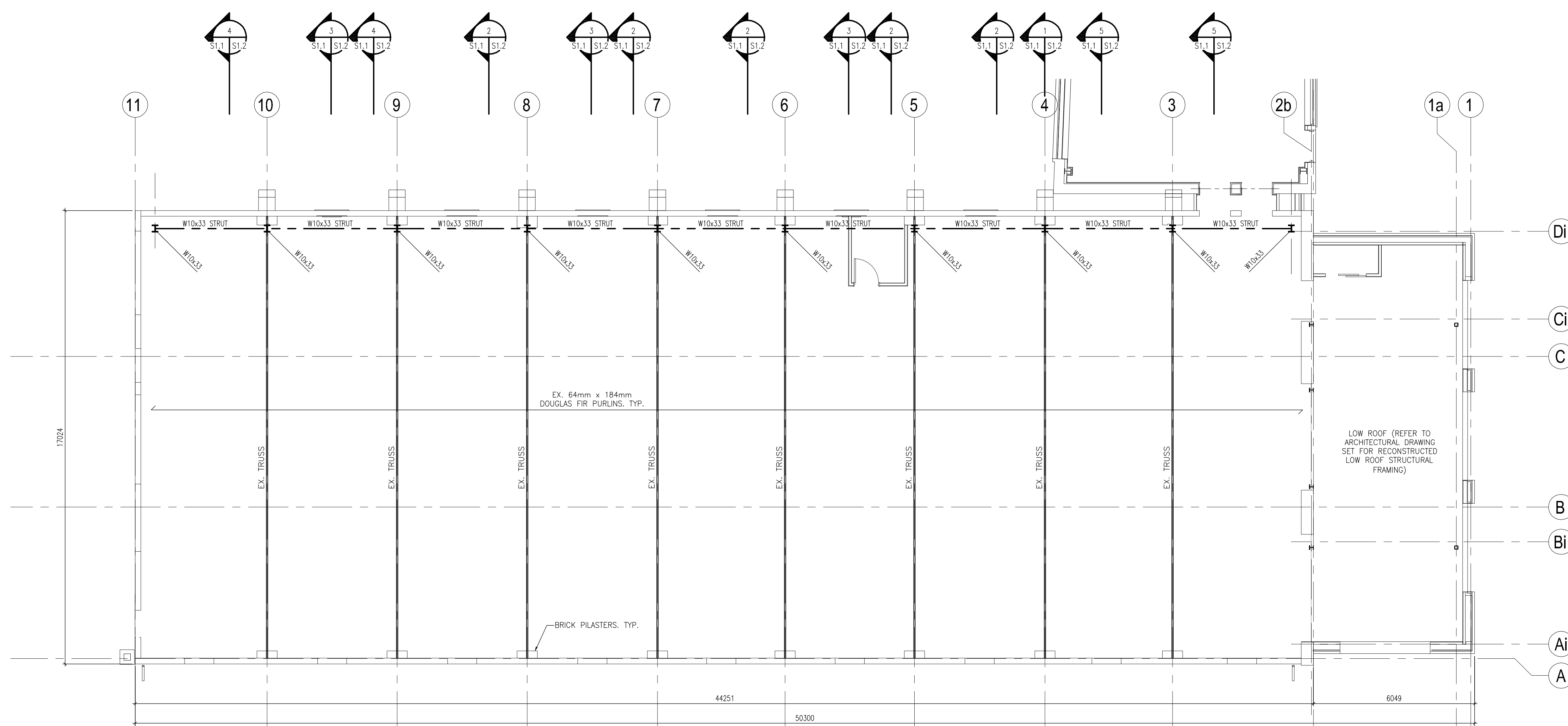
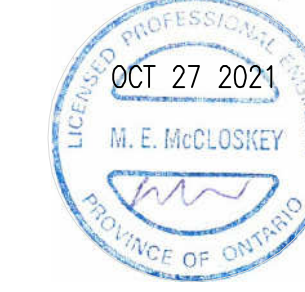
BASEPLATE
SCALE : 1:15



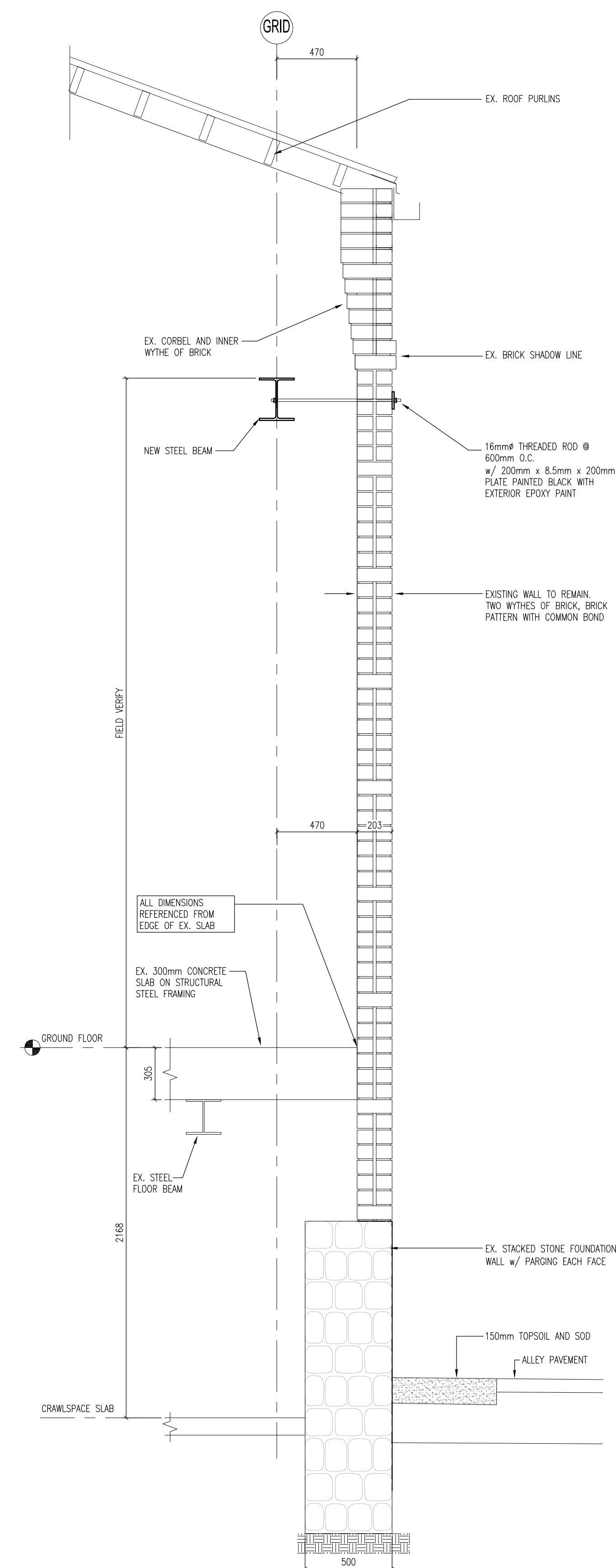
ANCHOR BOLT
SCALE : 1:20



d.c. mccloskey engineering ltd.
200-5745 wyandotte street east, windsor, ontario n9a 1m6 tel (519) 977 6800



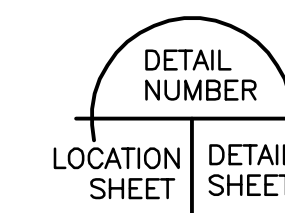
ROOF FRAMING PLAN
SCALE : 1:100



SECTION 5
SCALE : 1:20

general notes:

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DATE (dd/mm/yy)	ISSUED FOR
08/10/21	TENDER
25/10/21	REVISED FOR TENDER
27/10/21	BUILDING PERMIT

PROJECT
MIXED-USE DEVELOPMENT

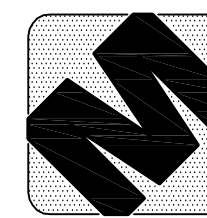
1200 UNIVERSITY AVE WEST
WINDSOR, ONTARIO

CLIENT
AIPL CANADA

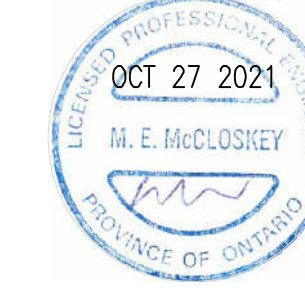
DRAWING TITLE
ROOF FRAMING PLAN

DATE : AUG 2021
SCALE : AS NOTED
DRAWN BY : TM/JLD
CHECKED BY : MEM
PROJECT FILE NO. M21-186
DRAWING NO.

S1.2

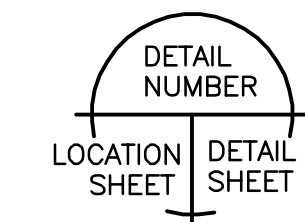


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DATE **ISSUED FOR**

08/10/21	TENDER
25/10/21	REVISED FOR TENDER
27/10/21	BUILDING PERMIT

PROJECT

MIXED-USE DEVELOPMENT

1200 UNIVERSITY AVE WEST
WINDSOR, ONTARIO

CLIENT

AIPL CANADA

DRAWING TITLE

EAST BUILDING ELEVATIONS
- EXISTING AND NEW

DATE : AUG 2021

SCALE : AS NOTED

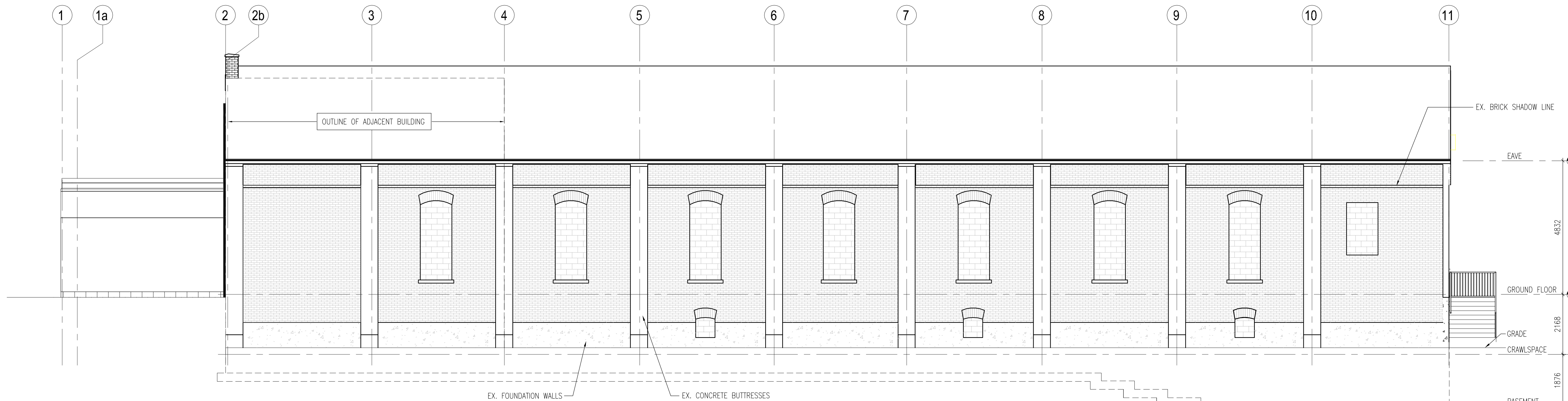
DRAWN BY : TM/JLD

CHECKED BY : MEM

PROJECT FILE NO. M21-186

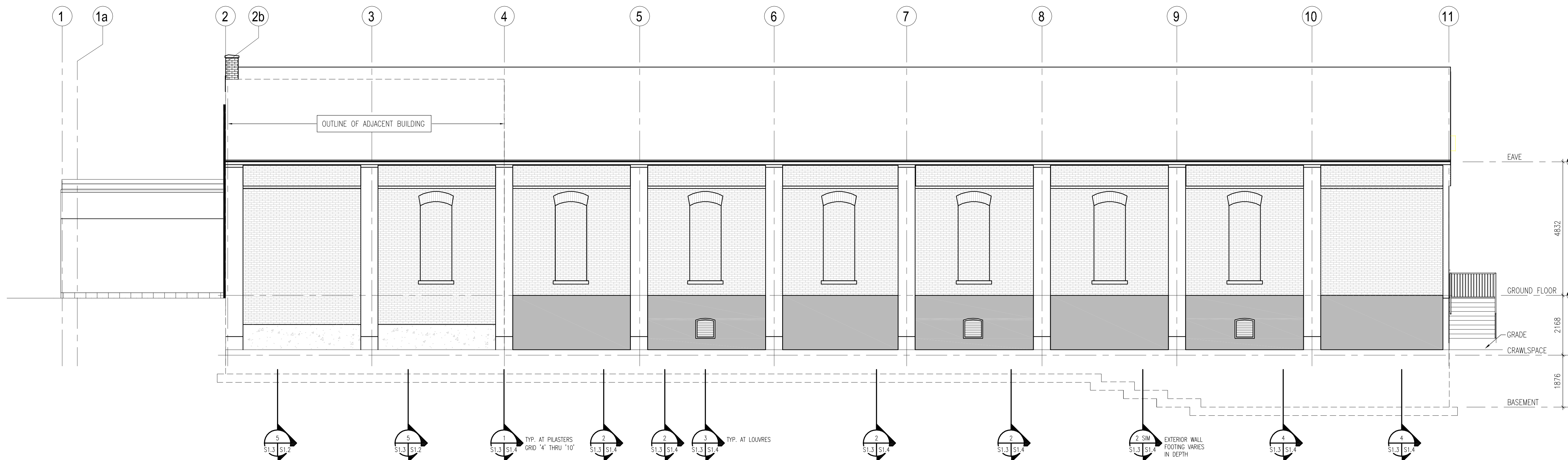
DRAWING NO.

S1.3



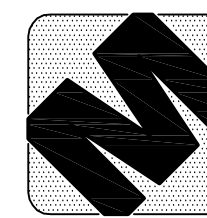
EAST ELEVATION - EXISTING

SCALE : 1:75

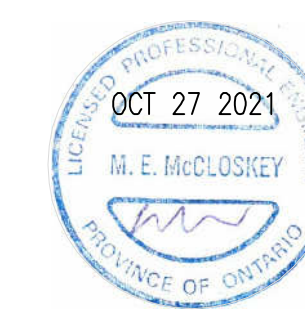


EAST ELEVATION - NEW

SCALE : 1:75

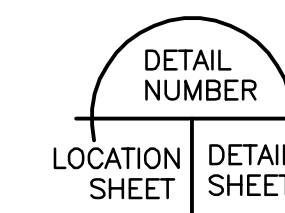


d.c. mccloskey engineering ltd.
200-5745 wyandotte street east, windsor, ontario n9a 1m6 tel (519) 977 6800



general notes:

1. THIS PRINT IS AN INSTRUMENT OF SERVICE ONLY AND IS THE PROPERTY OF THE ENGINEER.
2. DRAWINGS SHALL NOT BE SCALED.
3. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTICED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.
4. ATTENTION IS DIRECTED TO PROVISIONS IN THE GENERAL CONDITIONS REGARDING CONTRACTOR'S RESPONSIBILITIES IN REGARDS TO SUBMISSION OF SHOP DRAWINGS.
5. IN THE EVENT THE DESIGNER IS RETAINED TO REVIEW SHOP DRAWINGS, SUCH REVIEW IS ONLY TO CHECK FOR CONFORMANCE WITH DESIGN CONCEPT AND WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS.
6. CONTRACTORS SHALL PROMPTLY NOTIFY THE DESIGNER IN WRITING OF THE EXISTENCE OF ANY OBSERVED VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND ANY APPLICABLE CODES OR BY-LAWS.
7. THE DESIGNER IS NOT RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS AND OR TECHNIQUES IN THE CONSTRUCTION OF THIS FACILITY.



DATE (dd/mm/yy)	ISSUED FOR
08/10/21	TENDER
25/10/21	REVISED FOR TENDER
27/10/21	BUILDING PERMIT

PROJECT
MIXED-USE DEVELOPMENT

1200 UNIVERSITY AVE WEST
WINDSOR, ONTARIO

CLIENT
AIPL CANADA

DRAWING TITLE
SECTIONS AND DETAILS

DATE : AUG 2021

SCALE : AS NOTED

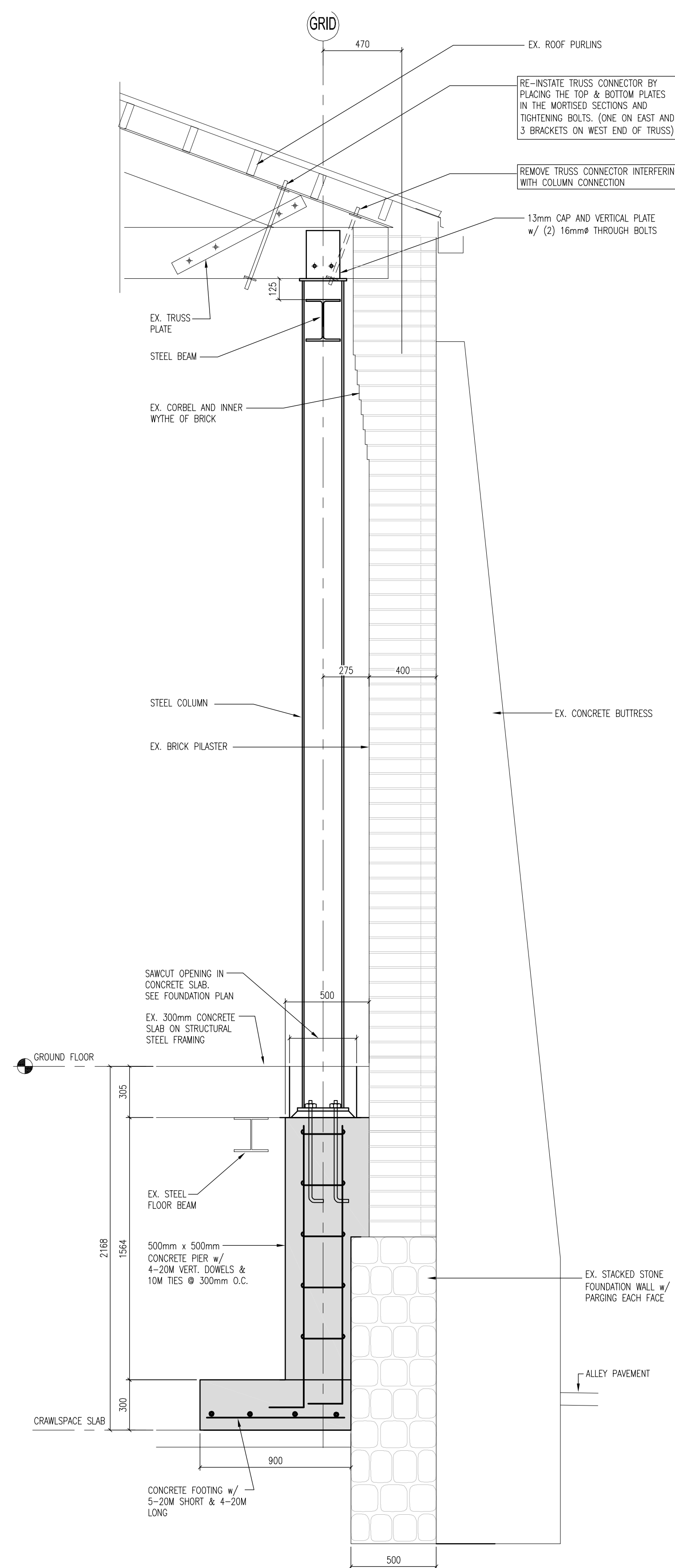
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CHECKED BY : MEM

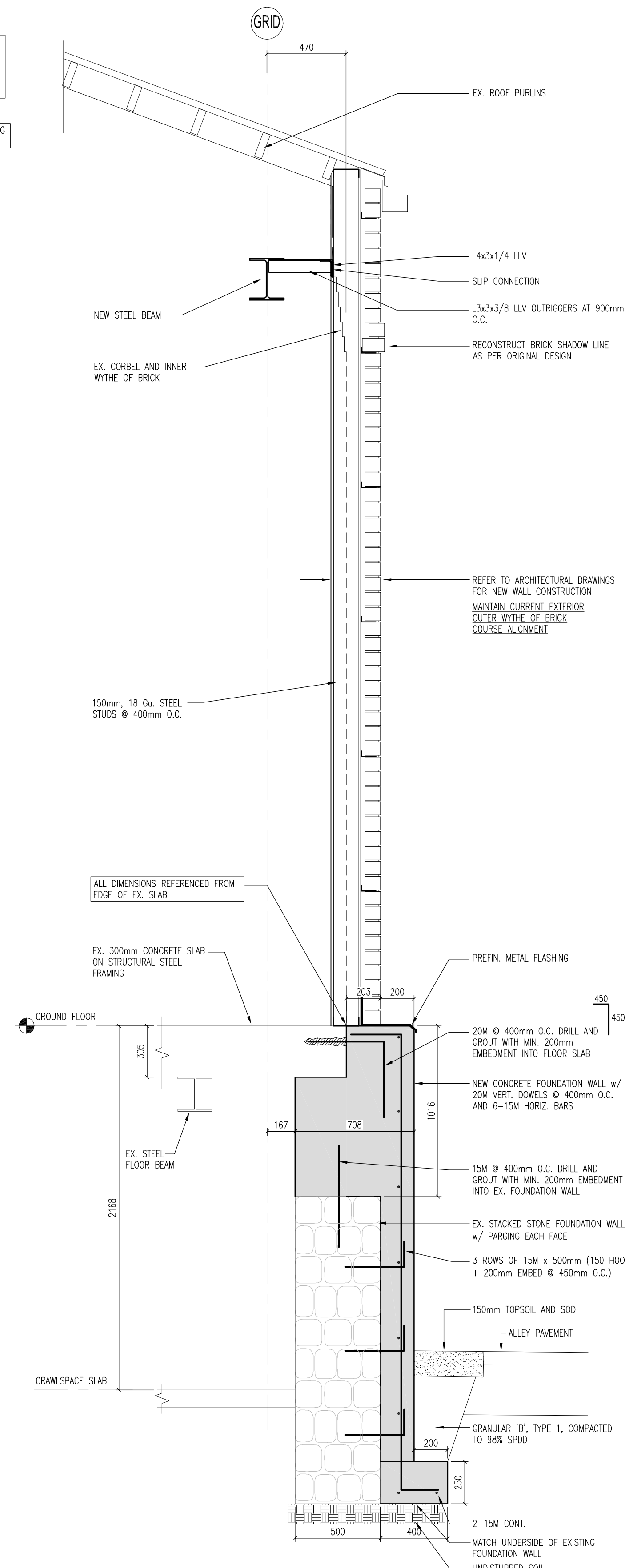
PROJECT FILE NO. M21-186

DRAWING NO.

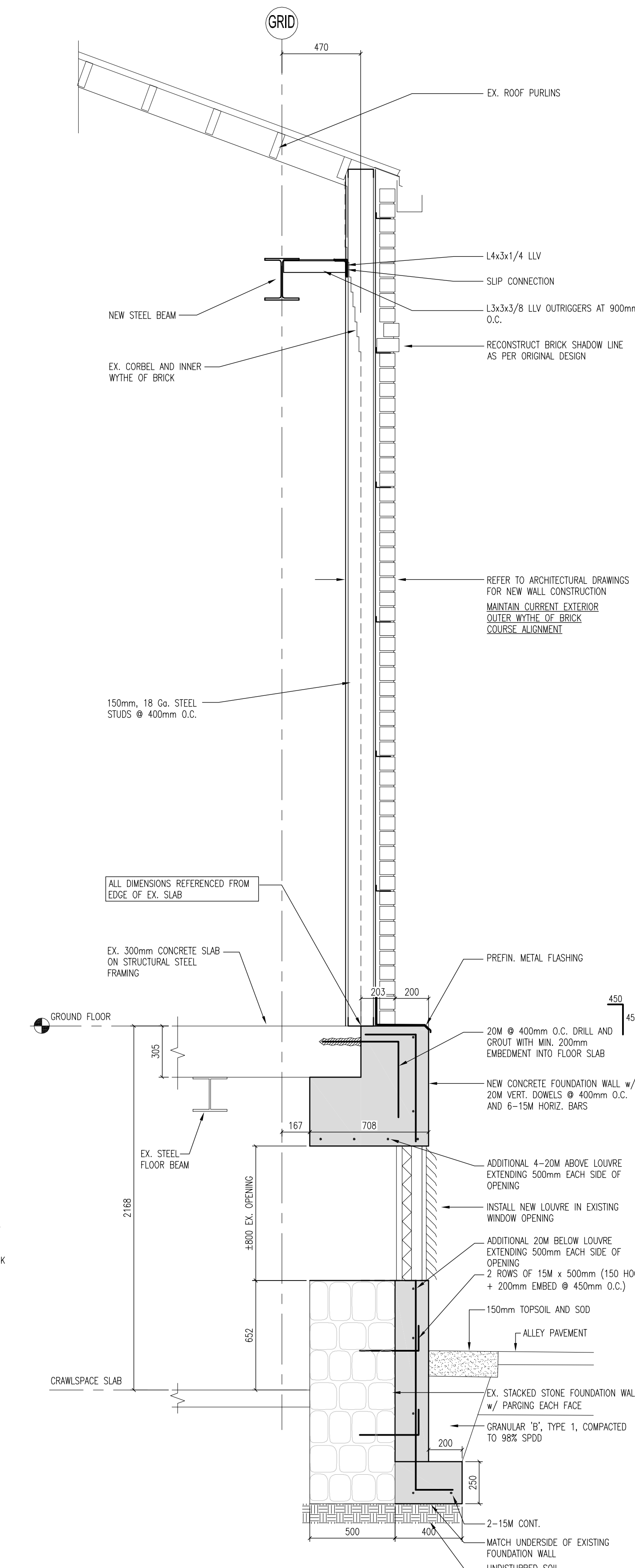
S1.4



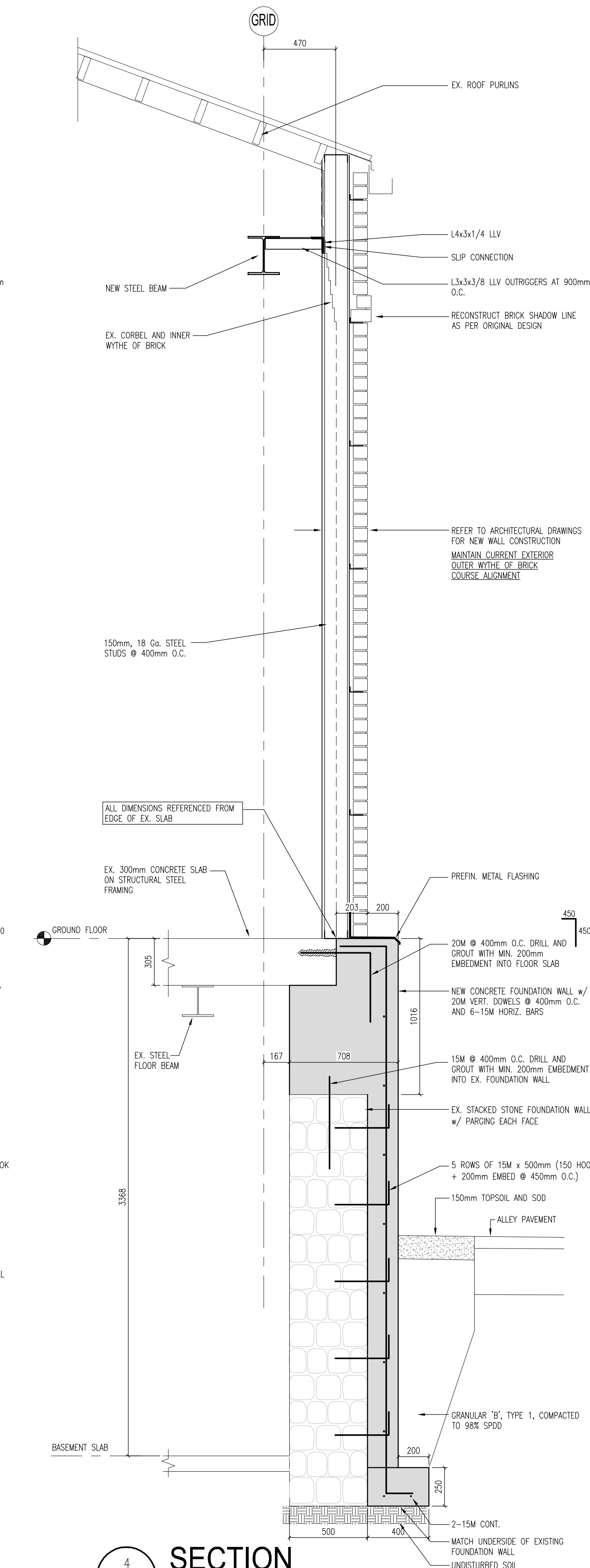
SECTION 1
S1.1 | S1.1 SCALE : 1:20



SECTION 2
S1.1 | S1.1 SCALE : 1:20



SECTION 3
S1.1 | S1.1 SCALE : 1:20



SECTION 4
S1.1 | S1.1 SCALE : 1:20